

500 RANCH MARKET

RETAIL DEVELOPMENT



DRAWING LIST :

ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL
A-0.0 COVER, INDEX, BLDG. CODE SUMMARY	S1.1 CONSTRUCTION NOTES	M1-1 MECHANICAL SITE PLAN	E1 SPECIFICATIONS
A-0.1 NOTES + ASSEMBLIES	S1.2 TYPICAL DETAILS	M-1 FLOOR HVAC PLANS	E2 ELECTRICAL SITE PLAN
A-0.2 DOOR + WINDOW SCHEDULES	S2.1 MAIN FLOOR + FOUNDATION PLAN	M-2 FLOOR PLUMBING + DRAINAGE PLANS	E3 BASE BUILDING ELECTRICAL
A-1.0 SITE PLAN	S3.1 ROOF FRAMING PLAN	M-3 MECHANICAL SPECIFICATIONS	
A-1.1 SITE DETAILS - GARBAGE ENCLOSURE	S4.1 FOUNDATION SECTIONS		
A-1.2 SITE DETAILS	S4.2 FOUNDATION SECTIONS + DETAILS		
A-1.3 SITE DETAILS - STARBUCKS	S5.1 ROOF FRAMING SECTIONS		
A-2.0 MAIN FLOOR + ROOF PLANS	S6.1 ELEVATIONS		
A-3.0 ELEVATIONS			
A-4.0 BUILDING SECTION			
A-4.1 WALL SECTIONS			
A-7.1 PLAN AND SECTION DETAILS			
A-7.2 PLAN AND SECTION DETAILS			
A-7.3 PLAN AND SECTION DETAILS			

CONSULTANTS:

ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL
KEDDIE ARCHITECTURE INC 303, 2124 - 17th Street SW Calgary, Alberta T2T 4M4 CONTACT: CORINNE KEDDIE TEL: 403.860.6297 E-MAIL: csked@telus.net	TRL & ASSOCIATES 100, 1615 - 10th Avenue SW Calgary, Alberta T3C 0J7 CONTACT: BRYAN RONEY TEL: 403.244.4944 EMAIL: bryanroney@trleng.ca	DMH DESIGNS LTD. 117 Royal Oak Green NW Calgary, Alberta T7G 6A7 CONTACT: DAVID PEDERSEN TEL: 403.620.3170 EMAIL: dmhdes@shaw.ca	R. LAMONTAGNE. P. ENG. P.O. Box 2531 Didsbury, Alberta T0M 0W0 CONTACT: RICHARD LAMONTAGNE TEL: 403.703.6161 EMAIL: ralamont@shaw.ca

BUILDING CODE SYNOPSIS		
COMMENTARY FOR CODE AUTHORITIES		
NOTE: THESE COMMENTS ARE PREPARED FOR THE PURPOSE OF THE APPROVAL AUTHORITIES REVIEW. CONTRACTORS ARE CAUTIONED NOT TO USE THESE FIGURES FOR CONSTRUCTION. REFER TO FULL DOCUMENT SET FOR CONSTRUCTION TYPES AND QUANTITIES.		
TOWN OF STRATHMORE BYLAW		REFERENCE
ZONING:	CHWY - HIGHWAY COMMERCIAL DISTRICT	SECTION 220
PERMITTED USES (PARTIAL LIST):	DRIVE-IN FOOD SERVICES; EATING AND DRINKING ESTABLISHMENTS, MAJOR; EATING AND DRINKING ESTABLISHMENTS, MINOR; RETAIL STORES, CONVENIENCE; RETAIL STORES, GENERAL; SHOPPING CENTERS	SECTION 220 (2)
DISCRETIONARY USES (PARTIAL LIST):	PERSONAL SERVICE SHOPS	SECTION 220 (3)
FRONT YARD SETBACK:	8m (26.2 ft)	SECTION 220 (4c)
SIDE YARDS SETBACK:	3m (9.8 ft)	SECTION 220 (4d)
REAR YARD SETBACK:	3m (9.8 ft)	SECTION 220 (4e)
BUILDING HEIGHT:	NO MAXIMUM REQUIRED	SECTION 220 (4f)
LANDSCAPING:	AT LEAST 15% OF THE GROSS AREA (EXCLUDING BOULEVARDS)	SECTION 220 (4g)
SOFT LANDSCAPING:	1 TREE PER 35 m ² AND 1 SHRUB PER 25 m ² OF GROSS LANDSCAPED AREA, EXCLUDING BOULEVARDS: MIN. 50 mm CALIPER FOR SMALLER DECIDUOUS TREES AND ORNAMENTAL FLOWERING TREES (<6 m AT MATURITY); MIN. 85 mm FOR LARGER DECIDUOUS TREES (→6 m AT MATURITY); MIN. 2 m HEIGHT FOR SMALLER (<6 m AT MATURITY) AND 3 m HEIGHT FOR LARGER (→6 m AT MATURITY) CONIFEROUS TREES; MIN. 600 mm HEIGHT OR SPREAD FOR SHRUBS; MIN. OF 1/2 OF THE TREES SHOULD BE LARGER TREES AT MATURITY (→6 m); CONIFEROUS TREES/SHRUBS SHOULD COMPRISE A MIN. 1/3 AND MAX 1/2 OF ALL TREES/SHRUBS	SECTION 60 (2)
PARKING:	1 STALL / 37m ² ; 4 STALLS + 4 STACK-UP SPACES (DRIVE-THRU)	SECTION 61
SIGNS:	BUILDING FASCIA SIGNS AND PYLON SIGN PROVIDED	SECTION 70

BUILDING CODE SYNOPSIS		
COMMENTARY FOR CODE AUTHORITIES		
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THE APPLICABLE BUILDING CODE FOR THE BUILDING IS THE ALBERTA BUILDING CODE 2006.		CODE REFERENCE
PROJECT DESCRIPTION:	COMMERCIAL RETAIL DEVELOPMENT	
PROJECT OCCUPANCY(S):	GROUP E	3.1.2.1.(1)
BUILDING AREA:	634.97 m ² (6,835 SF)	1.4.1.2.(A)
NUMBER OF STOREY(S)	1 STOREY (19'-6")	1.4.1.2.(A)
NUMBER OF STREETS/FIRE FIGHTER ACCESS:	BUILDING FACES 2 STREETS	3.2.2.10 & 3.2.5.
BUILDING CLASSIFICATION	3.2.2.61. GROUP E, UP TO 2 STOREYS MAXIMUM AREA FACING 2 STREET FOR 1 STOREY: 1,000m ²	3.2.2.61
SPRINKLER SYSTEM PROPOSED:	NOT REQUIRED	3.2.2.20-.83
STANDPIPE REQUIRED:	NOT REQUIRED	3.2.5.8.
FIRE ALARM REQUIRED:	NOT REQUIRED	3.2.4.1.
WATER SERVICE/SUPPLY IS ADEQUATE:	WATER SUPPLY IS ADEQUATE	3.2.5.7.
CONSTRUCTION RESTRICTIONS:	3.2.2.61. - COMBUSTIBLE OR NON-COMBUSTIBLE	3.2.2.20-.83
MEZZANINE(S):	NONE	3.2.1.1.(3)
OCCUPANT LOAD:	TO BE PROVIDED WITH TENANT IMPROVEMENT (SEPARATE PERMIT)	3.1.17
BARRIER FREE DESIGN:	YES (BUILDING ACCESS)	3.2.8.
HAZARDOUS SUBSTANCES:	N/A	3.3.1.2.
REQUIRED FIRE RESISTANCE RATINGS:	FLOOR: N/A ROOF: 0HR. MEZZANINE(S): N/A	3.2.2.61
REQUIRED FIRE RESISTANCE SUPPORTING MEMBERS:	LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY	3.2.2.61
REQUIRED EXITS:	EVERY FLOOR AREA INTENDED FOR OCCUPANCY SHALL BE SERVED BY AT LEAST 2 EXITS	3.4.2.1.
DISTANCE BETWEEN EXITS:	THE LEAST DISTANCE BETWEEN 2 REQUIRED EXITS FROM A FLOOR AREA SHALL BE ONE HALF THE MAXIMUM DIAGONAL DIMENSION OF THE FLOOR AREA, BUT NOT LESS THAN 9m	3.4.2.3.(B)
MINIMUM TRAVEL DISTANCE TO EXIT:	IF MORE THAN ONE EXIT IS REQUIRED FROM A FLOOR AREA, THE EXIT SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE NOT MORE THAN 45m IN A FLOOR AREA THAT CONTAINS AN OCCUPANCY OTHER THAN A HIGH HAZARD INDUSTRIAL OCCUPANCY, PROVIDED IT IS SPRINKLERED THROUGHOUT	3.4.2.5.(1)(C)
	SENTENCE 3.4.2.5 (1)(C) NEED NOT APPLY IF EXITS ARE PLACED ALONG THE PERIMETER OF THE FLOOR AREA AND ARE NOT MORE THAN 60m APART, MEASURED ALONG THE PERIMETER, PROVIDED EACH MAIN AISLE IN THE FLOOR AREA LEADS DIRECTLY TO AN EXIT.	3.4.2.5.(2)
PLUMBING FACILITIES:	WASHROOM LAYOUT AND REQUIRED FIXTURES TO BE PROVIDED UNDER TENANT IMPROVEMENTS (SEPARATE PERMIT)	10.5.2.
SPATIAL SEPARATION: RATING REQUIRED = 2HR. F.R.R.		3.2.3.1 + 3.2.3.7.



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3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	CK
2	12-07-27	BUILDING PERMIT	ML	CK
1	12-06-03	DEVELOPMENT PERMIT	ck	CK

CONSTRUCTION MANAGER



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PROJECT

**500 RANCH MARKET
RETAIL DEVELOPMENT**

500 RANCH MARKET
STATHMORE, AB

DRAWING TITLE

**COVER SHEET,
DRAWING LIST,
BUILDING CODE SUMMARY**

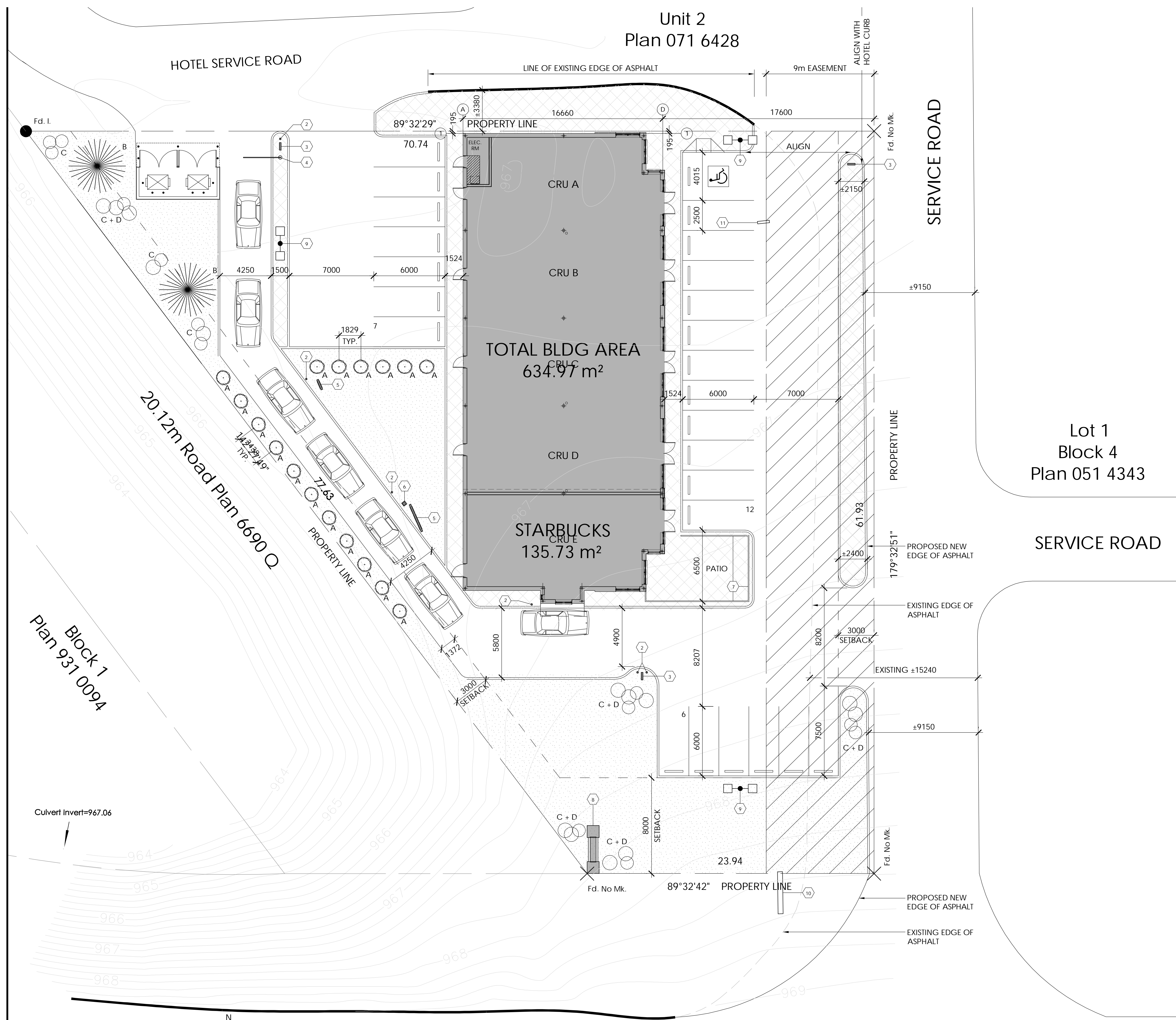
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PROJECT NO.	PLOT DATE	2012-08-13
1204	SCALE	N.T.S.

