# 500 RANCH MARKET RETAIL DEVELOPMENT







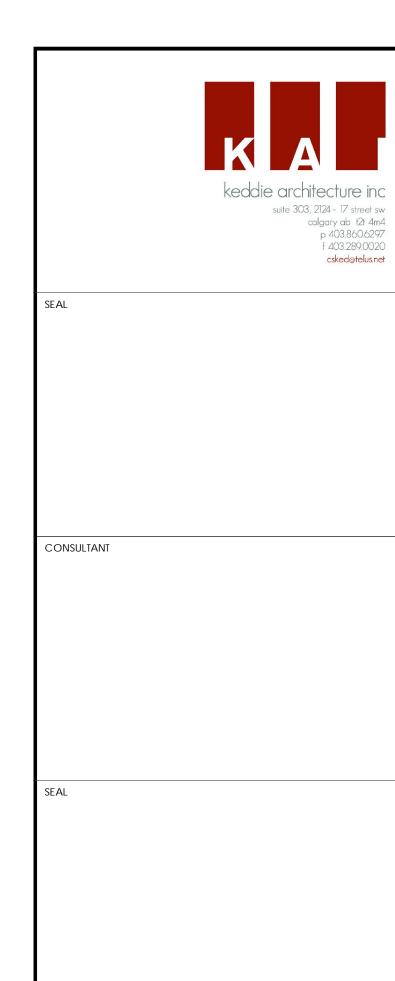
# DRAWING LIST:

CONSULTANTS:			
ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL
KEDDIE ARCHITECTURE INC 303, 2124 - 17th Street SW Calgary, Alberta T2T 4M4	TRL & ASSOCIATES  100, 1615 - 10th Avenue SW  Calgary, Alberta  T3C 0J7	DMH DESIGNS LTD. 117 Royal Oak Green NW Calgary, Alberta T7G 6A7	R. LAMONTAGNE. P. ENG. P.O. Box 2531 Didsbury, Alberta TOM 0W0
CONTACT: CORINNE KEDDIE  TEL: 403.860.6297  E-MAIL: csked@telus.net	CONTACT: BRYAN RONEY TEL: 403.244.4944 EMAIL: bryanroney@trleng.ca	CONTACT: DAVID PEDERSEN TEL: 403.620.3170 EMAIL: dmhdes@shaw.ca	CONTACT: RICHARD LAMONTAGNE  TEL: 403.703.6161  EMAIL: ralamont@shaw.ca

COMMENTARY FOR CODE AUTHORITIES		
<u>Note:</u> These comments are prepared for the purpose of th Construction. Refer to full document set for con	IE APPROVAL AUTHORITIES REVIEW. CONTRACTORS ARE CAUTIONED NOT TO USE THESE FIGURISTRUCTION TYPES AND QUANTITIES.	RES FOR
TOWN OF STRATHMORE BYLAW		REFERENCE
ZONING:	CHWY - HIGHWAY COMMERCIAL DISTRICT	
PERMITTED USES (PARTIAL LIST):	DRIVE-IN FOOD SERVICES; EATING AND DRINKING ESTABLISHMENTS, MAJOR; EATING AND DRINKING ESTABLISHMENTS, MINOR; RETAIL STORES, CONVENIENCE;	SECTION 220 SECTION 220 (2)
DISCRETIONARY USES (PARTIAL LIST):	RETAIL STORES, GENERAL; SHOPPING CENTERS  PERSONAL SERVICE SHOPS	SECTION 220 (3)
FRONT YARD SETBACK:	8m (26.2 ft)	SECTION 220 (4c)
SIDE YARDS SETBACK:	3m (9.8 ft)	SECTION 220 (4d)
REAR YARD SETBACK:	3m (9.8 ft)	SECTION 220 (4e)
BUILDING HEIGHT:	NO MAXIMUM REQUIRED	SECTION 220 (4f)
LANDSCAPING:	AT LEAST 15% OF THE GROSS AREA (EXCLUDING BOULEVARDS)	SECTION 220 (4g)
SOFT LANDSCAPING:	1 TREE PER 35 m2 AND 1 SHRUB PER 25 m2 OF GROSS LANDSCAPED AREA, EXCLUDING BOULEVARDS;	SECTION 60 (2)
	MIN. 50 mm CALIPER FOR SMALLER DECIDUOUS TREES AND ORNAMENTAL FLOWERING TREES (<6 m AT MATURITY);	
	MIN. 85 mm FOR LARGER DECIDUOUS TREES (=>6 m AT MATURITY;	
	MIN. 2 m HEIGHT FOR SMALLER (<6 m AT MATURITY) AND 3 m HEIGHT FOR LARGER (=>6 m AT MATURITY) CONIFEROUS TREES;	
	MIN. 600 mm HEIGHT OR SPREAD FOR SHRUBS;	
	MIN. OF 1/2 OF THE TREES SHOULD BE LARGER TREES AT MATURITY (=>6 m);	
	CONIFEROUS TREES/SHRUBS SHOULD COMPRISE A MIN. 1/3 AND MAX 1/2 OF ALL TREES/SHRUBS	
PARKING:	1 STALL / 37m²; 4 STALLS + 4 STACK-UP SPACES (DRIVE-THRU)	SECTION 61
SIGNS:	BUILDING FASCIA SIGNS AND PYLON SIGN PROVIDED	SECTION 70
		CODE REFERENCE
	COMMERCIAL RETAIL DEVELOPMENT	
PROJECT OCCUPANCY(S):	GROUP E	3.1.2.1.(1)
PROJECT OCCUPANCY(S): BUILDING AREA:	GROUP E 634.97 m <sup>2</sup> (6,835 SF)	3.1.2.1.(1) 1.4.1.2.(A)
PROJECT OCCUPANCY(S): BUILDING AREA: NUMBER OF STOREY(S)	GROUP E 634.97 m² (6,835 SF) 1 STOREY (19'-6")	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A)
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:	GROUP E 634.97 m² (6,835 SF) 1 STOREY (19'-6") BUILDING FACES 2 STREETS	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5.
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.5.8.
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.5.8. 3.2.4.1.
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.5.8. 3.2.4.1. 3.2.5.7.
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.5.8. 3.2.4.1. 3.2.5.7.
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3)
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:  BARRIER FREE DESIGN:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)  YES (BUILDING ACCESS)	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17 3.2.8.
PROJECT DESCRIPTION:  PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:  BARRIER FREE DESIGN:  HAZARDOUS SUBSTANCES:  REQUIRED FIRE RESISTANCE RATINGS:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6')  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)  YES (BUILDING ACCESS)  N/A  FLOOR: N/A ROOF: OHR.	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:  BARRIER FREE DESIGN:  HAZARDOUS SUBSTANCES:  REQUIRED FIRE RESISTANCE RATINGS:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)  YES (BUILDING ACCESS)  N/A  FLOOR: N/A	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17 3.2.8. 3.3.1.2.
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:  BARRIER FREE DESIGN:  HAZARDOUS SUBSTANCES:  REQUIRED FIRE RESISTANCE SUPPORTING MEMBERS:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)  YES (BUILDING ACCESS)  N/A  FLOOR: N/A ROOF: OHR. MEZZANINE(S): N/A  LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE RESISTANCE	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.5.8. 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17 3.2.8. 3.3.1.2. 3.2.2.61
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:  BARRIER FREE DESIGN:  HAZARDOUS SUBSTANCES:  REQUIRED FIRE RESISTANCE RATINGS:  REQUIRED FIRE RESISTANCE SUPPORTING MEMBERS:  REQUIRED EXITS:	GROUP E 634.97 m² (6,835 SF)  1 STOREY (19'-6")  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)  YES (BUILDING ACCESS)  N/A  FLOOR: N/A ROOF: OHR. MEZZANINE(S): N/A  LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY  EVERY FLOOR AREA INTENDED FOR OCCUPANCY SHALL BE SERVED BY AT LEAST	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17 3.2.8. 3.3.1.2. 3.2.2.61
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:  BARRIER FREE DESIGN:  HAZARDOUS SUBSTANCES:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6')  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)  YES (BUILDING ACCESS)  N/A  FLOOR: N/A ROOF: 0HR. MEZZANINE(S): N/A  LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY  EVERY FLOOR AREA INTENDED FOR OCCUPANCY SHALL BE SERVED BY AT LEAST 2 EXITS  THE LEAST DISTANCE BETWEEN 2 REQUIRED EXITS FROM A FLOOR AREA SHALL BE ONE HALF THE MAXIMUM DIAGONAL DIMENSION OF THE FLOOR AREA, BUT NOT	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17 3.2.8. 3.3.1.2. 3.2.2.61 3.4.2.1.
PROJECT OCCUPANCY(S):  BUILDING AREA:  NUMBER OF STOREY(S)  NUMBER OF STREETS/FIRE FIGHTER ACCESS:  BUILDING CLASSIFICATION  SPRINKLER SYSTEM PROPOSED:  STANDPIPE REQUIRED:  FIRE ALARM REQUIRED:  WATER SERVICE/SUPPLY IS ADEQUATE:  CONSTRUCTION RESTRICTIONS:  MEZZANINE(S):  OCCUPANT LOAD:  BARRIER FREE DESIGN:  HAZARDOUS SUBSTANCES:  REQUIRED FIRE RESISTANCE RATINGS:  REQUIRED FIRE RESISTANCE SUPPORTING MEMBERS:  REQUIRED EXITS:  DISTANCE BETWEEN EXITS:	GROUP E  634.97 m² (6,835 SF)  1 STOREY (19'-6')  BUILDING FACES 2 STREETS  3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m²  NOT REQUIRED  NOT REQUIRED  NOT REQUIRED  WATER SUPPLY IS ADEQUATE  3.2.2.61 COMBUSTIBLE OR NON-COMBUSTIBLE  NONE  TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)  YES (BUILDING ACCESS)  N/A  FLOOR: N/A ROOF: OHR MEZZANINE(S): N/A  LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY  EVERY FLOOR AREA INTENDED FOR OCCUPANCY SHALL BE SERVED BY AT LEAST 2 EXITS  THE LEAST DISTANCE BETWEEN 2 REQUIRED EXITS FROM A FLOOR AREA, BUT NOT LESS THAN 9m  IF MORE THAN ONE EXIT IS REQUIRED FROM A FLOOR AREA, THE EXIT SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE NOT MORE THAN 45m IN A FLOOR AREA THAT CONTAINS AN OCCUPANCY OTHER THAN A HIGH HAZARD INDUSTRIAL OCCUPANCY, PROVIDED IT IS SPRINKLERED	3.1.2.1.(1) 1.4.1.2.(A) 1.4.1.2.(A) 3.2.2.10 & 3.2.5. 3.2.2.61 3.2.2.2083 3.2.5.8. 3.2.4.1. 3.2.5.7. 3.2.2.2083 3.2.1.1.(3) 3.1.17 3.2.8. 3.3.1.2. 3.2.2.61 3.4.2.1.

SPATIAL SEPARATION:

RATING REQUIRED = 2HR. F.R.R.







KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

PROJECT

500 RANCH MARKET RETAIL DEVELOPMENT

> 500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

3.2.3.1 + 3.2.3.7.