DRAWING NO.	REVISION
A-0.0	

Unit 2
Plan 071 6428



Lot 1
Block 4
Plan 051 4343

SERVICE ROAD

RANCH MARKET

SITE LEGEND

- EXTENT OF BUILDING
- DENOTES GRASS
- DENOTES CONCRETE
- DENOTES ASPHALT

SITE INFORMATION

LEGAL ADDRESS:
UNIT 1, PLAN 071 6428

MUNICIPAL ADDRESS:
500 RANCH MARKET, STRATHMORE, AB

TOTAL SITE AREA:
2,930.54 m² (31,545.13 sf)

TOTAL BUILDING AREA:
634.97 m² (6,835 sf)

PARKING REQUIRED:
1 PER 37m²
4 STALLS + 4 STACK-UP SPACES (DRIVE-THRU)

PARKING CALCULATIONS:

TOTAL BLDG AREA	634.97 m ²
DRIVE-THRU	135.73 m ² = 4.00
REMAIN BLDG AREA	499.24 m ² = 13.49
PARKING REQUIRED	18 STALLS
PARKING PROVIDED	25 STALLS
(1) BARRIER-FREE STALL INCLUDED	

LOADING:
NOT REQUIRED

LANDSCAPING:

SITE AREA	2,930.58 m ²
15% LANDSCAPING REQUIRED	
REQUIRED	439.59 m ²
PROVIDED	660.41 m ²
1 TREE PER 35 m ²	
1 SHRUB PER 25 m ²	
REQUIRED	18.87 TREES 26.42 SHRUBS
PROVIDED	19 TREES 27 SHRUBS

LANDSCAPING LEGEND

NOTE: SIZE AT MATURITY (HEIGHT / SPREAD)

- A SWEDISH COLUMNAR ASPEN (10 m / 3 m)
- B COLORADO BLUE SPRUCE (15 m / 5 m)
- C SHRUB - JUNIPER (VARIES)
- D SHRUB - SPIREA (VARIES)

SITE KEY NOTES

- GARBAGE ENCLOSURE - SEE DETAIL 1/A-1.1
- BOLLARD - SEE DETAIL 10/A-1.1
- DIRECTIONAL SIGNAGE - 9/A-1.3
- HEIGHT CLEARANCE BAR - SEE DETAIL 7/A-1.3
- MENU BOARD - SEE DETAIL 8/A-1.3
- SPEAKER POST - SEE DETAIL 4/A-1.2
- METAL POST RAILING - SEE DETAIL 3/A-1.2
- PYLON SIGN - SEE DETAIL 5, 6, 7, 8/A-3.0
- LIGHT STANDARD
- EXISTING HOTEL PYLON SIGN
- EXISTING HOTEL DIRECTIONAL SIGN TO BE REMOVED

K A I
kieddie architecture inc
suite 303, 254 - 17 street sw
calgary ab t2c 4e4
p 403.260.9297
f 403.289.0020
ckieddie@kai.com

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3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	CK
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1	12-06-03	DEVELOPMENT PERMIT	ck	CK

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WEST 18TH ST

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RETAIL DEVELOPMENT**

500 RANCH MARKET
STATHMORE, AB

DRAWING TITLE

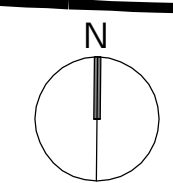
**SITE +
LANDSCAPING PLAN**

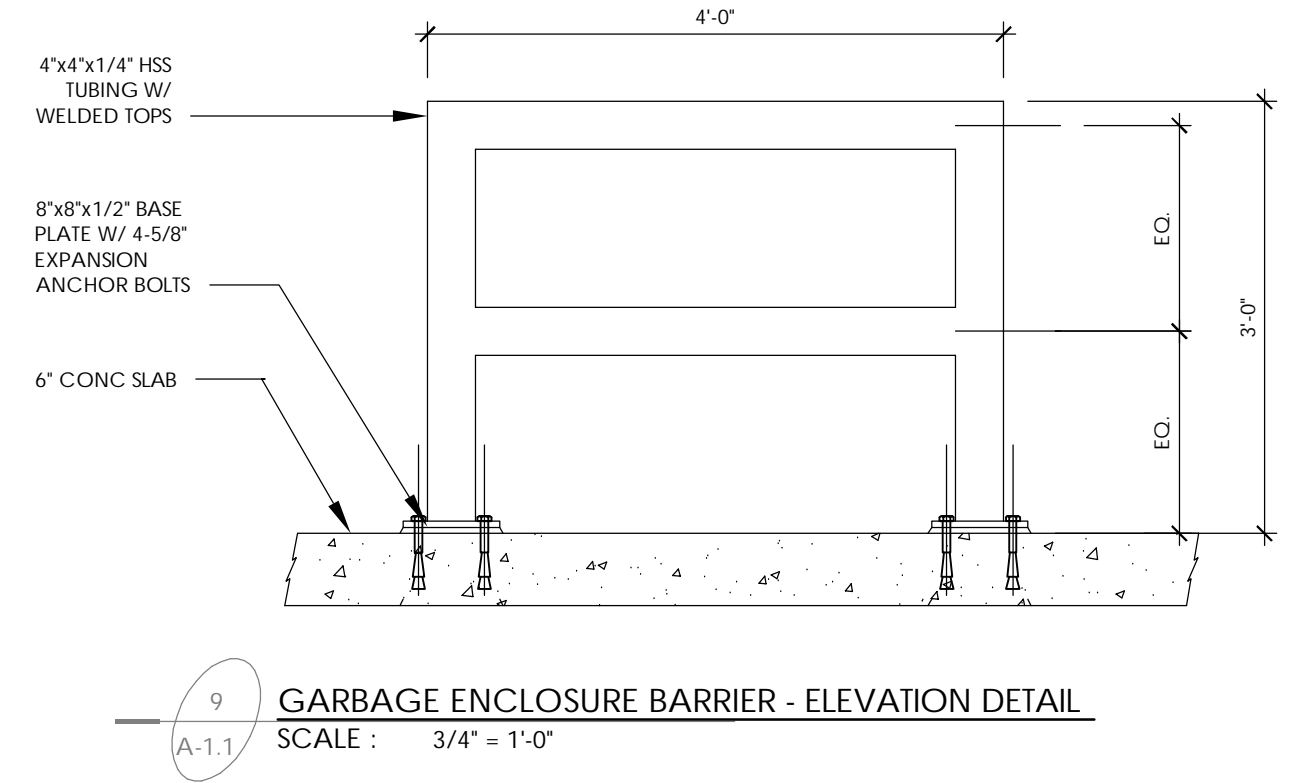
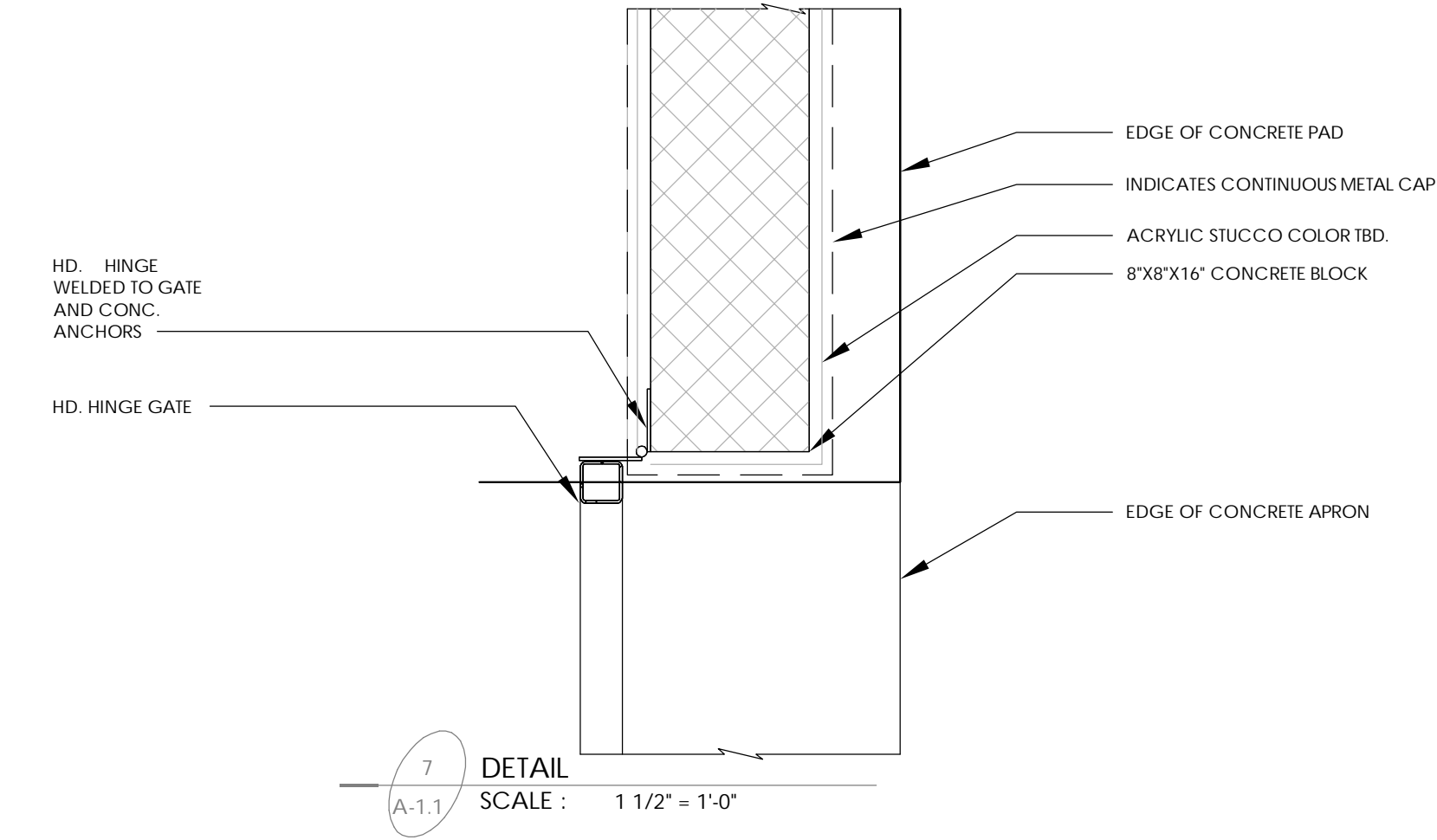
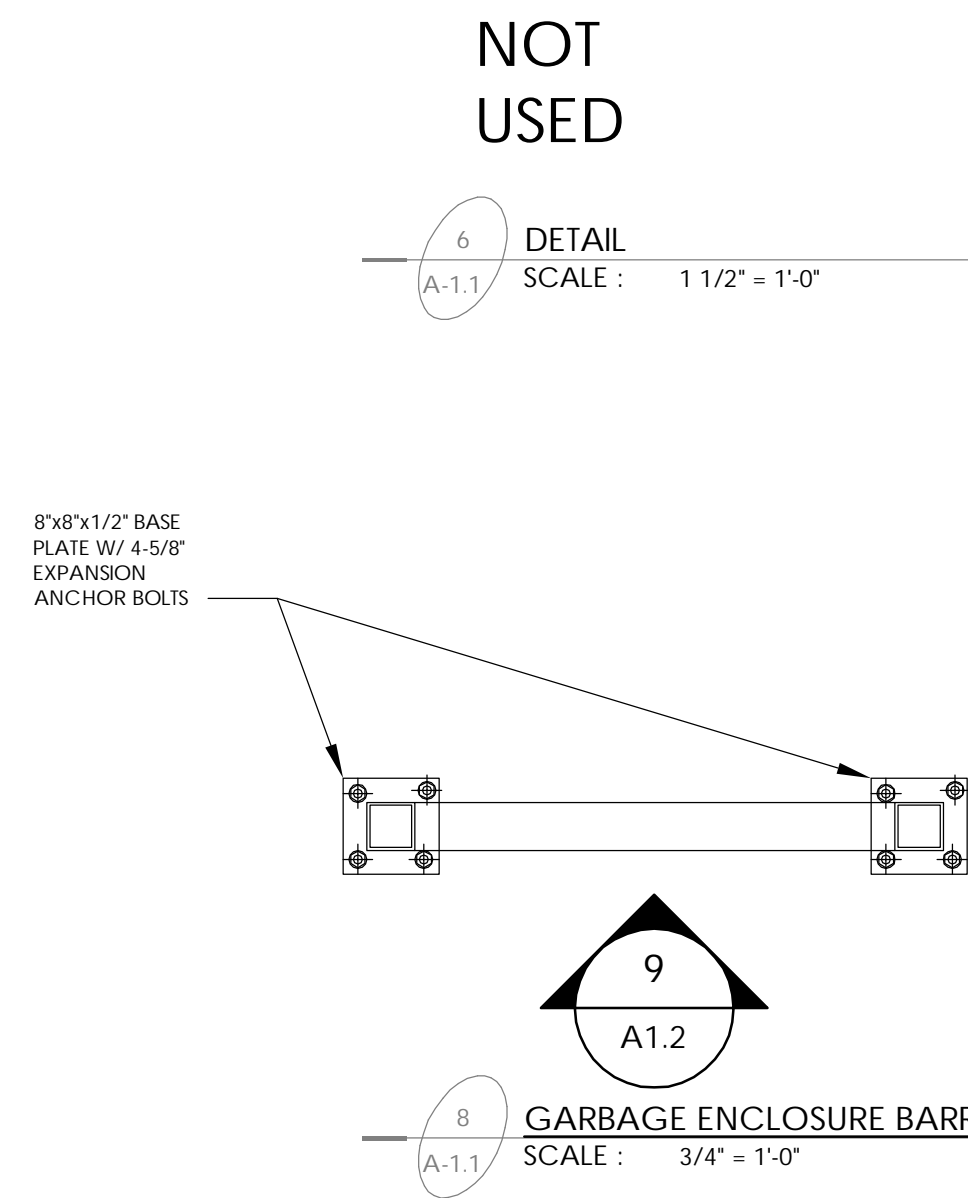
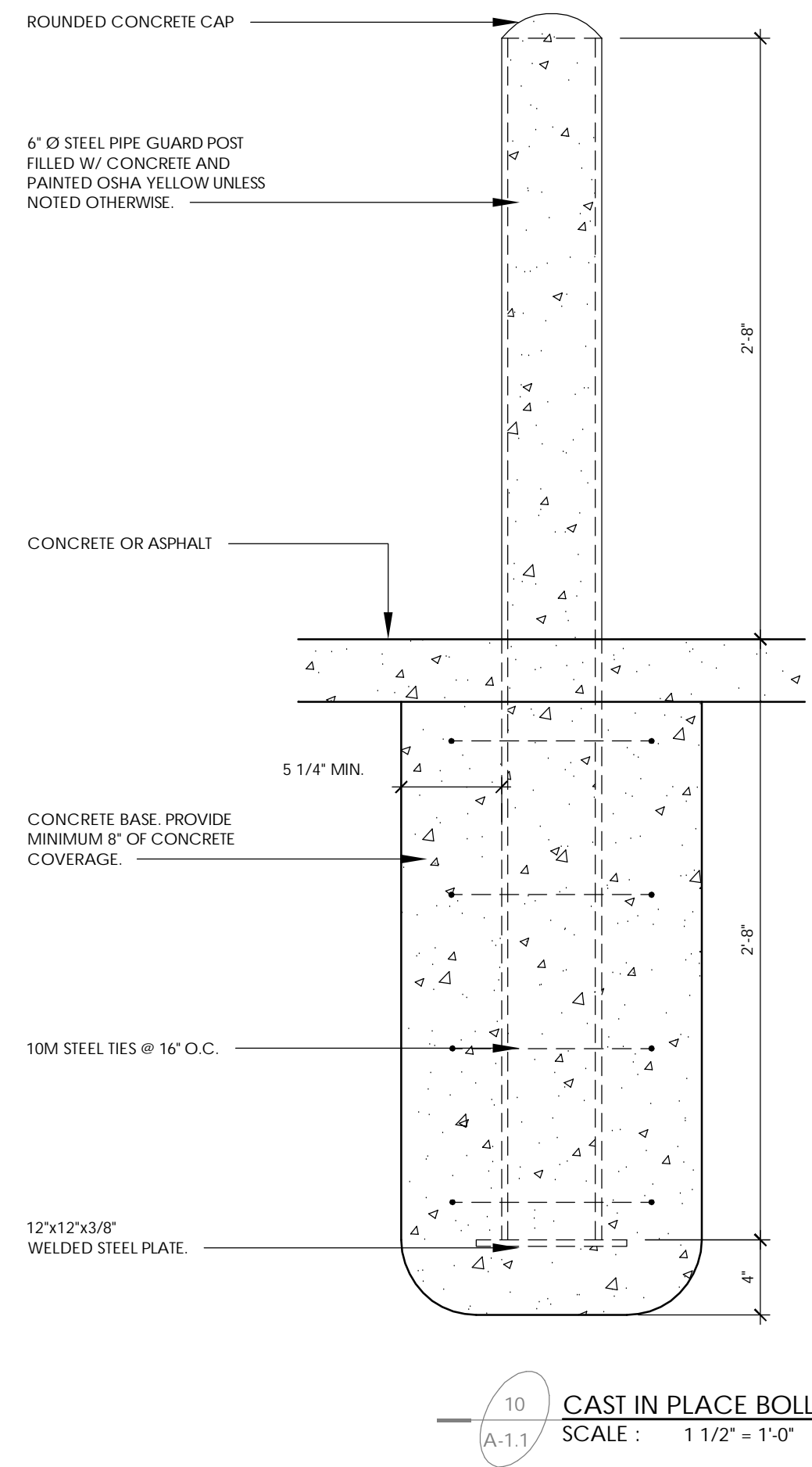
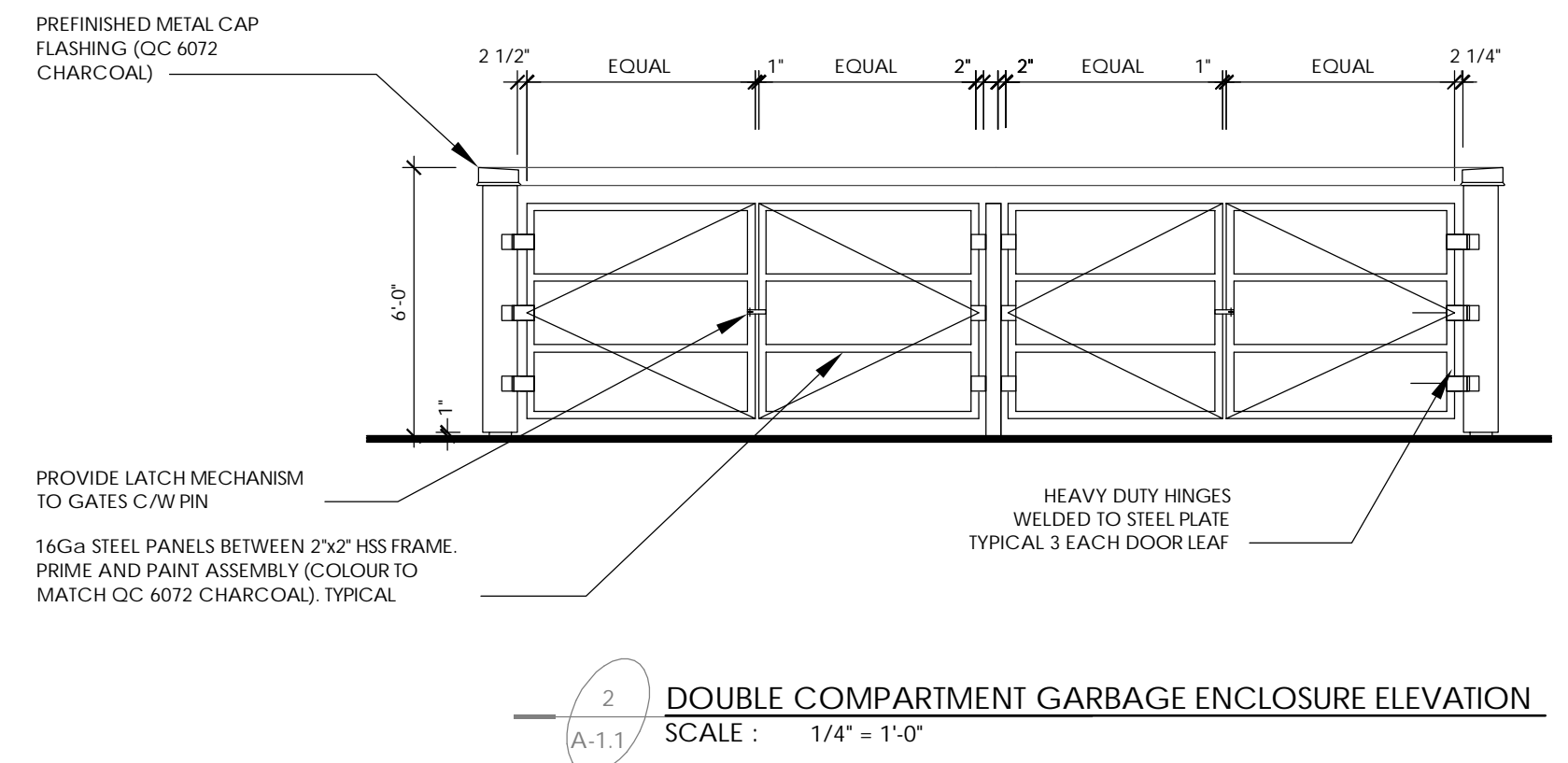
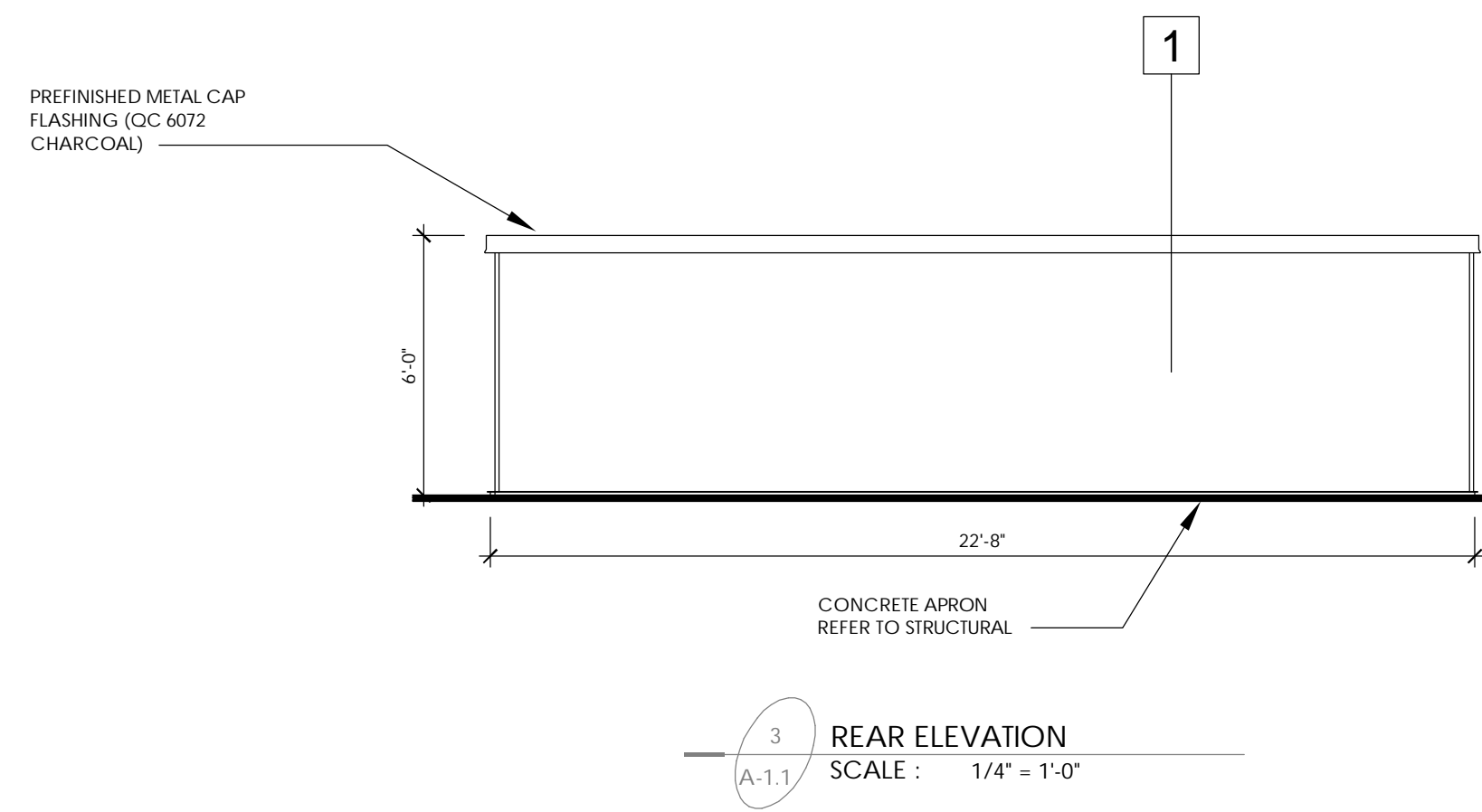
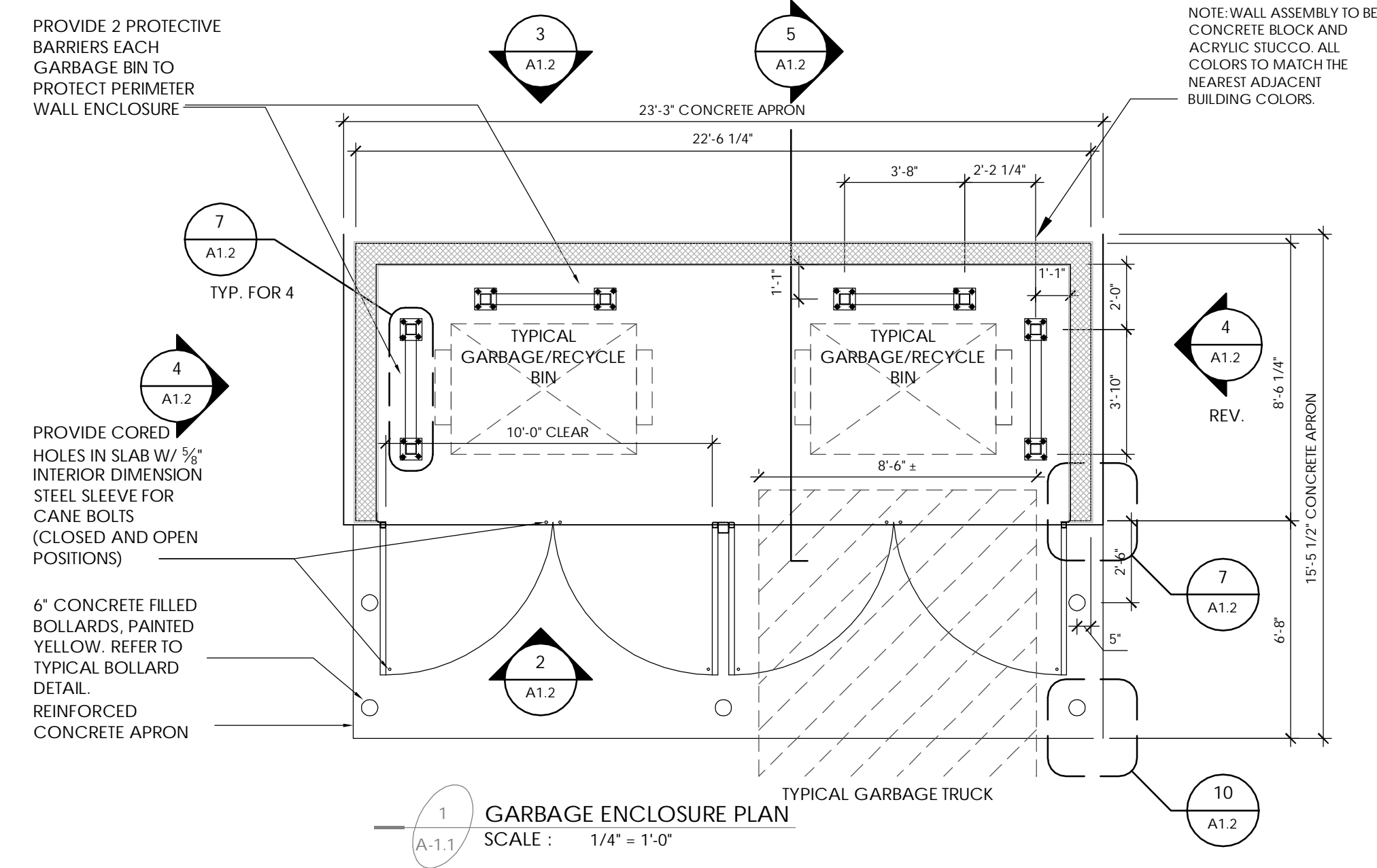
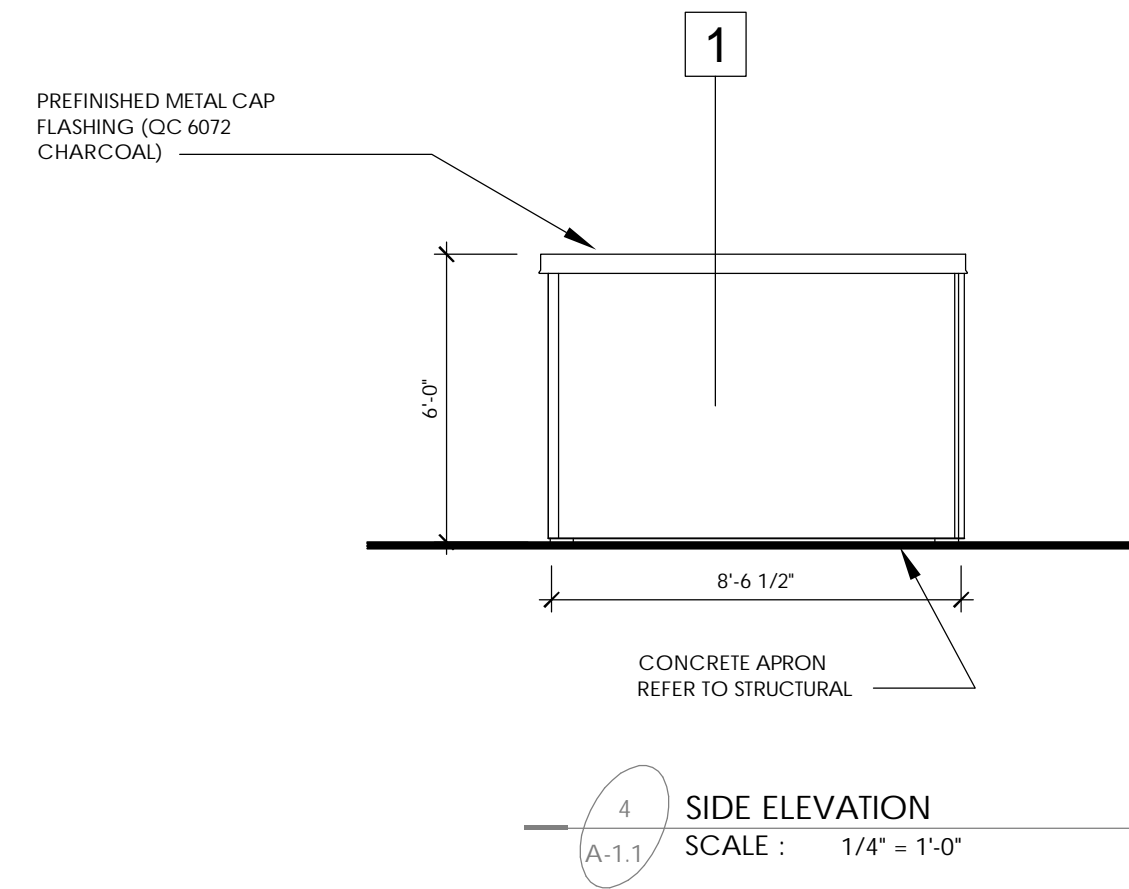
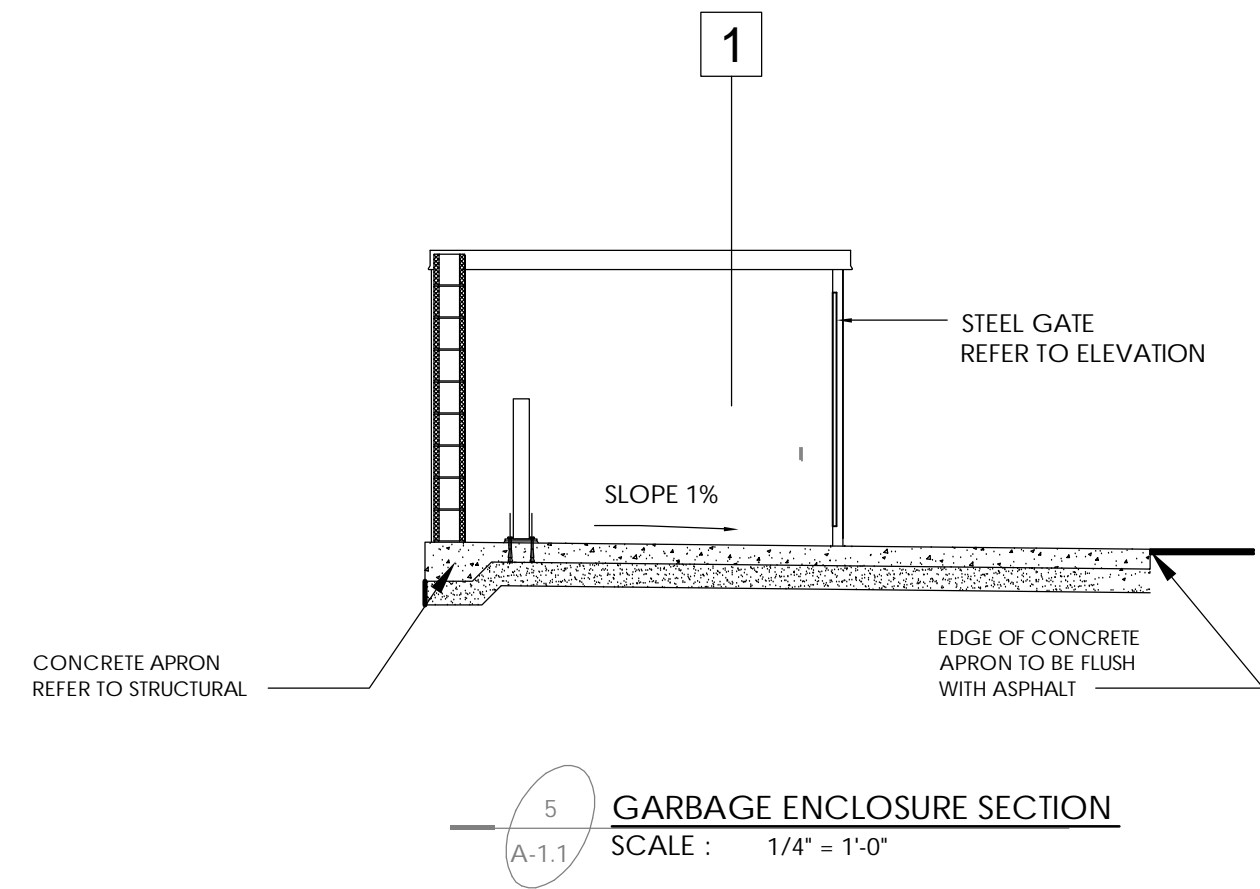
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ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	2012-08-13
1204	SCALE	1:150