COVER SHEET,
DRAWING LIST,
BUILDING CODE SUMMARY

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	2012-08-1	3
1204	SCALE	N.T.S.	
DRAWING NO.	-0.0		REVISION



ABBREVI	ATIONS	GENERAL NOTES:	
A.C.T. A.F.F. ALT. APPROX. ALUM. A.B. ACOUST. ASPH. BLK'G BD. BLDG. BM. BOT. CONTR. CLG. CONT. C.J. COL. C.M. C.M. CIR. DN. DIA. DWG. DS. DR. DTL/DET. E.W.C. EXIST. EXP. ELEC. EQUIP. EA. ELEV. EQ. EX FD FDN. F.L. FLR. FURR FTG. FIN. F.R.T. GA. GALV. GC. GD. GL. GYP. GRD. GL. GYP. GRD. GL. H.M. H.P. L.D. INSUL. INT. JT. JAN. LAV. L.P. MFR. MAX. MTL.	ACOUSTICAL CEILING TILE ABOVE FINISHED FLOOR ALTERNATE APPROXIMATE ALUMINUM ANCHOR BOLT ACOUSTICAL ASPHALT BLOCKING BOARD BUILDING BEAM BOTTOM CONTRACTOR CEILING CONCRETE CONTINUOUS CONTROL JOINT COLUMN CONSTRUCTION MANAGER COMCRETE WITH CENTER DOWN DIAMETER DRAWING DOWNSPOUT DOOR DETAIL ELECTRIC WATER COOLER EXISTING ELECTRICAL EQUIPMENT EACH ELEVATION EQUAL EXISTING FLOOR DRAIN FOUNDATION FLOW LINE FLOOR FURRING GALOR GALOR FURRING GALOR GALOR FURRING FOOTING FINISH (ED) FIRE RESISTANT TREATED GAUGE GALVANIZED GENERAL CONTRACTOR GUTTER DRAIN GLASS GYPSUM GRADE GYPSUM WALL BOARD HARDWOOD HEIGHT HOLLOW CORE HORLOW JOINT INSIDE DIMENSION CLEAR INSIDE DIMENSIO	1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.  2. ALL DIMENSIONS GIVEN IN IMPERIAL UNLESS NOTED OTHERWISE. DRAWINGS ARE NOT TO BE SCALED.  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE ARCHITECT PRICOR TO THE COMMENCEMENT OF ANY WORK.  4. THE CONTRACTOR SHALL REVIEW THE EXISTING PREMISES CAREFULLY PRIOR TO COMMENCING CONSTRUCTION. ANY SITE CONDITION OR DIMENSIONS FOUND TO BE DIFFERENT THAN THOSE SHOWN ON THE DRAWINGS, SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY PRIOR TO CORRENT EDITION OF THE ALBERTA BUILDING CODE (2006 ABC) AND REFERENCED DOCUMENTS, PLUS ANY AND ALL AUTHORITES HAVING JURISDICTION DURING ALL PHASES OF WORK.  6. CONSTRUCTION STANDARDS FOR MATERIAL AND WORKMANSHIP QUALITY MUST COMPLY WITH PREVAILING COMMONLY RECOGNIZED CONSTRUCTION INDUSTRY STANDARDS, MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS. PROVIDE OPERATING & MAINTENANCE MANUALS WHEN APPLICABLE.  7. PROVIDE SHALL MEAN SUPPLY AND INSTALL.  8. ALL MATERIAL, EQUIPMENT, FIXTURES AND FITTINGS TO BE NEW UNLESS OTHERWISE NOTED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS. PROVIDE OPERATING & MAINTENANCE MANUALS WHEN APPLICABLE.  10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT WHEREVER A FIRE SEPARATION IS RECUIRED AS INDICATED BY THE CONSTRUCTION TYPE ON THE DRAWINGS, PROVIDE FIRE RESISTANT GYPSUM BOARD C/W ULC LABEL.  10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT WHEREVER A FIRE SEPARATION IS RECUIRED AS INDICATED BY THE CONSTRUCTION TYPE ON THE DRAWINGS, ALL COMPONENTS OF THE ASSEMBLY ARE TO BE APPROVED DATERIALS WITH INSTALLATION/FABRICATION PROCEDURES PER DIRECTIONS OF THE ALC CONTRACTORS ARE RESPONSIBLE FOR THEIR CONTRIBUCTION TYPE ON THE SPARATIONS HOUSED THE DRAWINGS. ALL COMPONENTS OF THE ASSEMBLY ARE TO BE APPROVED THE CONSTRUCTION TYPE ON THE SEPARATION AND CAULED TO MINER AND / OR REQUIREMENTS OF THE BECORD.	26. ALL DOORS AND WINDOWS SHOWN ON PLANS AR NOMINAL SIZES, REFER TO DOOR SCHEDULE AND WINDOW SCHEDULE FOR ACTUAL SIZES. CONFIRM ROUGH OPENING SIZE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER. VERIFY EACH INDIVIDUAL ROUGH OPENING PRIOR TO FABRICATION.  27. EXTERIOR DOORS AND WINDOWS TO BE INSTALLED SOUARE AND PLUMB AS PER THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATION.  28. EXTERIOR WALL SHEATHING (INCLUDING STUCCO) TO BE INSTALLED AS PER ALBERTA WALL AND CEILING BUREAU STANDARDS.  29. MECHANICAL LINES ARE NOT TO BE IN CONTACT WITH STUD WALL OR CONCRETE WALL / FLOOR ASSEMBLIES. ISOLATE PIPES FROM STRUCTURE TO AVOID SOUND TRANSMISSION. INSULATE MECHANICAL PIPING. INSTALL NEOPRENE RUBBER PAD ON TOP OF BOTTOM PLATES BEFORE ALL MECHANICAL CLAMPS ARE IN PLACE.  30. PROVIDE 1/2* EXTERIOR GRADE PLYWOOD @ ALL SIGNAGE, AWNINGS, LIGHT FIXTURE LOCATIONS U.N.O.  31. PROVIDE SOLID BLOCKING AS REQUIRED FOR FIXTURES ATTACHMENT (ARCHITECTURAL ITEMS - WASHROOM ACCESSORIES, HANDRAILS, ETC. MECHANICAL ITEMS - FANS, THERMOSTAT, ETC. ELECTRICAL ITEMS - FANS, THERMOSTAT, ETC. ELECTRICAL ITEMS - ALARMS, FIXTURES, ETC.)  32. ALL APPLIANCES TO BE CONNECTED, INSTALLED, LEVELED, CENTERED IN THE OPENING PROVIDED, AND READY FOR OPERATION.  33. CONFIRM ALL SIZES OF TENANT'S EQUIPMENT AND APPLIANCES.  34. CONTRACTOR TO PROVIDE SAMPLES OF ALL FINISHES AND MATERIALS TO ARCHITECT FOR APPROVAL.
MECH. MISC. MID. M.O. N.I.C. NO. N.T.S. O.D. O.R.D. OPP. O.C. OPN'G PLAM. PL. PLYW'D. PR RAD. REQ'D REINF. RESIL. RM. R.O. SFRM.	MECHANICAL MISCELLANEOUS MOUNTED MASONRY OPENING NOT IN CONTRACT NUMBER NOT TO SCALE OUTSIDE DIAMETER OVERFLOW ROOF DRAIN OVERHEAD OPPOSITE ON CENTER OPENING PLASTIC LAMINATE PLATE PLYWOOD PAIR RADIUS REQUIRED REINFORCED RESILIENT ROOM ROUGH OPENING SPRAY APPLIED FIRE RESISTIVE MATERIAL STEFI	<ul> <li>14. ALL RWL TO BE TIGHT TO BACK OF COLUMN. FRAME OUT AND FINISH COLUMN AS TIGHT AS POSSIBLE TO RWL.</li> <li>15. CONCRETE SLABS ARE PRESUMED TO BE IRREGULAR, THE CONTRACTOR IS TO ANTICIPATE TOPPING, THOROUGHLY CLEAN EXISTING CONCRETE SLAB OF ALL ADHESIVE AND DEBRIS. FLOAT TO LEVEL FLOOR PRIOR TO INSTALLATION OF NEW FLOOR FINISHES AND WALL CONSTRUCTION. LEVELING BED TO BE ¼" HEIGHT MAXIMUM DIFFERENCE OVER RUN OF 10'-0".</li> <li>16. ALL EXISTING SURFACES TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION &amp; CONSTRUCTION AND SHOULD BE THOROUGHLY CLEANED WHEN CONSTRUCTION COMPLETE.</li> <li>17. ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION AND REPAINTING WORK REQUIRED AS A RESULT OF PERFORMANCE OF WORK OF THIS CONTRACT SHALL INCORPORATE AND BE PERFORMED WITH MATERIALS TO MATCH SAME AND SHALL MAINTAIN REQUIRED FIRE RATINGS.</li> </ul>	CONSTRUCTION GENERAL NOTES  1. CONSTRUCT PARTITIONS RIGHT TO THE FLOOR. ALL PARTITIONS ARE TO BE TAPED, FILLED AND SANDER SMOOTH TO RECEIVE NEW FINISHES.  2. RVOE CLIPS, CADDY CLIPS OR EQUAL MUST BE USED TO ADHERE ALL NEW PARTITIONS TO T-BAR CEILING GRID. UNDER NO CIRCUMSTANCES SHALL PARTITIONS BE SCREWED INTO T-BAR. ONLY "RAWL" NAILING ANCHORS OR LOW VELOCITY "HILTI" WITH MAXIMUM PENETRATION OF 19MM ARE TO BE USED TO ANCHOR PARTITIONS TO FLOOR.  3. SUPPLY, INSTALL AND TAPE ALL GYPSUM BOARD IT ACCORDANCE WITH A.W.C.C. "SPECIFICATION STANDARDS MANUAL" TAPE, FILL, SAND, SMOOTH AND LEVEL ALL JOINTS, EDGES, CORNERS ETC. PROVIDE METAL CORNER BEADS AND "J" MOLDS AT ALL CORNERS AND ENDS OR GYPSUM BOARD
STL. SUSP. CLG. SIM. S.O.G. SPEC'S. SQ. STD. STRUCT. T.O.M. T.O.S. TPC TTS TYP. U.N.O. V.C.T. WC W/	STEEL SUSPENDED CEILING SIMILAR SLAB ON GRADE SPECIFICATIONS SQUARE STANDARD STRUCTURAL TOP OF MASONRY TOP OF STEEL TOP OF PRE CAST DOUBLE T TOP OF CONCRETE TOPPING SLAB TYPICAL UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE WATER CLOSET WITH	RATINGS.  18. PROVIDE AND MAINTAIN CONTINUOUS AIR/VAPOUR BARRIER SYSTEM. CAULK AROUND OPENINGS AND GAPS WITH SEALANT TO ACHIEVE CONTINUOUS BARRIER. ALL NAIL HOLES IN EXTERIOR WOODWORK TO BE FILLED WITH APPROVED FILLER PRIOR TO FINISHING. SEAL ALL EXTERIOR JOINTS WITH APPROVED SEALANT.  19. IN EXTERIOR WALLS WHERE DISSIMILAR MATERIALS MEET ON THE CAVITY FACE OF THE INNER WALL, LAP THE JOINT OF THE DISSIMILAR MATERIALS WITH AIR/MOISTURE BARRIER (AMB/VB) MEMBRANE TO MINIMUM 150mm EACH SIDE OF THE JOINT. TYPICAL AT ALL HORIZONTAL AND VERTICAL JOINTS. REFER ALSO TO SECTION AND PLAN DETAILS,	AT ALL CORNERS AND ENDS OR GYPSUM BOARD RESPECTIVELY.  4. FURR GYPSUM BOARD TIGHT TO ALL STRUCTURAL COLUMNS WHERE SERVICES ARE NOT REQUIRED.  5. NEW SWING DOORS SHALL BE LOCATED 100mm (4") FROM ADJACENT PARTITIONS UNLESS NOTED OTHERWISE.  6. PROVIDE ADEQUATE SOLID WOOD BLOCKING IN WALLS WHERE WALL MOUNTED ACCESSORIES (INCLUDING GRAB BARS) ARE REQUIRED PRIOR TO BOARDING. INSTALL LEVEL AND PLUMB, RIGIDLY ANCHORED TO SUBSTRATE.  7. INSTALL ALL FIXTURES AND ACCESSORIES IN

REFER ALSO TO SECTION AND PLAN DETAILS,

20. AT ALL TRANSITIONS OF MATERIALS (i.e. EIFS, BRICK,

METAL PANELS, ETC.), JOINTS TO BE CAULKED.