DRAWING NO. **A-1.0** REVISION





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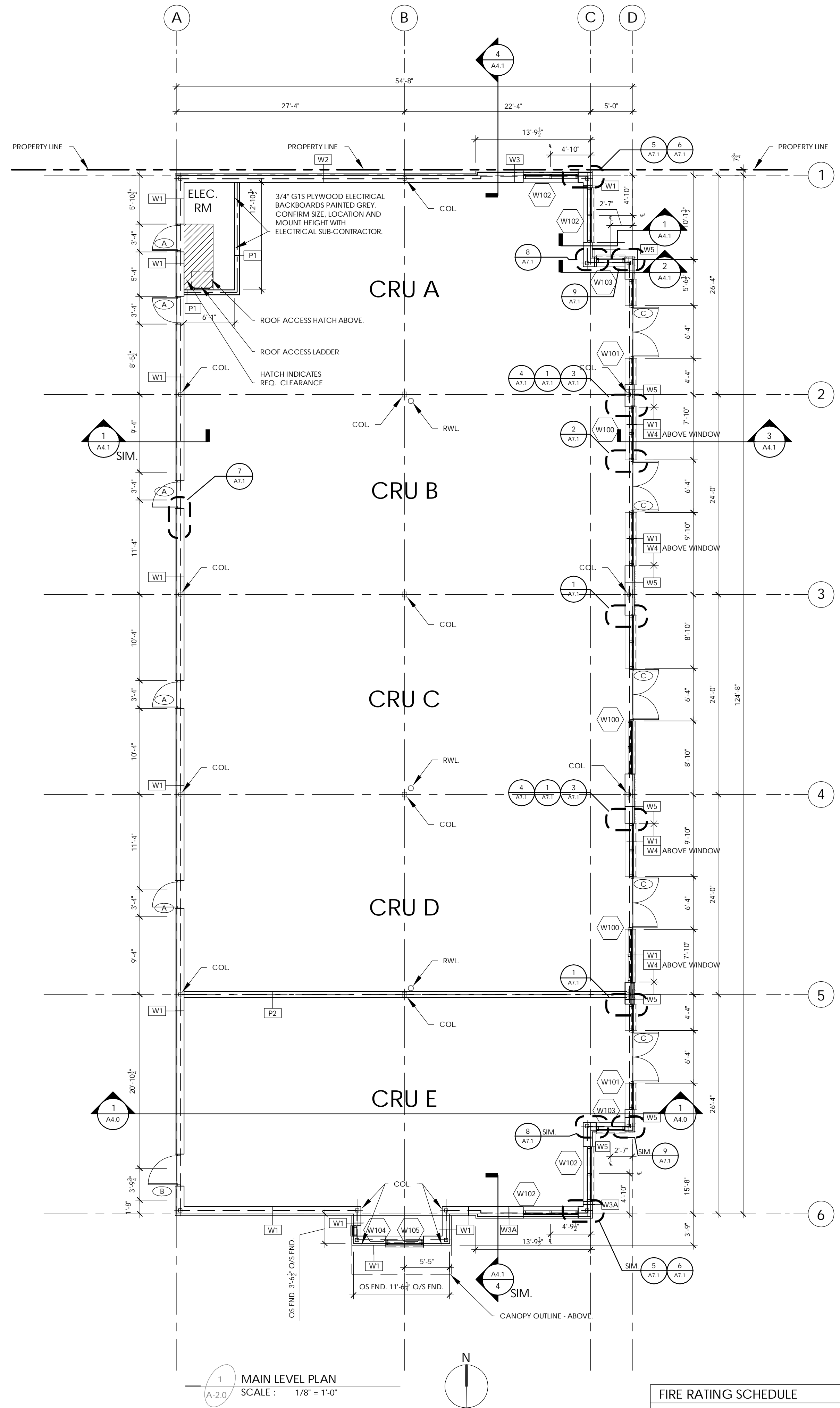
GARBAGE ENCLOSURE

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PROJECT NO.	PLOT DATE
1204	2012-08-13
DRAWING NO.	SCALE
A-1.1	AS NOTED

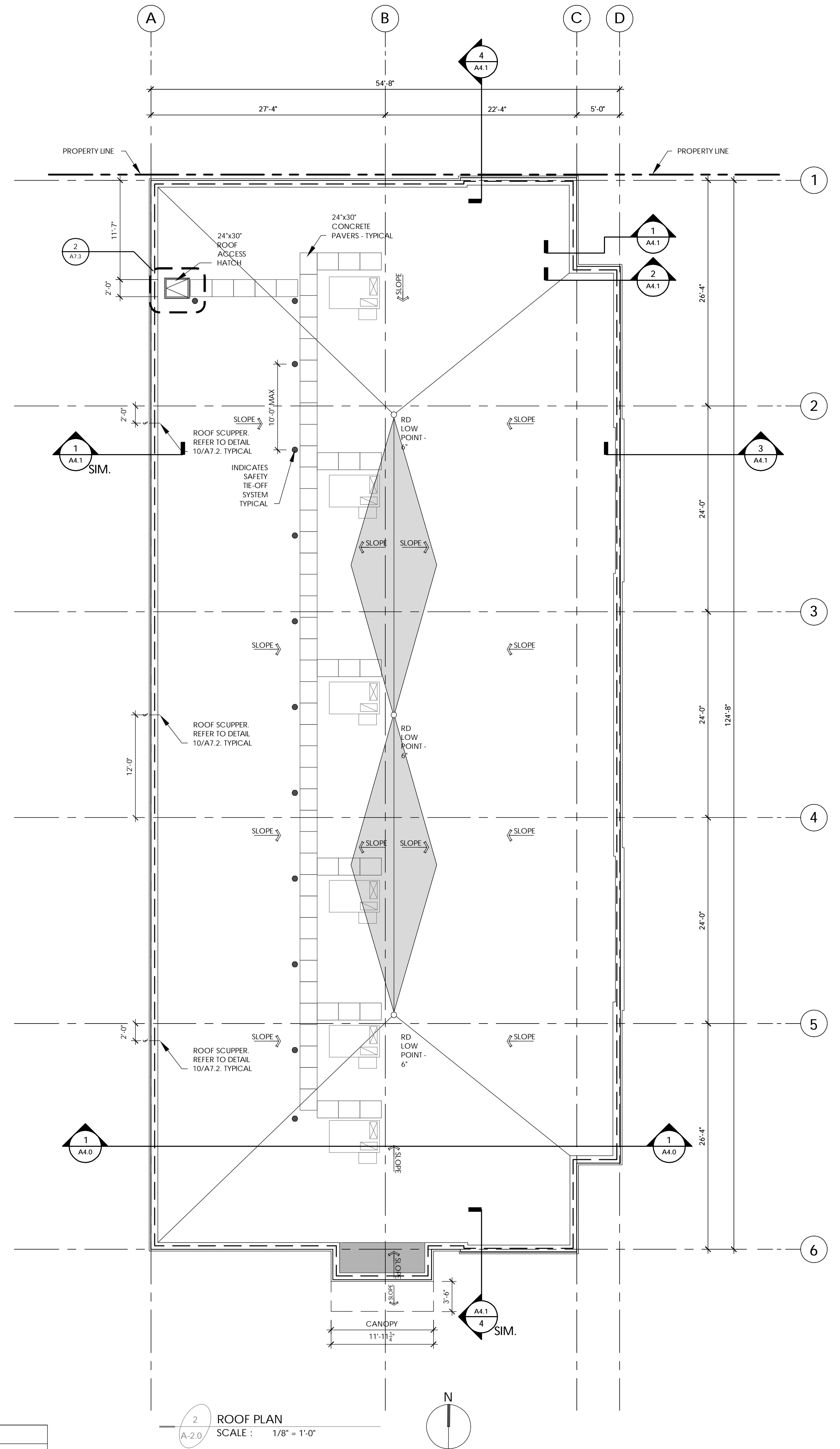
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1 MAIN LEVEL PLAN
 SCALE: 1/8" = 1'-0"

FIRE RATING SCHEDULE

---	ONE (1) HOUR FIRE SEPARATION
---	TWO (2) HOUR FIRE SEPARATION



2 ROOF PLAN
 SCALE: 1/8" = 1'-0"

ASSEMBLY LEGEND

ROOF ASSEMBLIES	
R1	ROOF ASSEMBLY - TYPICAL • METAL DECKING - STRUCTURE • GYPSUM BD. THERMAL BARRIER • ADHERED V.B. • R20 MIN. POLYISOCYANURATE (20PS) RIGID INSULATION • ETHYLENE PROPYLENE DIENE MONOMER (E.P.D.M.) MEMBRANE
FLOOR ASSEMBLIES	
F1	ON GRADE CONCRETE FLOOR SLAB • REINFORCED CONCRETE SLAB AS PER STRUCTURAL DWGS. • 6MIL POLY VAPOUR BARRIER • COMPACTED GRANULAR BASE
EXTERIOR WALL ASSEMBLIES	
W1	EXTERIOR WALL - EFIS • 4" EFIS • AVB MEMBRANE • 1/2" EXTERIOR GYPSUM SHEATHING • 8" ENGINEERED WIND BEARING METAL STUDS • 1/2" GYPSUM SHEATHING (INSTALL TO 14'-0" A.F.F.)
W2	2HR. NON-COMBUSTIBLE [ULC W414] • 4" EFIS • AVB MEMBRANE • 2 LAYERS TYPE X EXTERIOR GYPSUM SHEATHING • 8" ENGINEERED WIND BEARING METAL STUDS • 2 LAYERS TYPE X GYPSUM SHEATHING
W3	2HR. NON-COMBUSTIBLE [ULC W414] • 4" EFIS • AVB MEMBRANE • 2 LAYERS TYPE X EXTERIOR GYPSUM SHEATHING • 8" ENGINEERED WIND BEARING METAL STUDS • 3/8" METAL STUDS • 2 LAYERS TYPE X GYPSUM SHEATHING
W3A	EXTERIOR WALL - EFIS • 4" EFIS • AVB MEMBRANE • 2 LAYERS TYPE X EXTERIOR GYPSUM SHEATHING • 8" ENGINEERED WIND BEARING METAL STUDS • 3/8" METAL STUDS • 2 LAYERS TYPE X GYPSUM SHEATHING
W4	EXTERIOR WALL - EFIS • 4" EFIS • AVB MEMBRANE • 1/2" EXTERIOR GYPSUM SHEATHING • 3 1/2" HORIZONTAL Z" GRIT • 8" ENGINEERED WIND BEARING METAL STUDS • 1/2" GYPSUM SHEATHING (INSTALL TO 14'-0" A.F.F.)
W5	EXTERIOR WALL - STONE VENEER • 1" STONE VENEER • 1/2" MORTAR SETTING BED • PAPERBACKED METAL LATHE (3.4 LBS) • 1/2" MIN. AIR CAVITY • 5 1/2" VERTICAL ADJUSTABLE Z GRIS @ 16" O.C. • 4" RIGID INSULATION • AVB MEMBRANE • 1/2" EXTERIOR GYPSUM SHEATHING • 8" ENGINEERED WIND BEARING METAL STUDS • 1/2" GYPSUM SHEATHING (INSTALL TO 14'-0" A.F.F.)
W6	EXTERIOR FOUNDATION WALL • DAMPROOFING • CONCRETE WALL AS PER STRUCTURAL • 2" RIGID INSULATION FASTENED W/ MASTIC
INTERIOR PARTITION ASSEMBLIES	
P1	INTERIOR PARTITION 1HR F.R.R [ULC #415] • 5/8" TYPE X GYPSUM BOARD • 6" METAL STUDS @ 16" O.C. TO U/S ROOF DECK (DOUBLE TRACK @ TOP, GWB SEALED TO U/S DECK W/ COMPRESSIBLE NON-COMBUSTIBLE FILLER) • 6" ACOUSTICAL FIBERGLASS BATT INSULATION TO UNDERSIDE OF ROOF DECKING • 5/8" TYPE X GYPSUM BOARD
P2	DEMISING WALL 2HR F.R.R [ULC #419] • 2 LAYERS - 1/2" TYPE X GYPSUM BOARD • 6" METAL STUDS @ 16" C.C. • 6" ACOUSTICAL FIBERGLASS BATT INSULATION TO UNDERSIDE OF ROOF DECKING • 2 LAYERS - 1/2" TYPE X GYPSUM BOARD

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PROJECT
**500 RANCH MARKET
 RETAIL DEVELOPMENT**
 500 RANCH MARKET
 STATHMORE, AB

DRAWING TITLE
**MAIN LEVEL
 +
 ROOF PLANS**

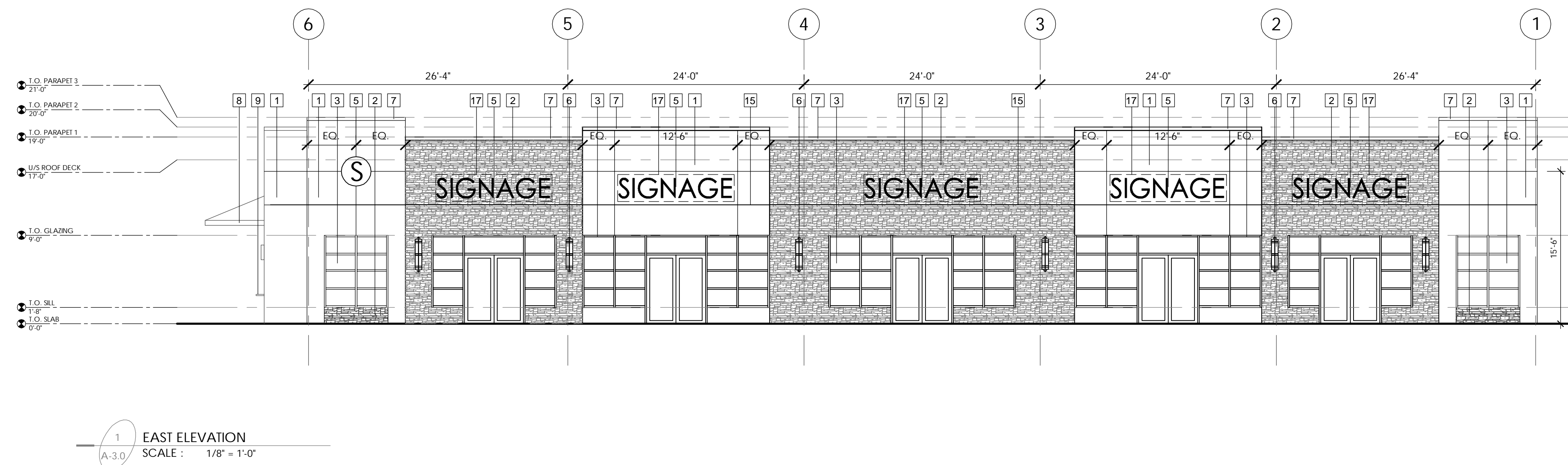
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PROJECT NO. 1204	PLOT DATE 2012-08-13
SCALE 1/8" = 1'-0"	