21. PROVIDE STUCCO FINISH ON BACK SIDE OF

MOULDING TERMINATIONS.

WITH BAKOR ADHESIVE.

MOULDING AT ALL PARAPET RETURNS AND

22. SEAL ALL BRICK TIE PENETRATIONS @DENSE GLASS

23. PROVIDE AND MAINTAIN CONTINUOUS ACOUSTIC

24. EXTERIOR GLAZING UNITS TO BE OF CLEAR ANODIZED FINISH, FIXED HERMETICALLY SEALED DOUBLE GLAZED THERMALLY INSULATED GLASS IN Prefinished Thermally Broken Aluminum

25. WRAP ENTIRE PERIMETER OF ROUGH OPENINGS WITH PEEL AND STICK BEFORE INSTALLATION OF WINDOW FRAMES. TYPICAL FOR ALL WINDOWS

BARRIER. AVOID SOUND TRANSMISSION THROUGH DIRECT CONTACTS AT ACOUSTICALLY TREATED

TYPICAL.

SURFACES.

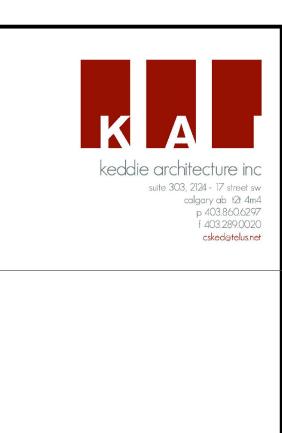
AND DOORS.

U.N.O. V.C.T. WC W/ WD.

WITH WOOD

#### NOTES

- e floor. All and sanded
- MUST BE S TO T-BAR TANCES T-BAR. ONLY / VELOCITY N OF 19MM ONS TO
- SUM BOARD IN CIFICATION ND, SMOOTH NERS ETC. "J" MOLDS SUM BOARD
- TRUCTURAL T REQUIRED.
- TED 100mm NLESS NOTED
- LOCKING IN ESSORIES IRED PRIOR TO JMB, RIGIDLY
- 7. INSTALL ALL FIXTURES AND ACCESSORIES IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS, AND IN ACCORDANCE WITH BARRIER FREE GUIDELINES, BASED ON THE LATEST LOCAL MUNICIPALITY BUILDING CODE.
- 8. FILL ALL HOLES/TRENCHES IN FLOOR SLAB DUE TO MECHANICAL AND ELECTRICAL ALTERATIONS WITH CONCRETE FILL SECURED TO THE EXISTING SLAB. LEVEL AND PREPARE TO SUIT INSTALLATION OF NEW FINISH.



SEAL			

CONSULTANT

	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	СК
	12-07-27	BUILDING PERMIT	ML	СК
	12-06-03	DEVELOPMENT PERMIT	ck	CK
	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
NST	RUCTION M.	ANAGER		



THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

## 500 RANCH MARKET RETAIL DEVELOPMENT

500 RANCH MARKET STATHMORE, AB

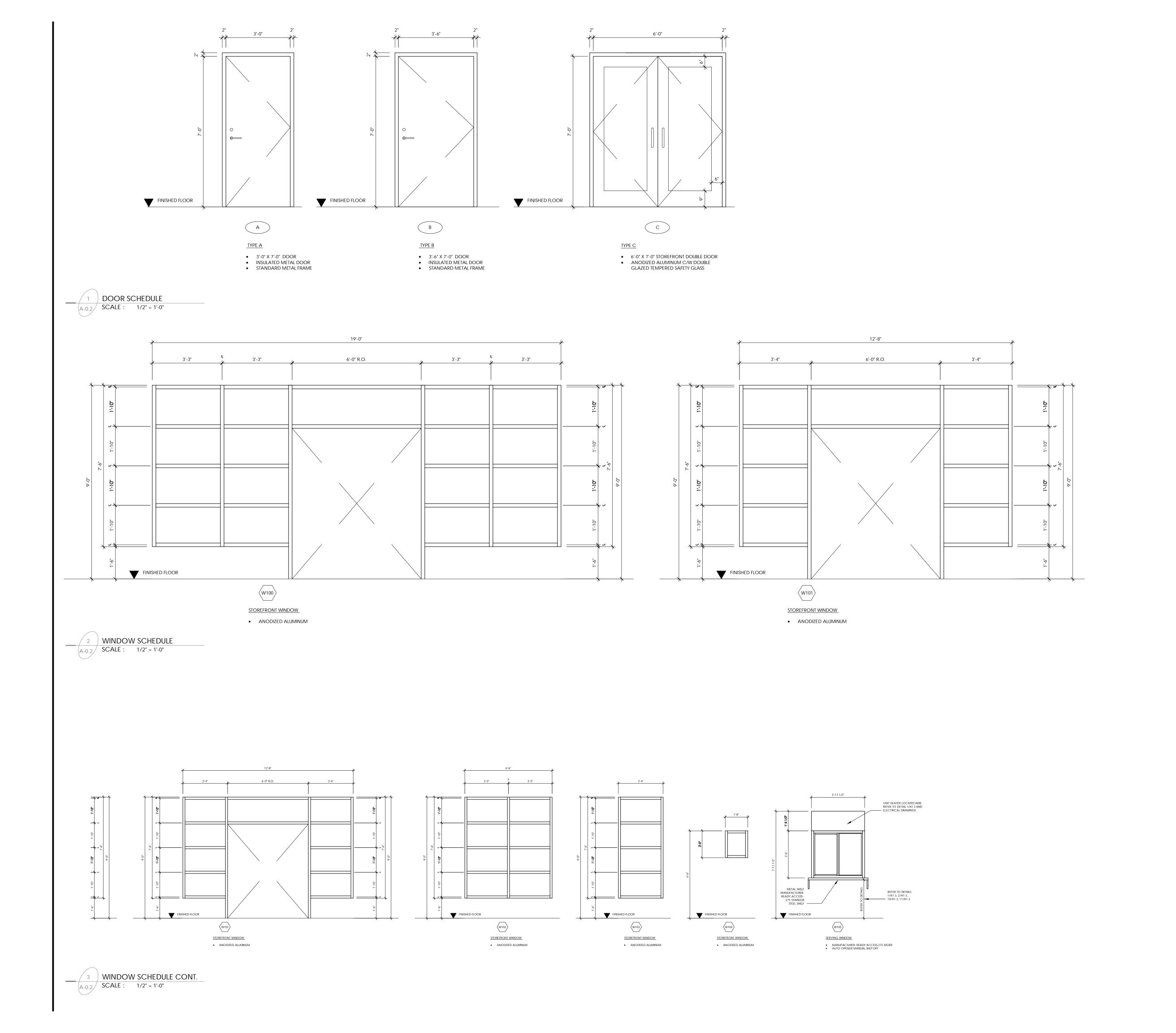
DRAWING TITLE

NOTES + ASSEMBLIES

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	2012-08-1	3
1204	SCALE	N.T.S.	
DRAWING NO.			REVISION
А	0.1		



keddie architecture inc suite 303, 2124 - 17 street sw calgary ab 12t 4m4 p 403.860.6297 f 403.289.0020 csked@telus.net

CONSULTANT

SE

	3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	СК
	2	12-07-27	BUILDING PERMIT	ML	СК
	1	12-06-03	DEVELOPMENT PERMIT	ck	СК
	NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIE
П					