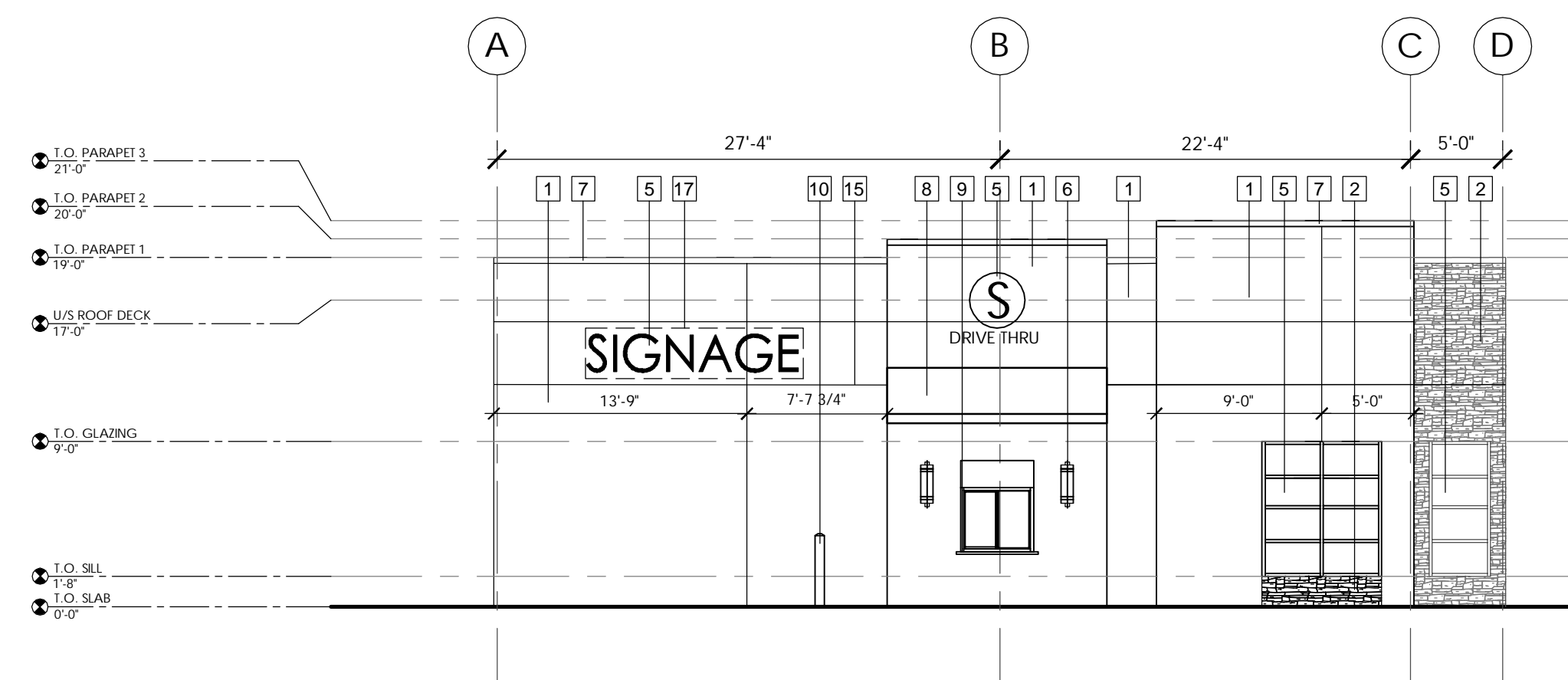
DRAWING NO. **A-2.0** REVISION

EXTERIOR / FINISH LEGEND

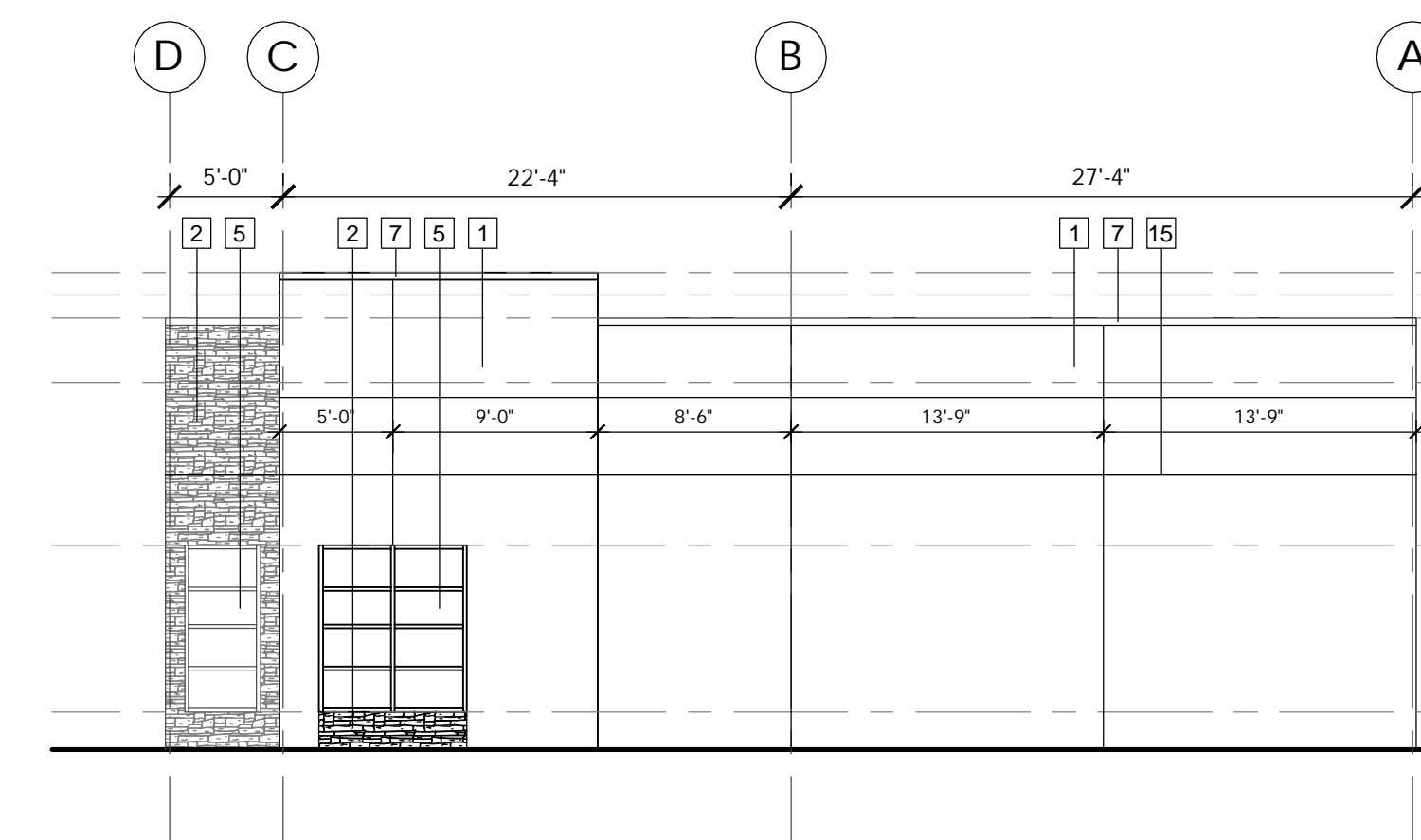
- 1 ACRYLIC STUCCO
- 2 STONE
- 3 ALUMINUM STOREFRONT GLAZING
- 4 STEEL DOOR + FRAME, PAINTED TO MATCH ADJACENT FINISH
- 5 SIGNAGE LOCATION
- 6 LIGHT FIXTURE
- 7 METAL ROOF FLASHING
- 8 FABRIC AWNING
- 9 STAINLESS STEEL SHELF
- 10 BOLLARD
- 11 EFIS - SILL
- 12 PRECAST - SILL
- 13 EXPOSED CONCRETE
- 14 GAS METER
- 15 VERTICAL STUCCO CONTROL/ HORIZONTAL DEFLECTION JOINT
- 16 ROOF OVERFLOW SCUPPER
- 17 PLYWOOD BACKING FOR SIGNAGE



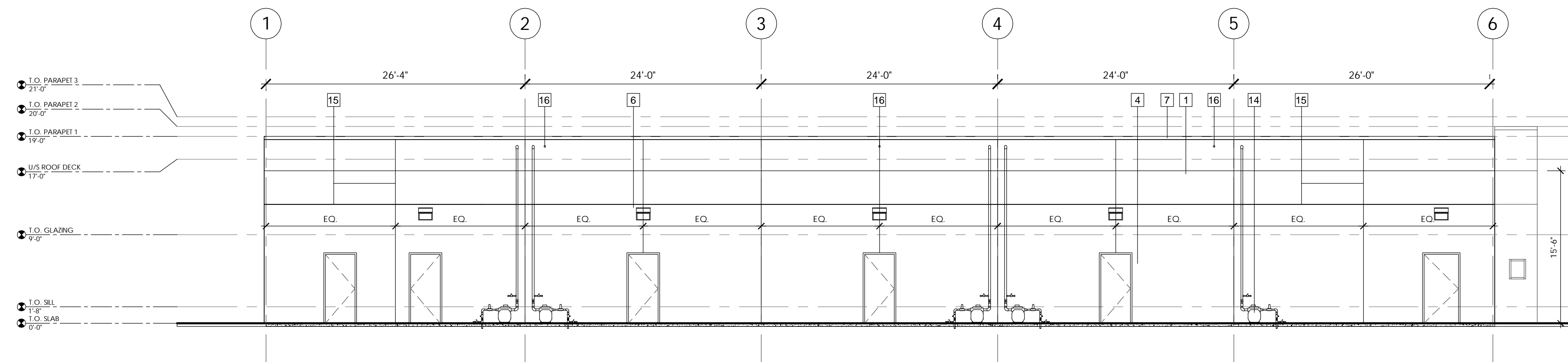
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



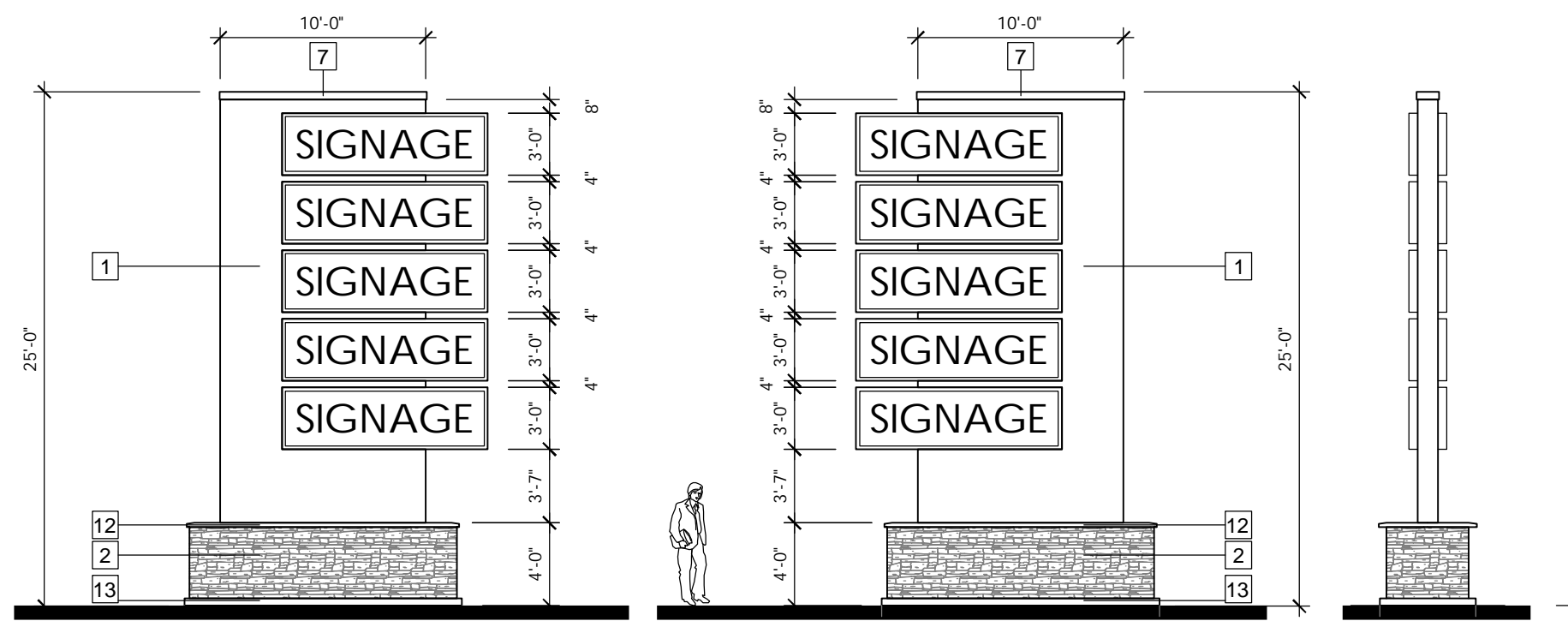
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



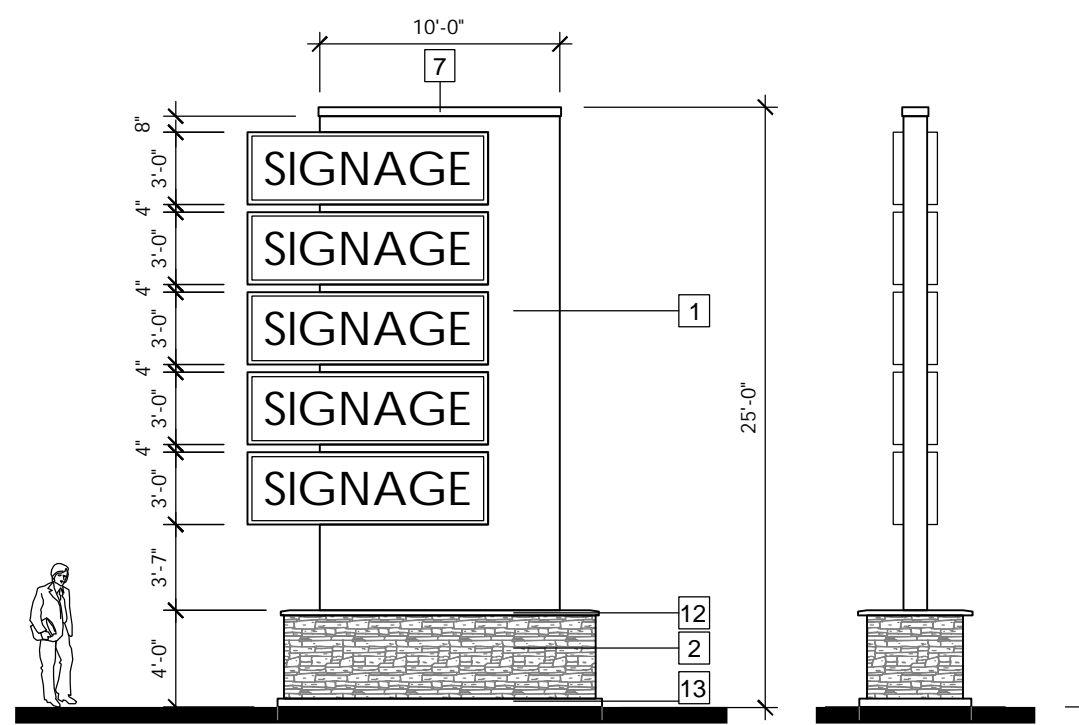
3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



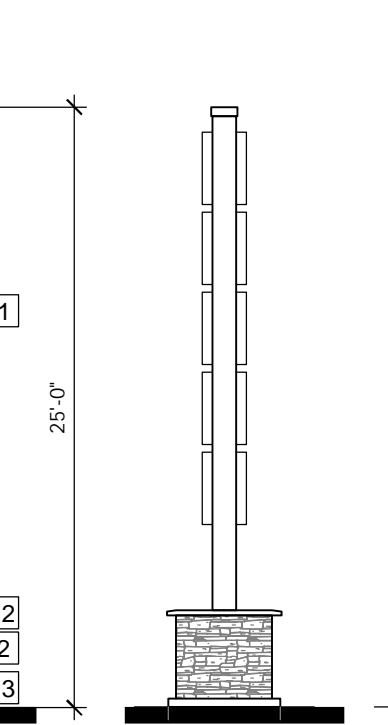
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



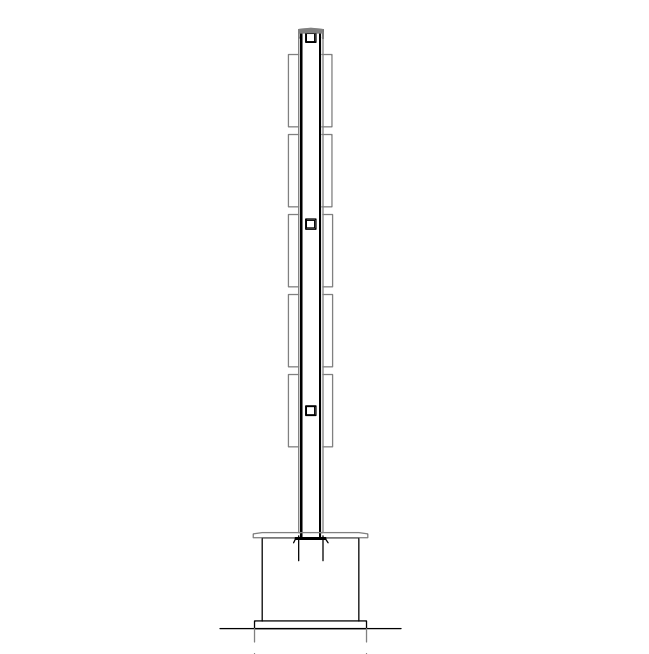
7 WEST ELEVATION
SCALE: 1/8" = 1'-0"



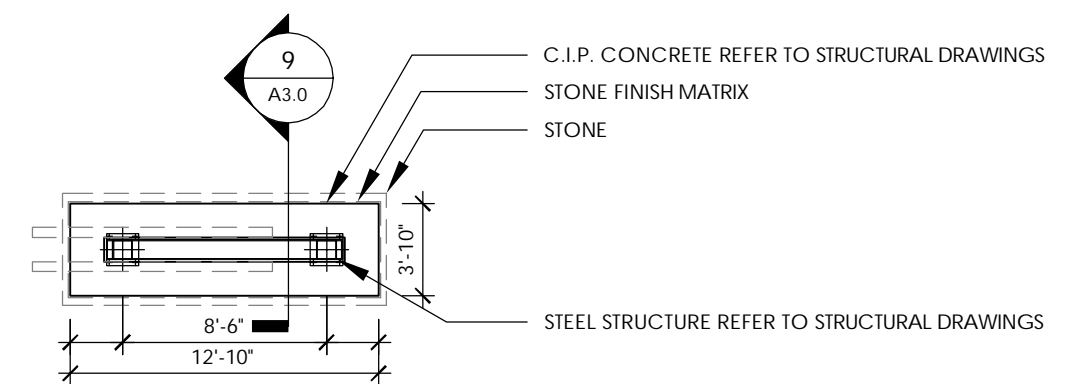
6 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



9 SECTION
SCALE: 1/8" = 1'-0"



8 PYLON SIGN PLAN
SCALE: 1/8" = 1'-0"

SEAL

CONSULTANT

SEAL

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN/REVIEW
3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC CK
2	12-07-27	BUILDING PERMIT	ML CK
1	12-06-03	DEVELOPMENT PERMIT	ck CK

CONSTRUCTION MANAGER



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PROJECT
**500 RANCH MARKET
RETAIL DEVELOPMENT**

500 RANCH MARKET
STATHMORE, AB

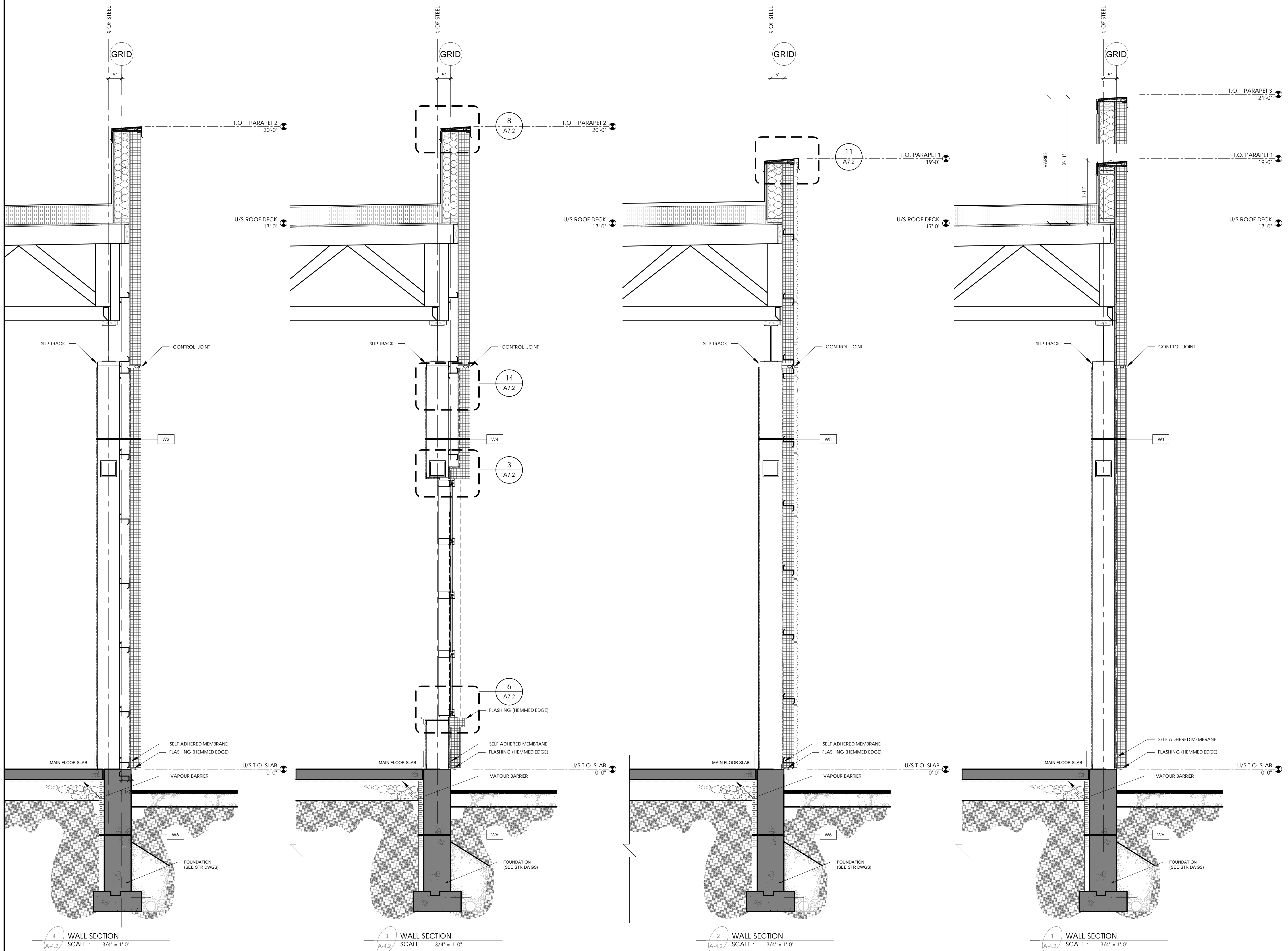
DRAWING TITLE
ELEVATIONS

DRAWING ISSUED
ISSUED FOR CONSTRUCTION

PROJECT NO. 1204	PLOT DATE 2012-08-13
SCALE AS NOTED	

DRAWING NO.
A-3.0

REVISION



SEAL

CONSULTANT

SEAL

NO	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	CK
2	12-07-27	BUILDING PERMIT	ML	CK
1	12-06-03	DEVELOPMENT PERMIT	ck	CK

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PROJECT

**500 RANCH MARKET
RETAIL DEVELOPMENT**

500 RANCH MARKET
STATHMORE, AB

DRAWING TITLE

WALL SECTIONS

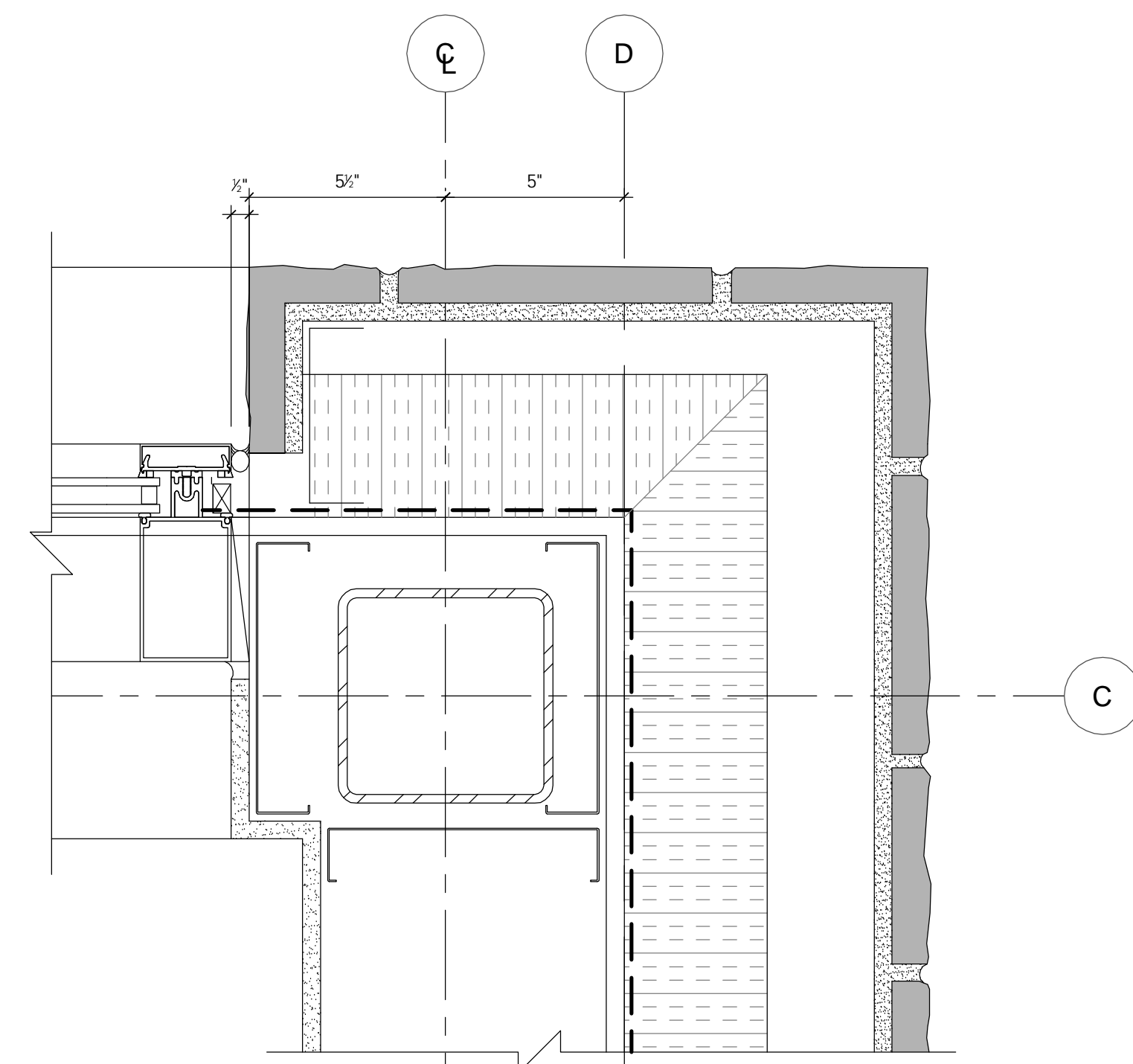
DRAWING ISSUED

ISSUED FOR CONSTRUCTION

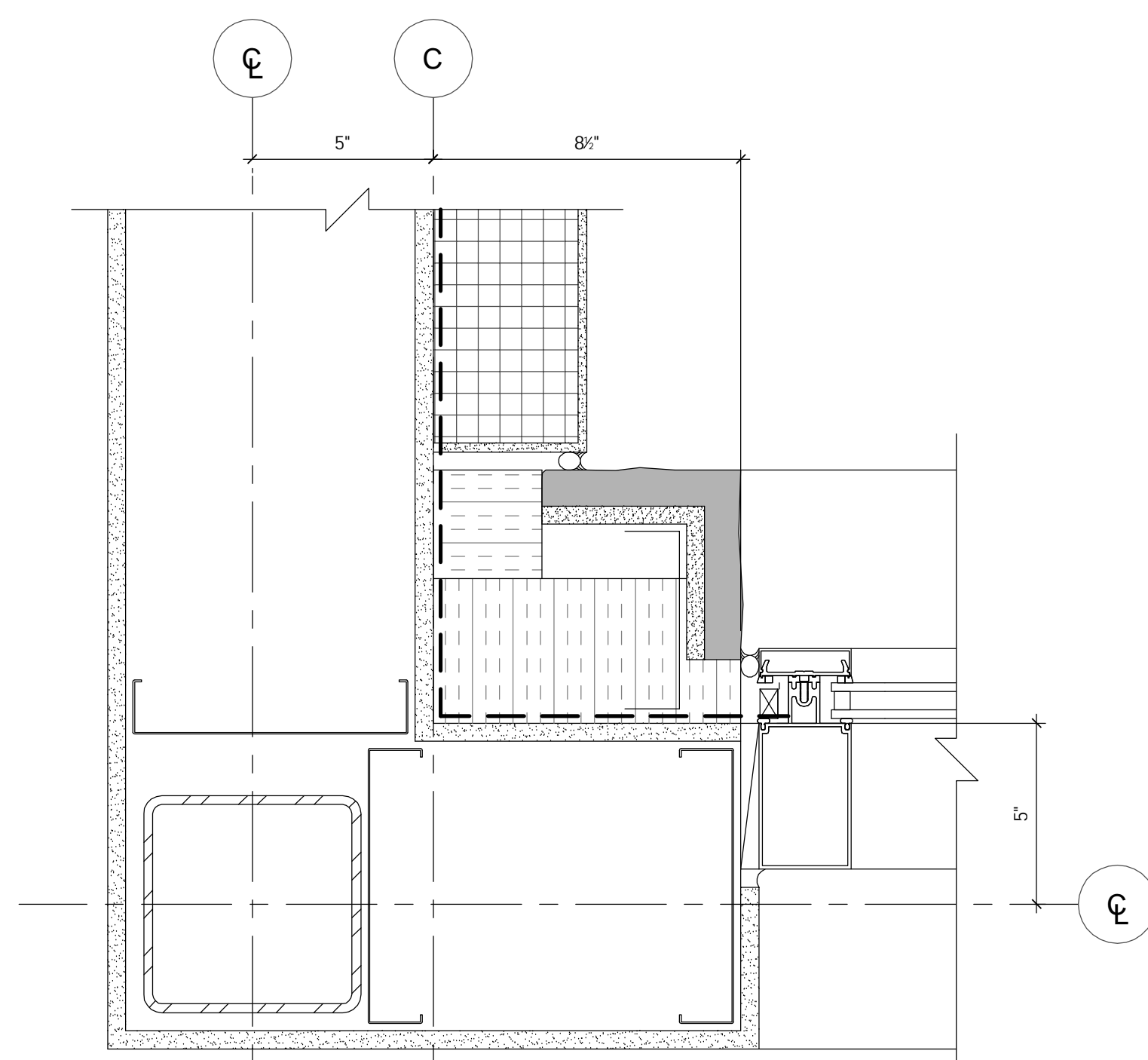
PROJECT NO. 1204	PLOT DATE 2012-08-13
SCALE 3/4" = 1'-0"	