CONSTRUCTION MANAGER



THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

PROJEC

## 500 RANCH MARKET RETAIL DEVELOPMENT

500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

## DOOR + WINDOW SCHEDULES

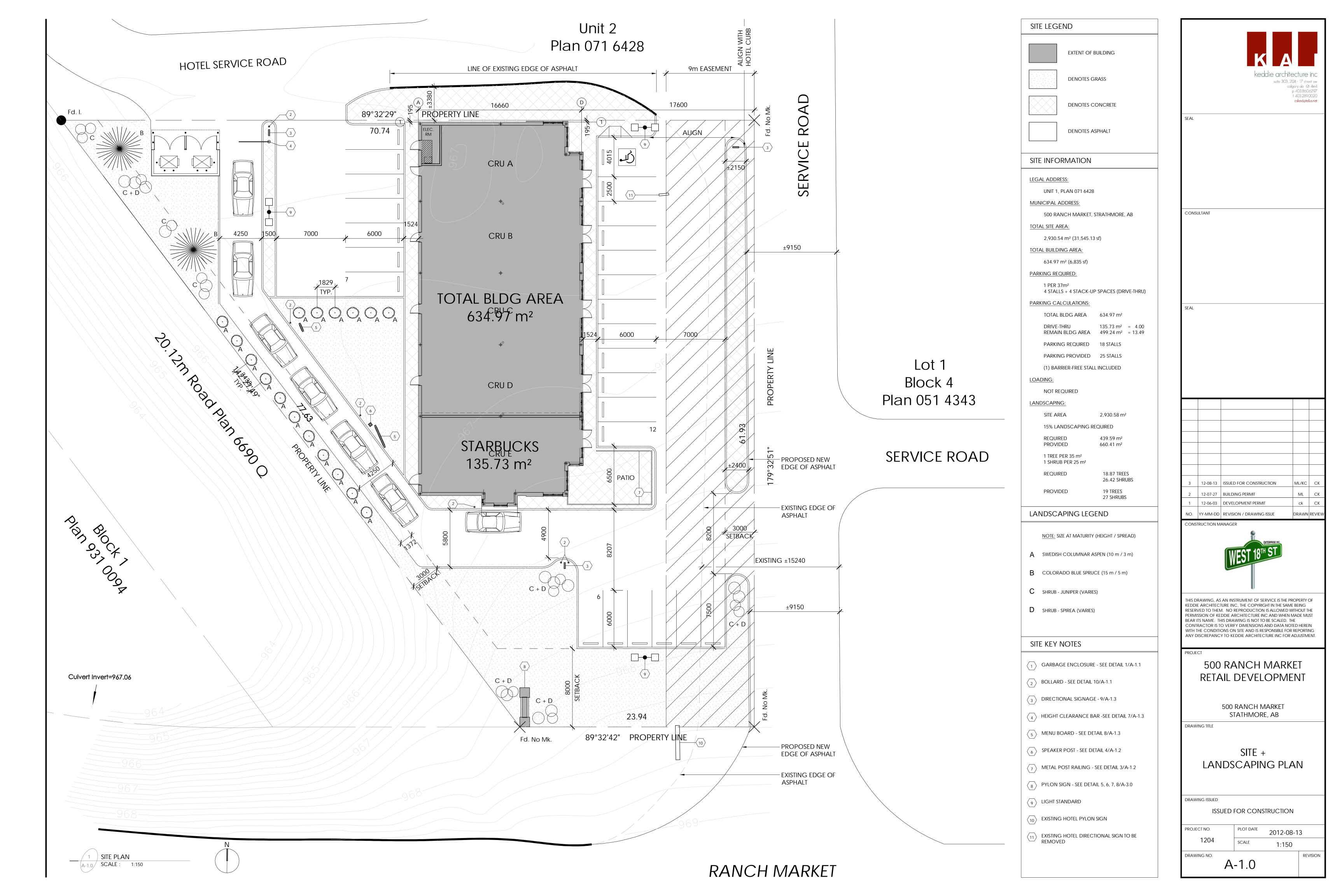
DRAWING ISSUED

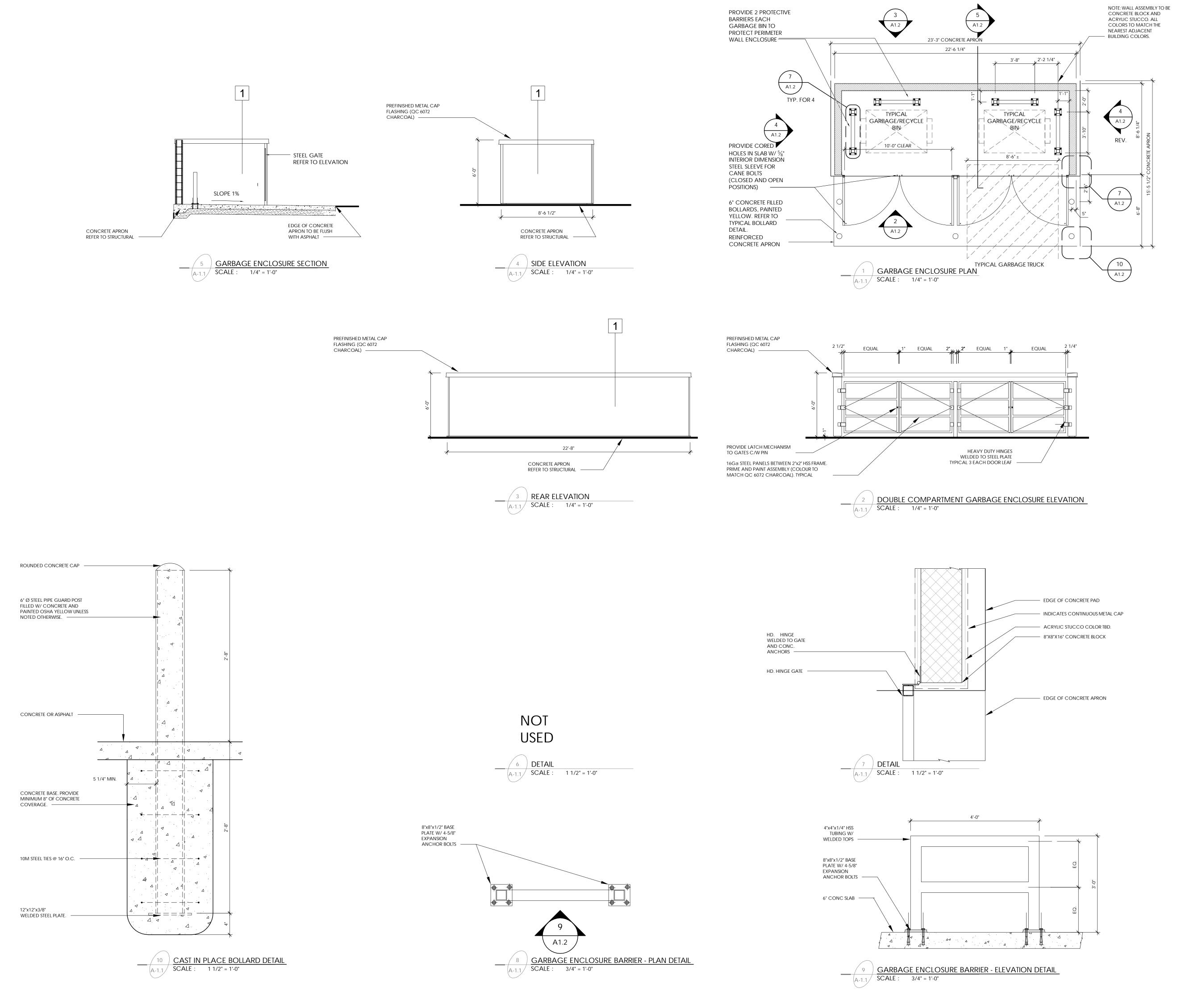
ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	2012-08-1	
1204	SCALE	1/2" = 1'-0'	ı
DRAWING NO.			RE'

A-0.2

2 REVISION







CONSULTANT

3 12-08-13 ISSUED FOR CONSTRUCTION 2 12-07-27 BUILDING PERMIT 1 12-06-03 DEVELOPMENT PERMIT ck CK DRAWN REVIEW NO. YY-MM-DD REVISION / DRAWING ISSUE CONSTRUCTION MANAGER



THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

PROJECT

## 500 RANCH MARKET RETAIL DEVELOPMENT

500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

GARBAGE ENCLOSURE

DRAWING ISSUED

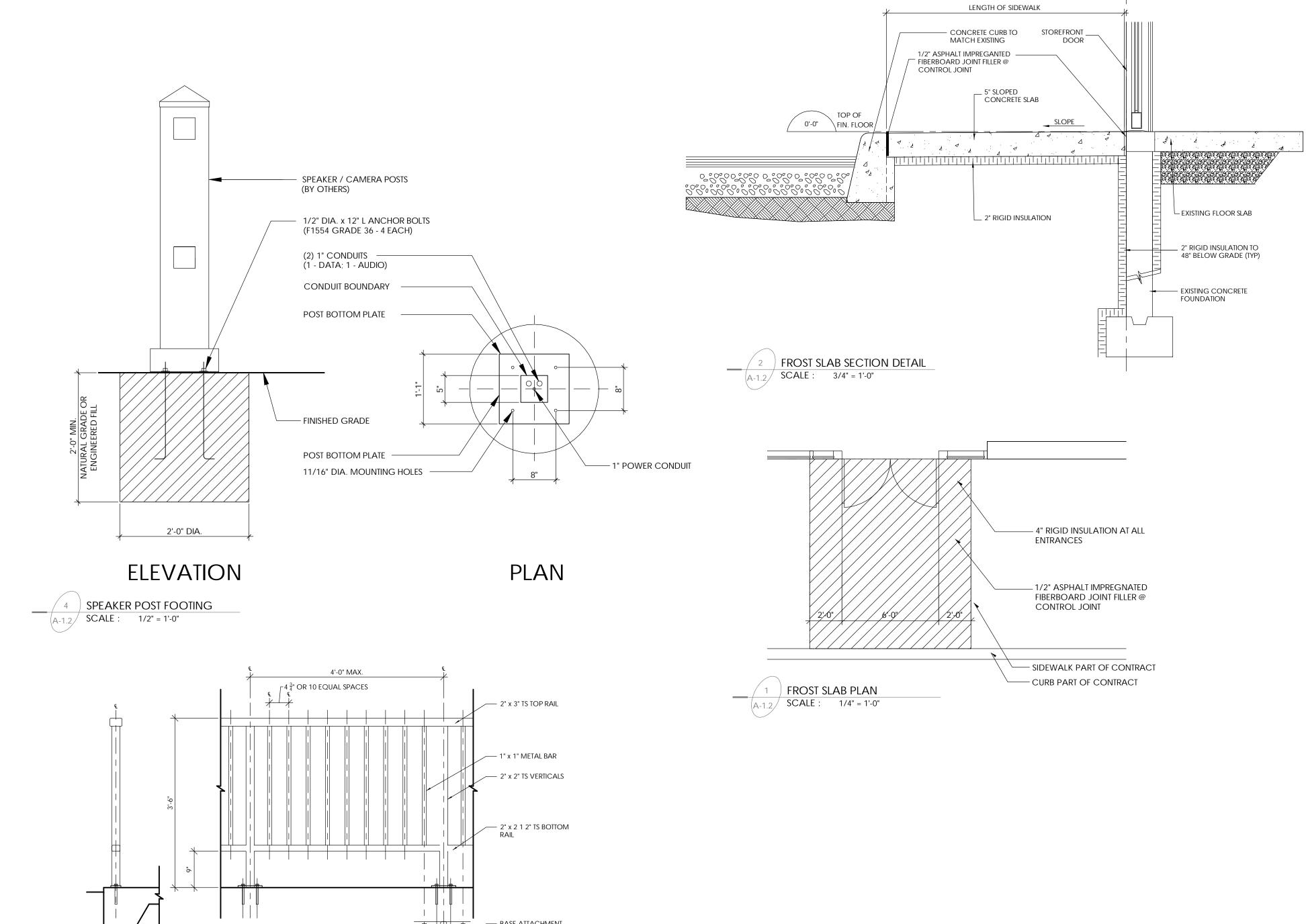
ISSUED FOR CONSTRUCTION

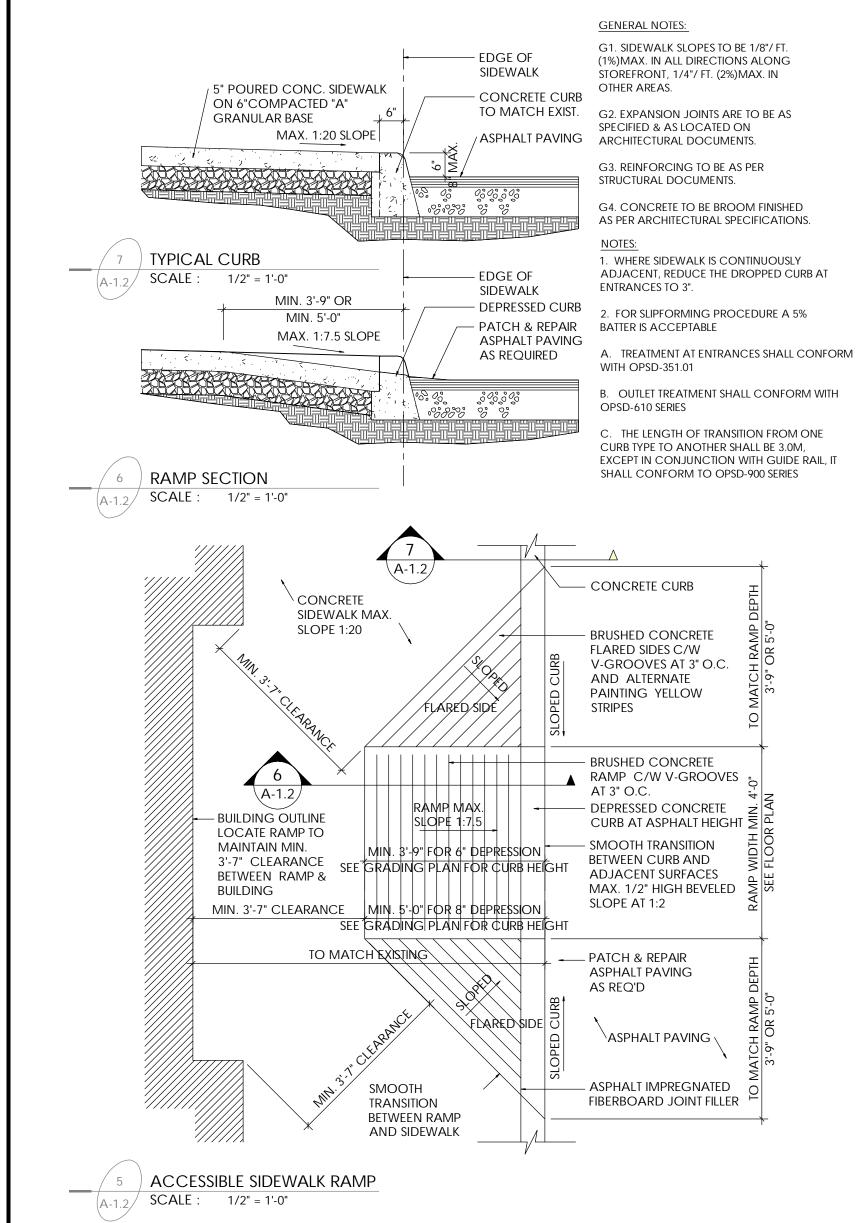
PROJECT NO. 2012-08-13 SCALE

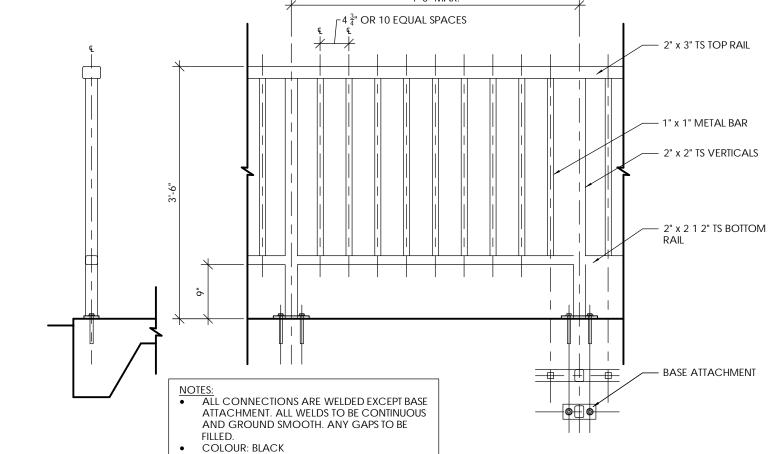
AS NOTED

DRAWING NO.

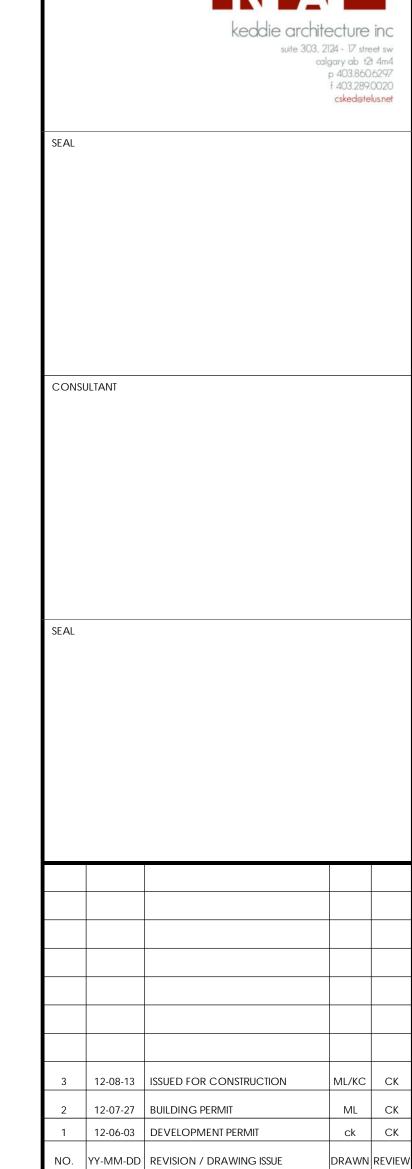
A-1.1







STANDARD PATIO RAILING A-1.2 SCALE: 3/4" = 1'-0"



THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

PROJECT

CONSTRUCTION MANAGER

## 500 RANCH MARKET RETAIL DEVELOPMENT

500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

SITE DETAILS

DRAWING ISSUED

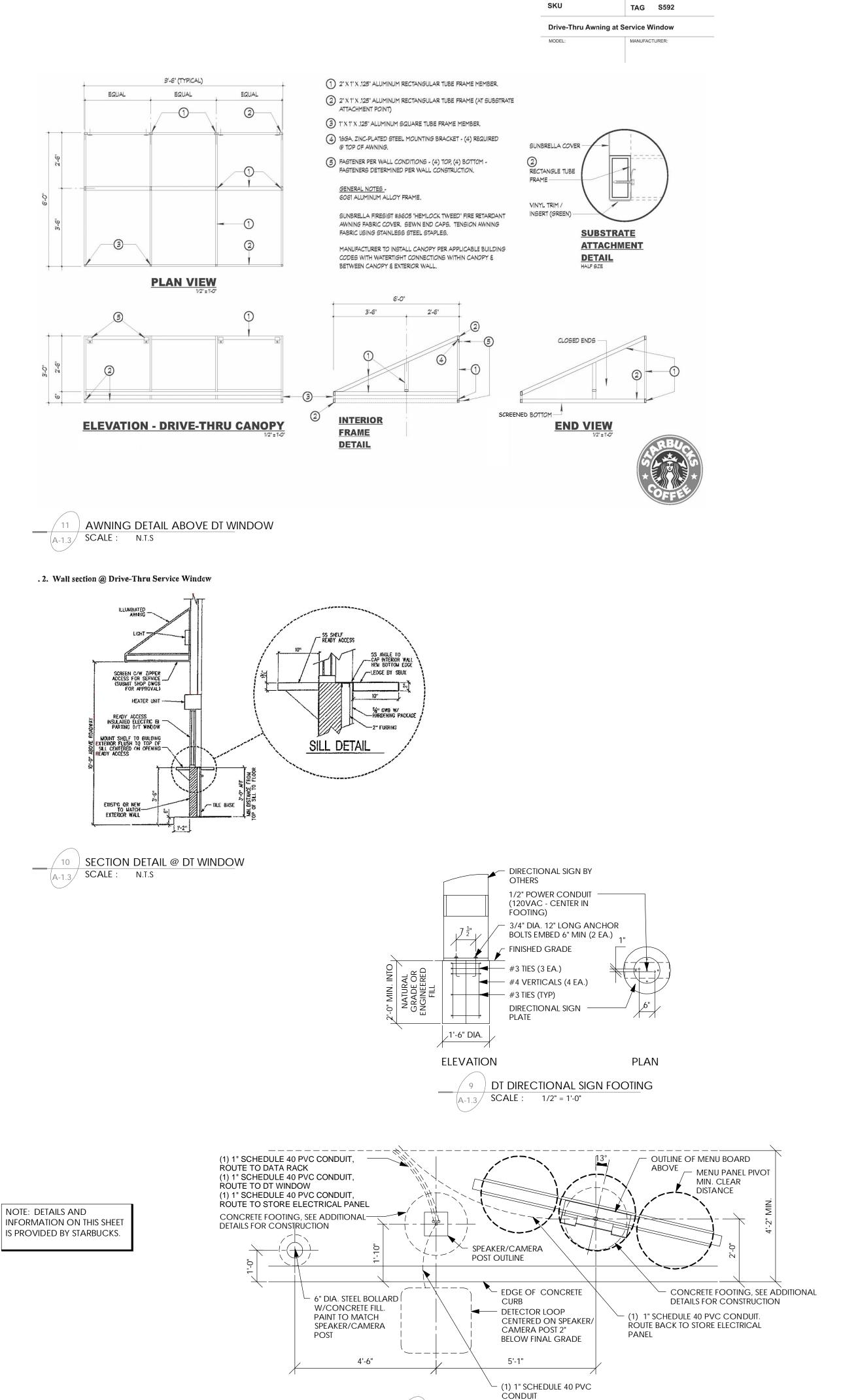
ISSUED FOR CONSTRUCTION

PROJECT NO. 2012-08-13 SCALE

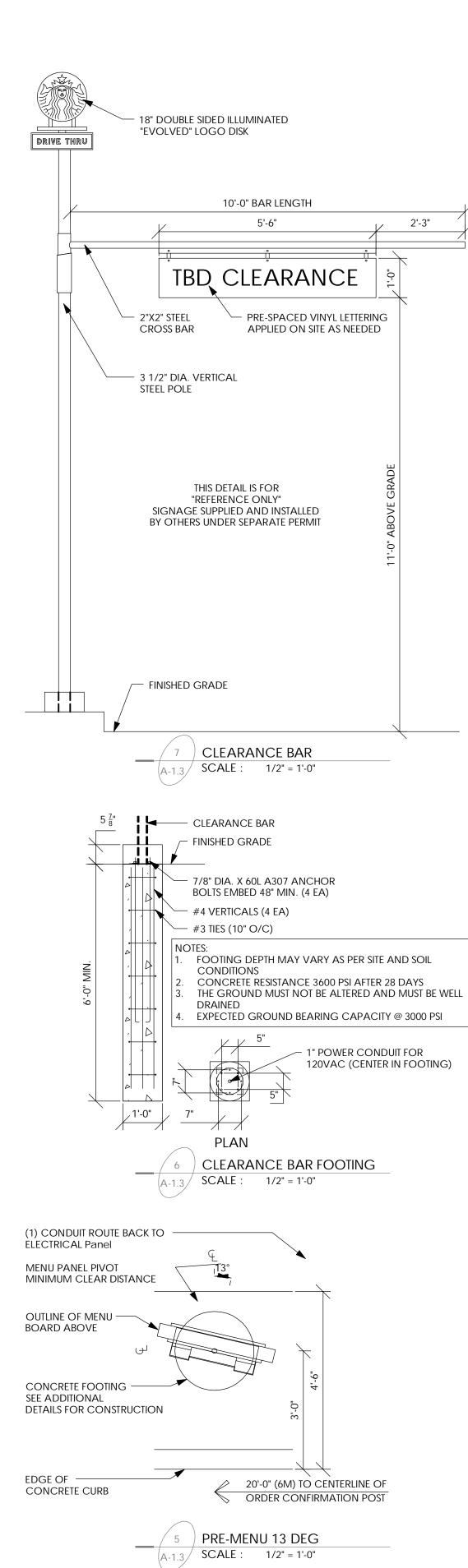
DRAWING NO.

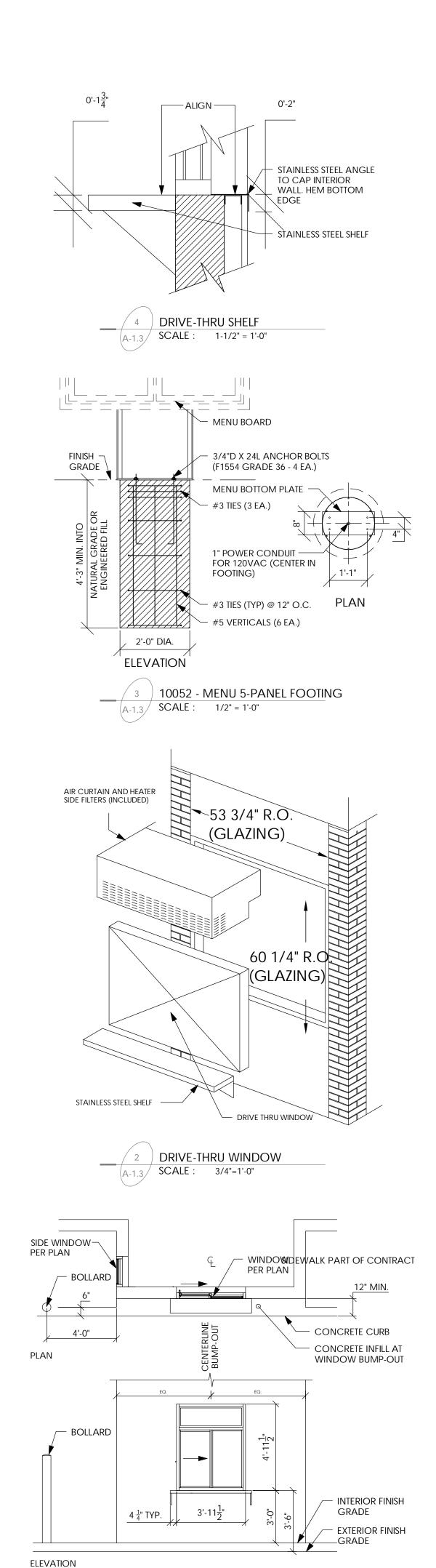
A-1.2

AS NOTED



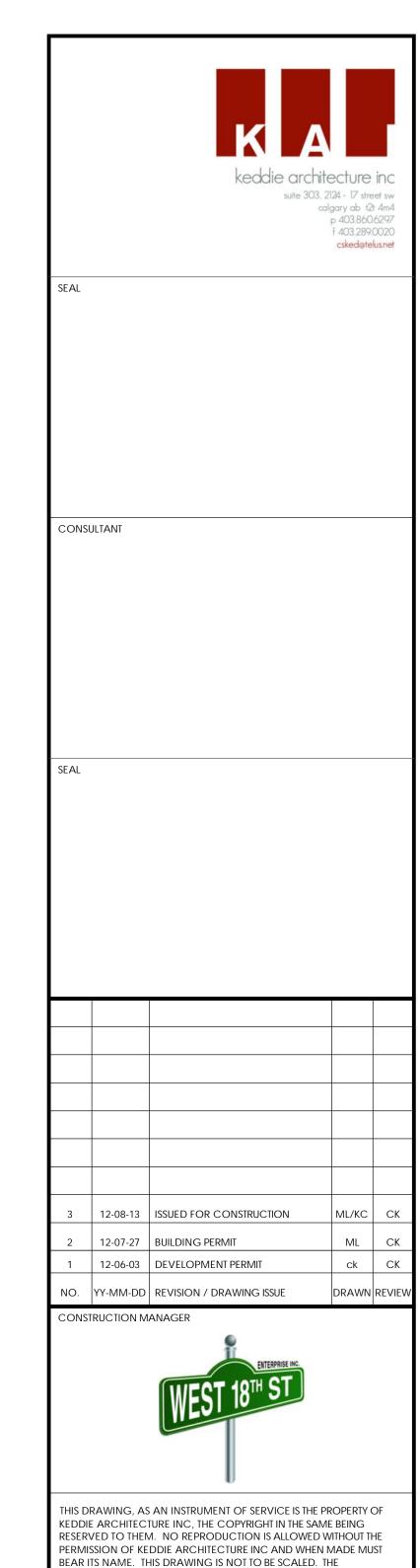
13 DEG - SPEAKER/CAMERA POST + 5 PANEL MENU BOARD (SIM)





DRIVE-THRU WINDOW BUMP-OUT

SCALE : 1/4"=1'-0"



CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

PROJECT 500 RANCH MARKET RETAIL DEVELOPMENT

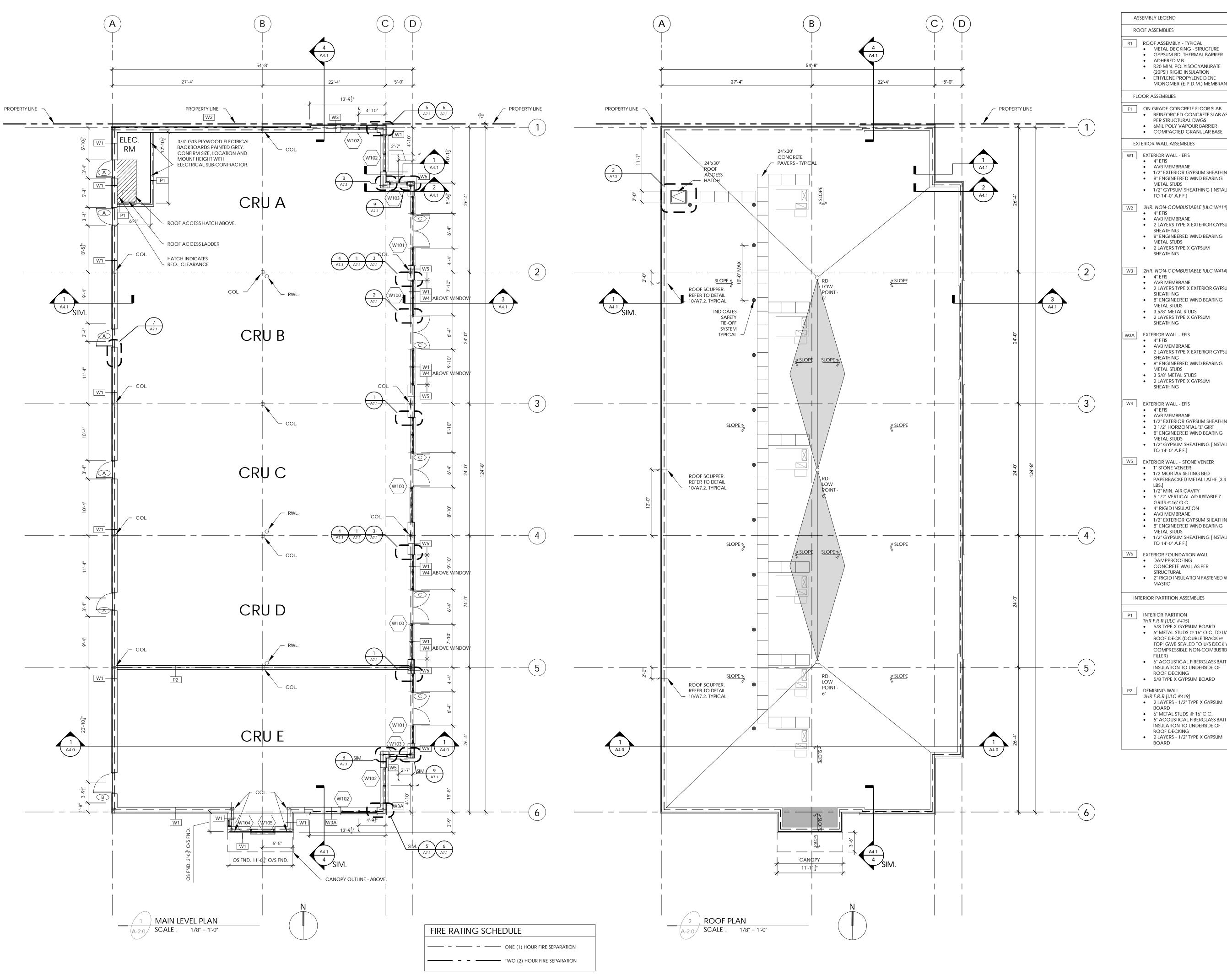
> 500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

STARBUCKS SITE DETAILS

DRAWING ISSUED ISSUED FOR CONSTRUCTION PROJECT NO. 2012-08-13 SCALE AS NOTED

DRAWING NO. A-1.3





CONSULTANT

MONOMER (E.P.D.M.) MEMBRANE

F1 ON GRADE CONCRETE FLOOR SLAB REINFORCED CONCRETE SLAB AS PER STRUCTURAL DWGS 6MIL POLY VAPOUR BARRIER

### EXTERIOR WALL ASSEMBLIES

## W1 EXTERIOR WALL - EFIS

- AVB MEMBRANE 1/2" EXTERIOR GYPSUM SHEATHING 8" ENGINEERED WIND BEARING
- METAL STUDS

  1/2" GYPSUM SHEATHING [INSTALL TO 14'-0" A.F.F.]
- W2 2HR. NON-COMBUSTABLE [ULC W414]
- 4" EFISAVB MEMBRANE
- 2 LAYERS TYPE X EXTERIOR GYPSUM SHEATHING 8" ENGINEERED WIND BEARING
- METAL STUDS 2 LAYERS TYPE X GYPSUM SHEATHING
- W3 2HR. NON-COMBUSTABLE [ULC W414]
- 4" EFISAVB MEMBRANE 2 LAYERS TYPE X EXTERIOR GYPSUM
- 8" ENGINEERED WIND BEARING METAL STUDS
- 3 5/8" METAL STUDS 2 LAYERS TYPE X GYPSUM SHEATHING
- W3A EXTERIOR WALL EFIS
- 2 LAYERS TYPE X EXTERIOR GYPSUM SHEATHING
- 8" ENGINEERED WIND BEARING METAL STUDS
- 3 5/8" METAL STUDS 2 LAYERS TYPE X GYPSUM SHEATHING

## W4 EXTERIOR WALL - EFIS

- AVB MEMBRANE 1/2" EXTERIOR GYPSUM SHEATHING 3 1/2" HORIZONTAL "Z" GIRT
- 8" ENGINEERED WIND BEARING METAL STUDS 1/2" GYPSUM SHEATHING [INSTALL
- TO 14'-0" A.F.F.]
- W5 EXTERIOR WALL STONE VENEER
   1" STONE VENEER
  - 1/2 MORTAR SETTING BED PAPERBACKED METAL LATHE [3.4
  - 1/2" MIN. AIR CAVITY
  - 5 1/2" VERTICAL ADJUSTABLE Z GRITS @16" O.C
  - 1/2" EXTERIOR GYPSUM SHEATHING 8" ENGINEERED WIND BEARING
- METAL STUDS

  1/2" GYPSUM SHEATHING [INSTALL

#### TO 14'-0" A.F.F.] W6 EXTERIOR FOUNDATION WALL

- DAMPPROOFING CONCRETE WALL AS PER STRUCTURAL
  • 2" RIGID INSULATION FASTENED W/

#### INTERIOR PARTITION ASSEMBLIES

- P1 INTERIOR PARTITION 1HR F.R.R [ULC #415] 5/8 TYPE X GYPSUM BOARD
  6" METAL STUDS @ 16" O.C. TO U/S ROOF DECK (DOUBLE TRACK @
- COMPRESSIBLE NON-COMBUSTIBLE 6" ACOUSTICAL FIBERGLASS BATT

TOP; GWB SEALED TO U/S DECK W/

Insulation to underside of ROOF DECKING

#### 5/8 TYPE X GYPSUM BOARD P2 DEMISING WALL

- 2HR F.R.R [ULC #419] 2 LAYERS - 1/2" TYPE X GYPSUM
- 6" METAL STUDS @ 16" C.C. 6" ACOUSTICAL FIBERGLASS BATT INSULATION TO UNDERSIDE OF ROOF DECKING

  A COUSTICAL FIBER OF COUSTING

  OF THE PROPERTY OF

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN

WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING

ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

ck CK

3 12-08-13 ISSUED FOR CONSTRUCTION

2 12-07-27 BUILDING PERMIT

CONSTRUCTION MANAGER

1 12-06-03 DEVELOPMENT PERMIT

NO. YY-MM-DD REVISION / DRAWING ISSUE

PROJECT

## 500 RANCH MARKET RETAIL DEVELOPMENT

500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

MAIN LEVEL **ROOF PLANS** 

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

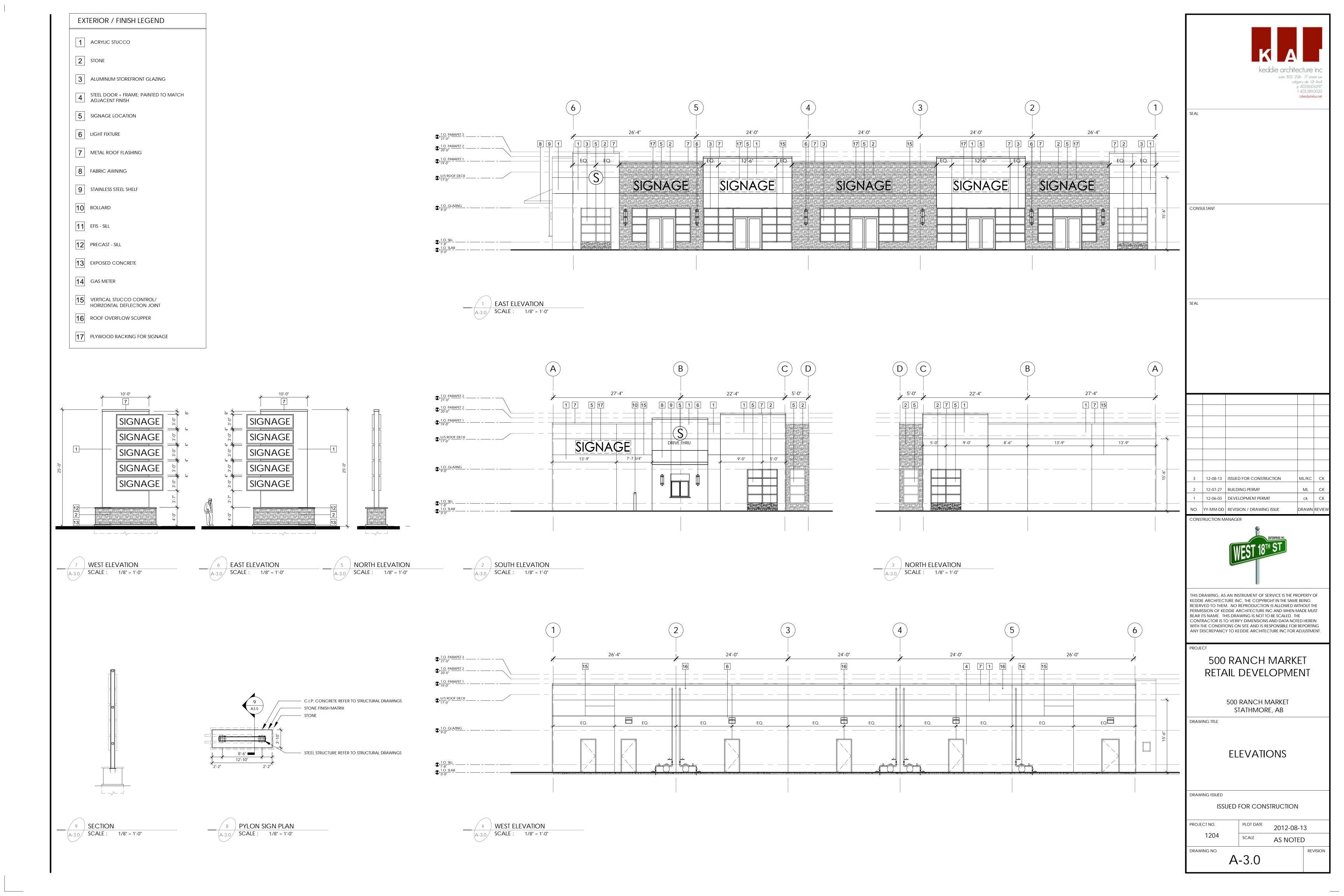
PROJECT NO. PLOT DATE SCALE

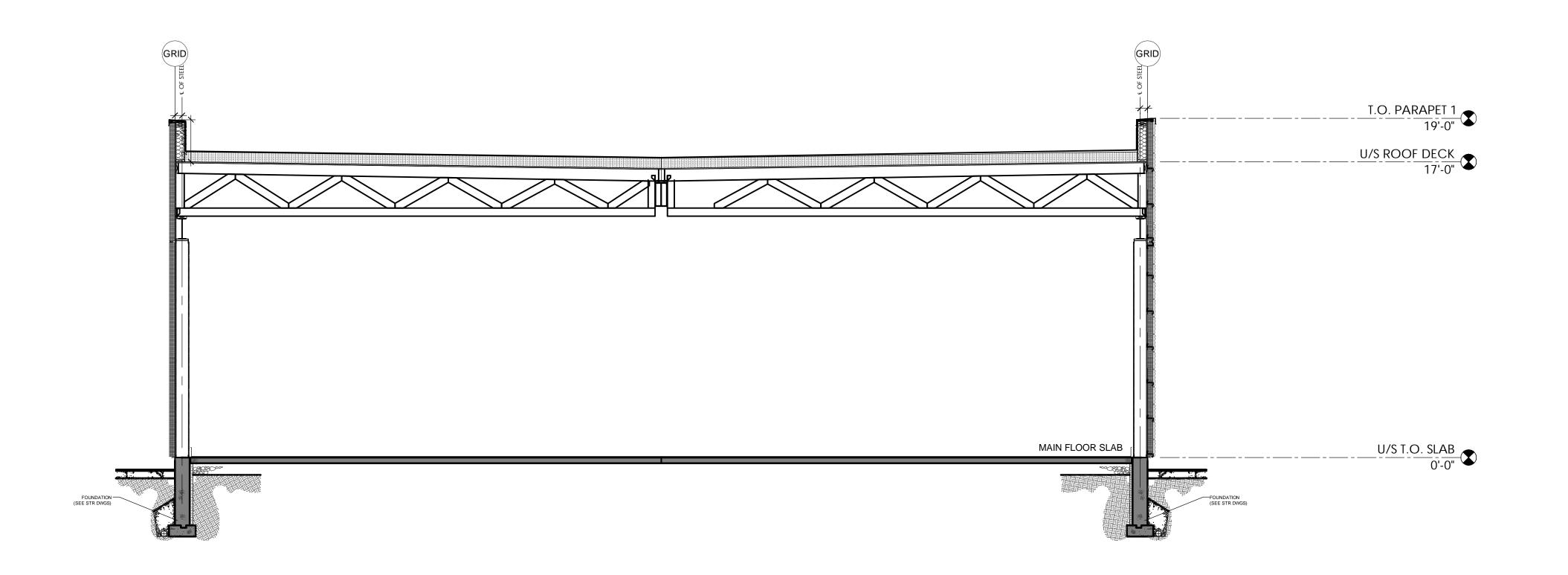
DRAWING NO.

A-2.0

2012-08-13

1/8" = 1'-0"







CONSULTANT

3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	CK
2	12-07-27	BUILDING PERMIT	ML	СК
1	12-06-03	DEVELOPMENT PERMIT	ck	СК
NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIE

CONSTRUCTION MANAGER



THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

## 500 RANCH MARKET RETAIL DEVELOPMENT

500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

## **BUILDING SECTION**

Drawing issued

DRAWING NO.

ISSUED FOR CONSTRUCTION

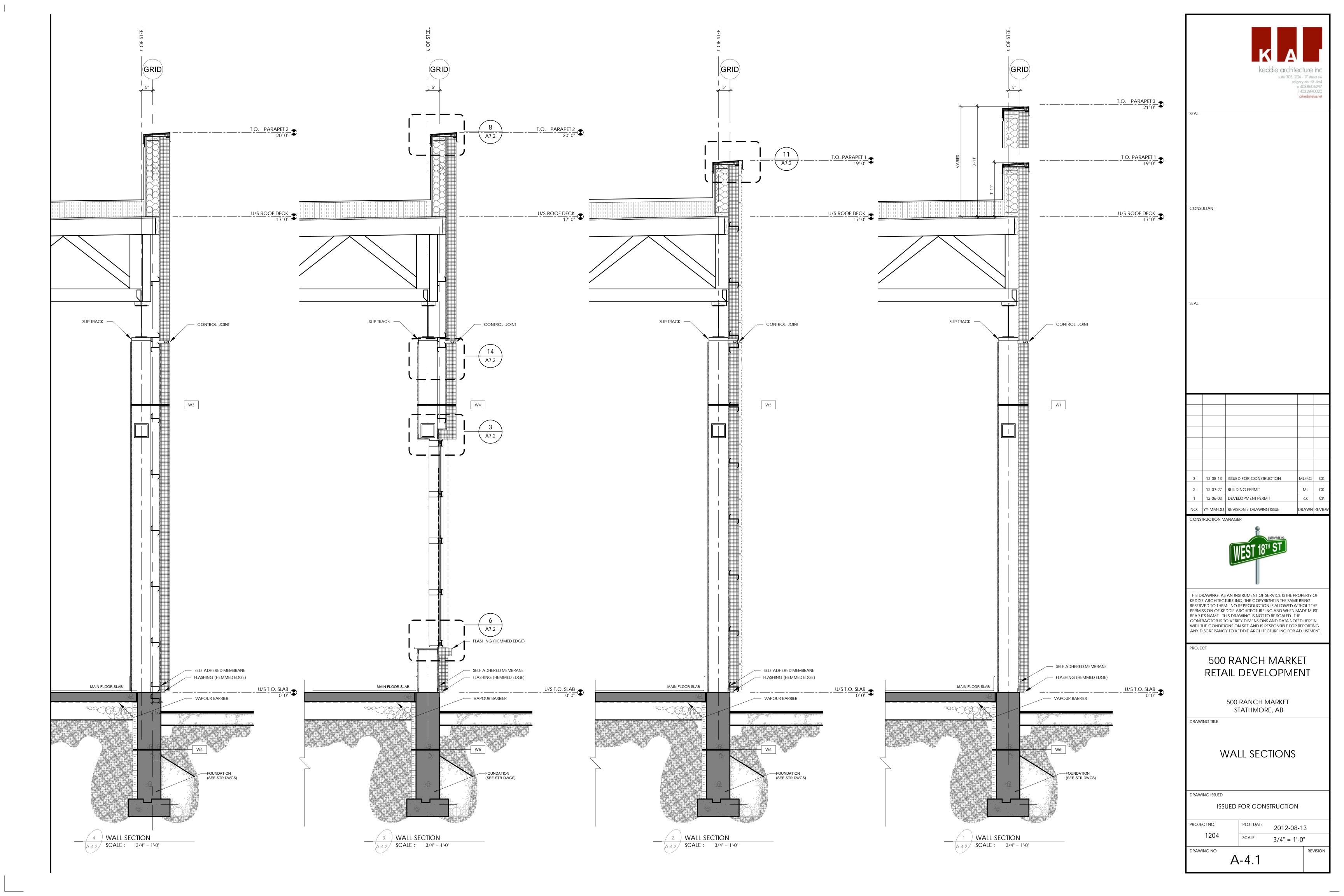
PROJECT NO. SCALE

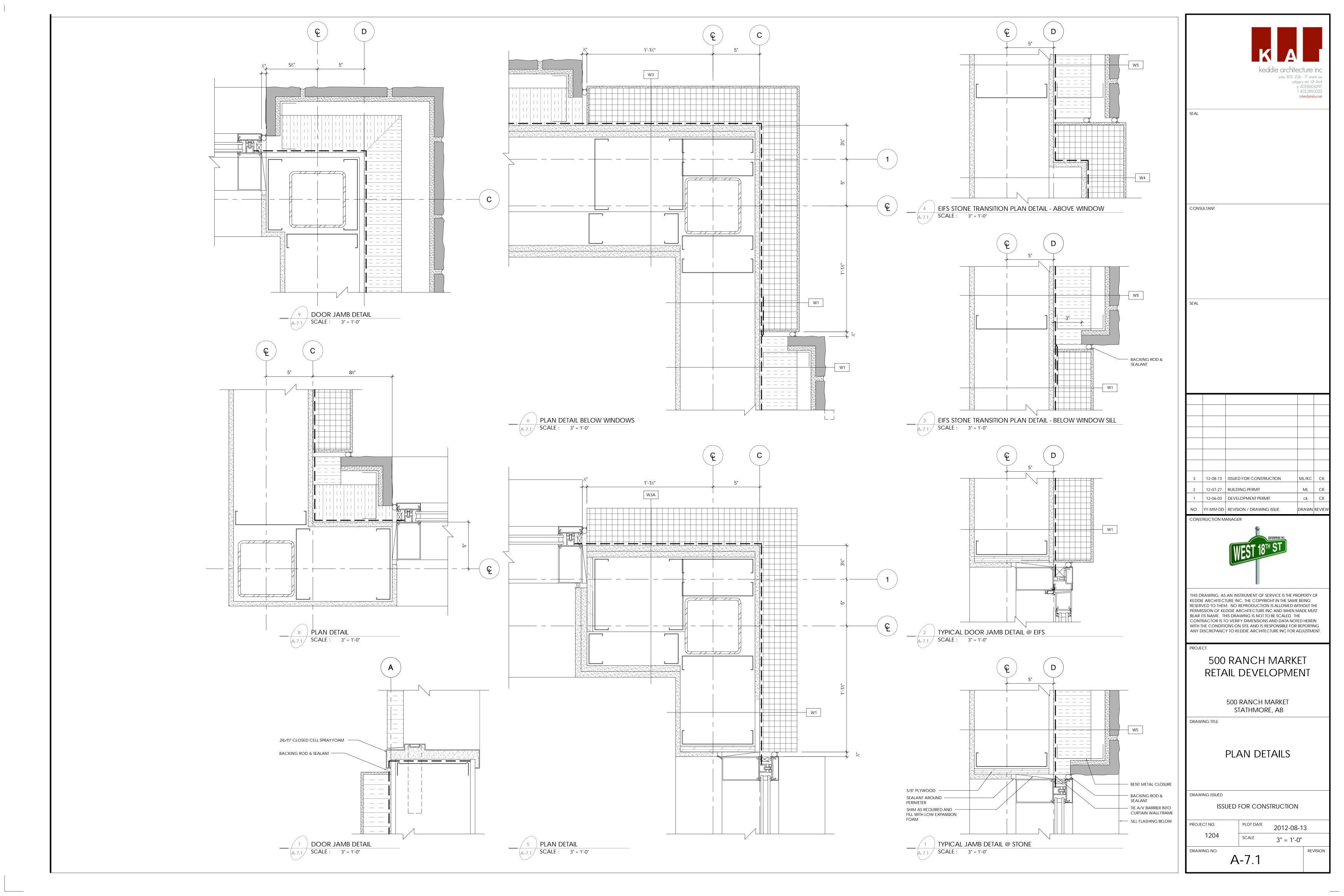
A-4.0

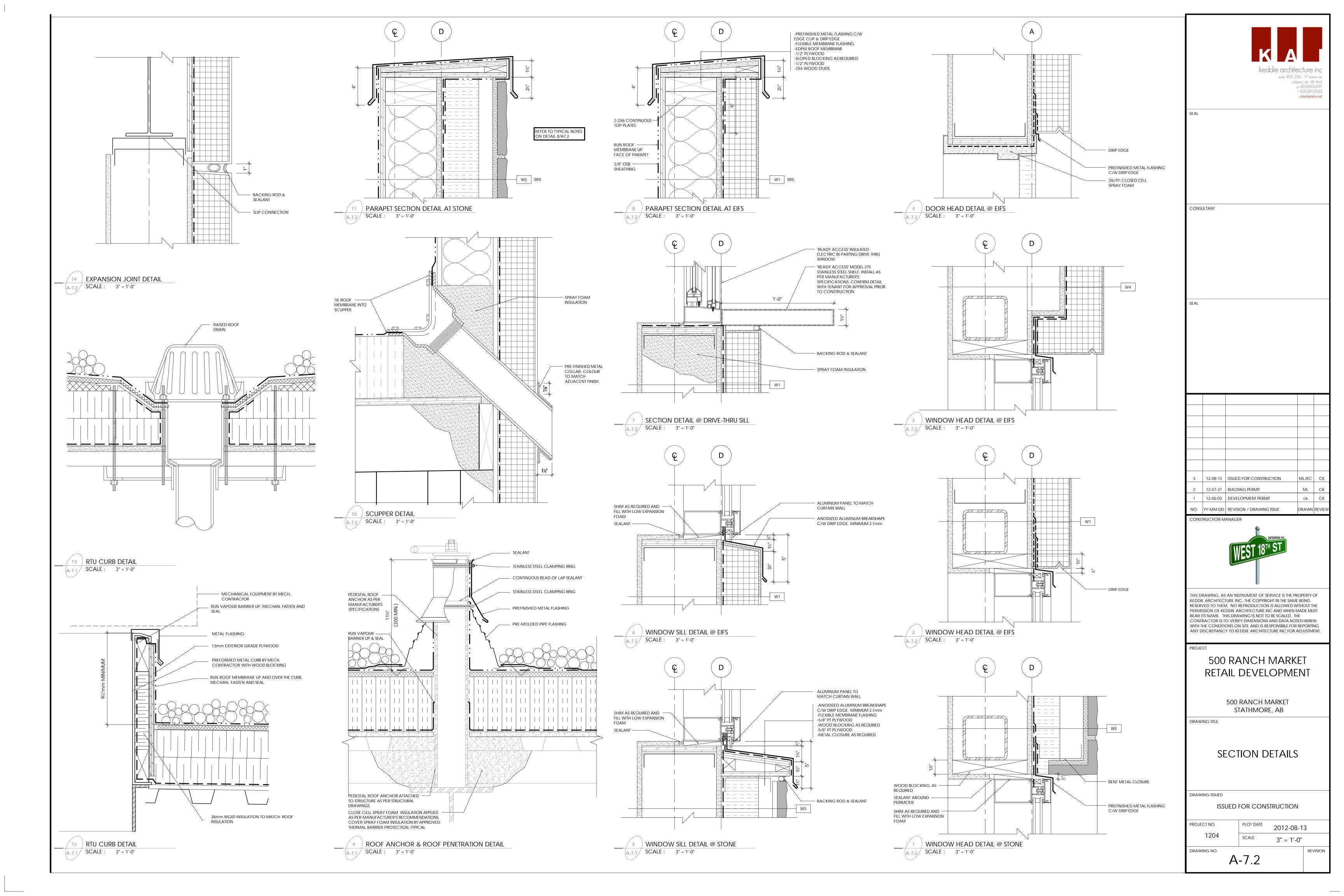
2012-08-13

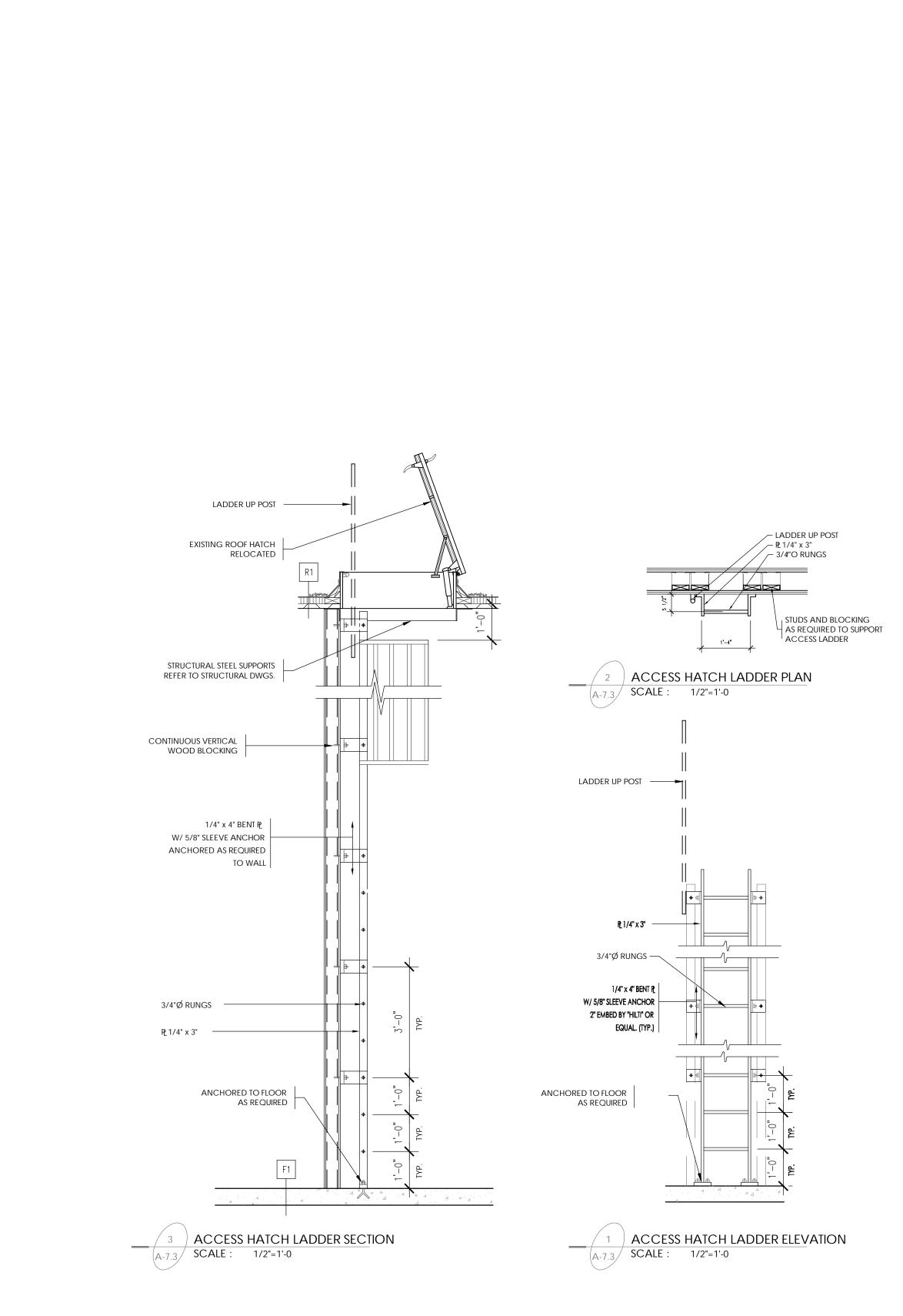
REVISION

1/4" = 1'-0"











SEAL

CONSULTANT

3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	СК
2	12-07-27	BUILDING PERMIT	ML	СК
1	12-06-03	DEVELOPMENT PERMIT	ck	СК
NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIE



THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF KEDDIE ARCHITECTURE INC, THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KEDDIE ARCHITECTURE INC AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KEDDIE ARCHITECTURE INC FOR ADJUSTMENT.

PROJECT

## 500 RANCH MARKET RETAIL DEVELOPMENT

500 RANCH MARKET STATHMORE, AB

DRAWING TITLE

MISCELLANEOUS DETAILS

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO. 1204

PLOT DATE 2012-08-13

SCALE AS NOTED

DRAWING NO. A-7.3

-7.3