DRAWING NO. REVISION

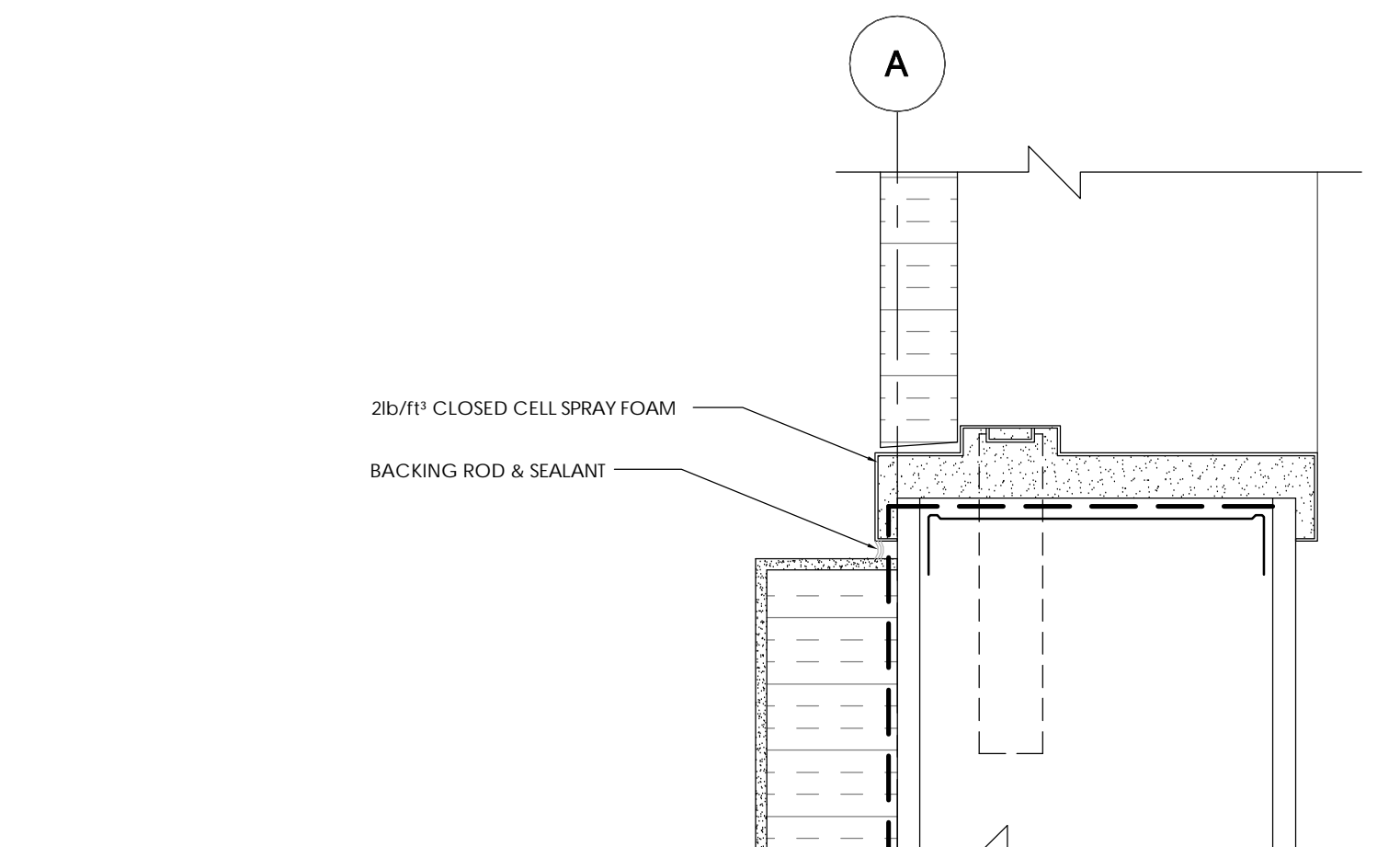
A-4.1



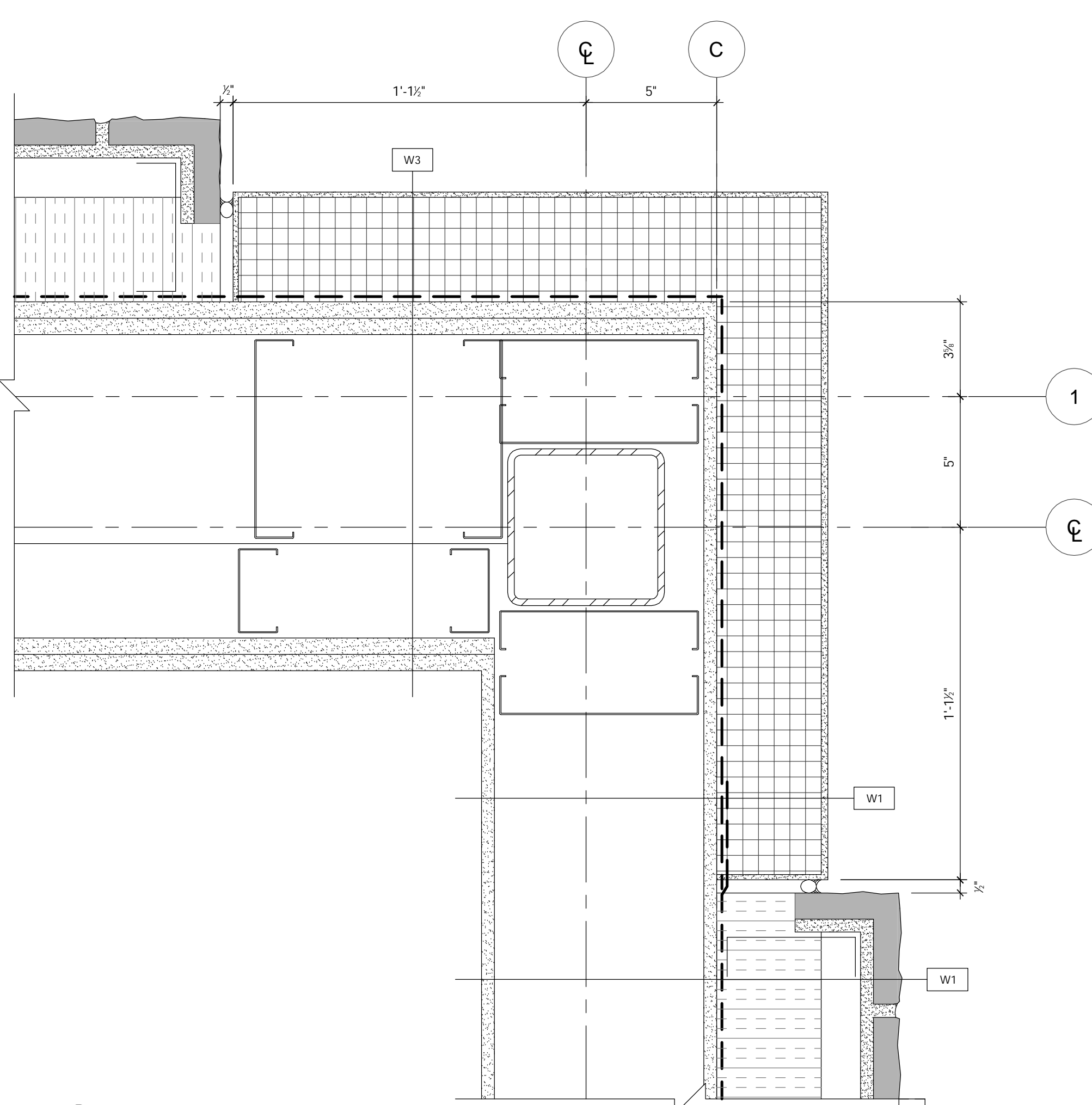
9 DOOR JAMB DETAIL
 SCALE : 3" = 1'-0"



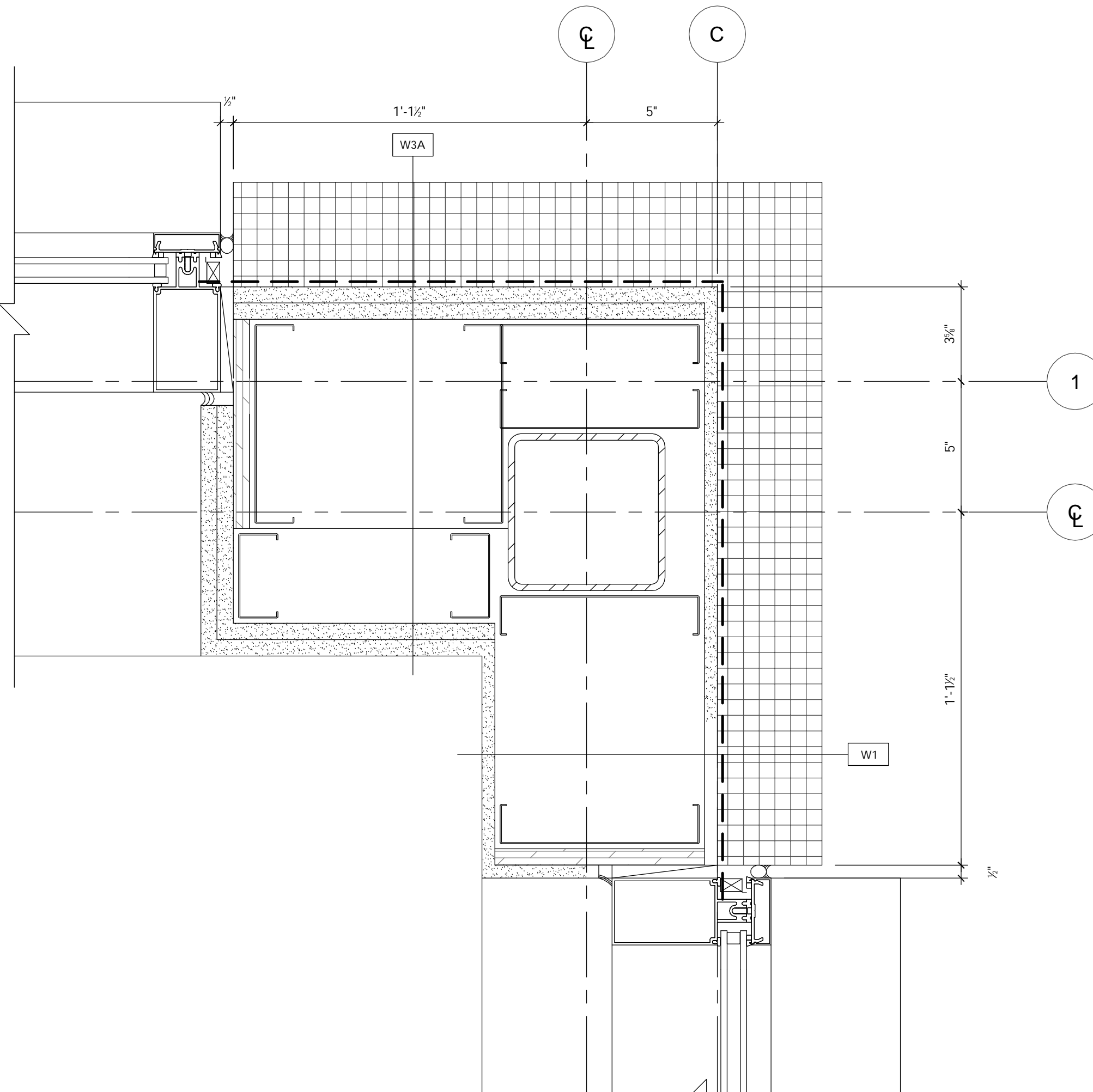
8 PLAN DETAIL
 SCALE : 3" = 1'-0"



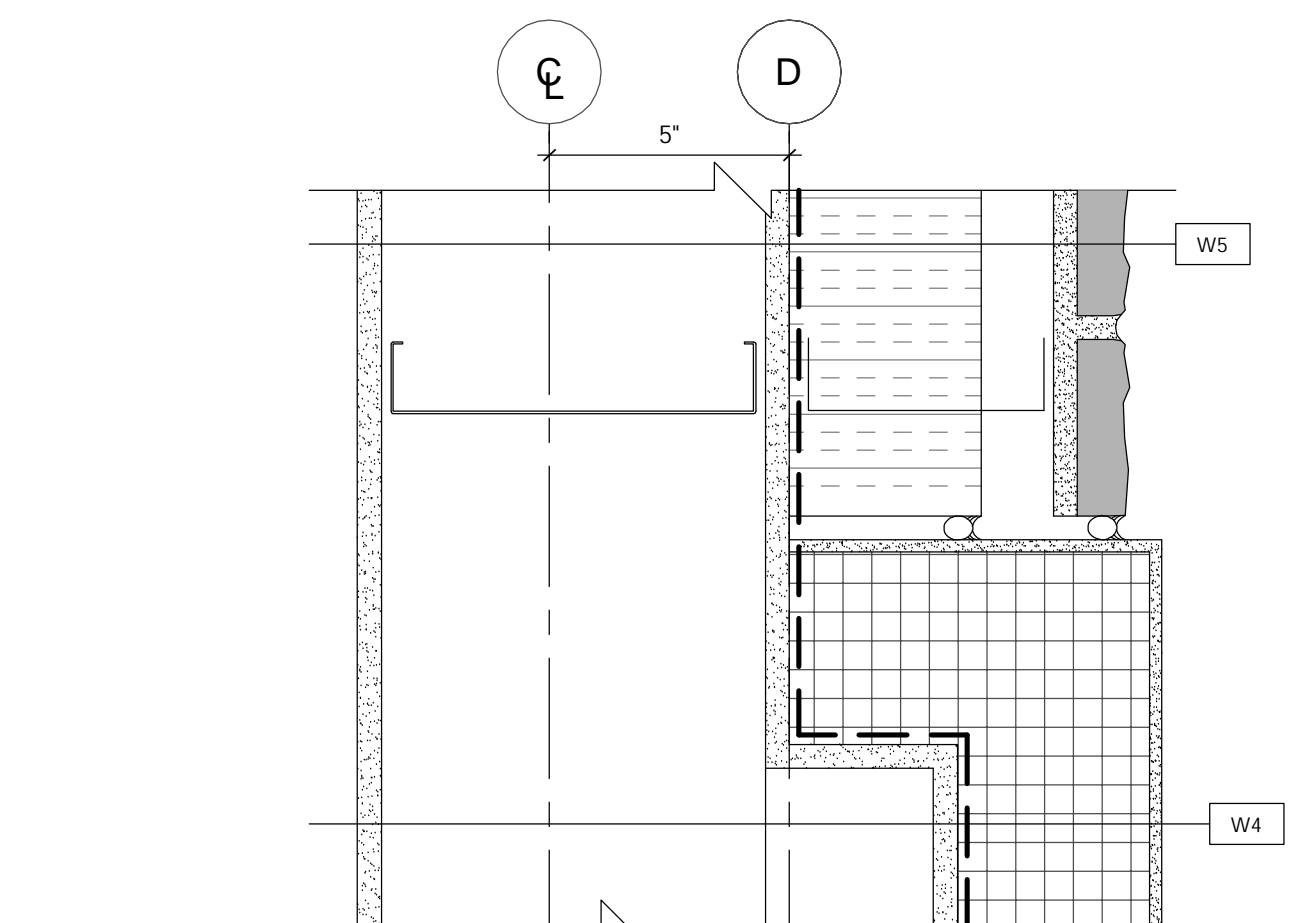
7 DOOR JAMB DETAIL
 SCALE : 3" = 1'-0"



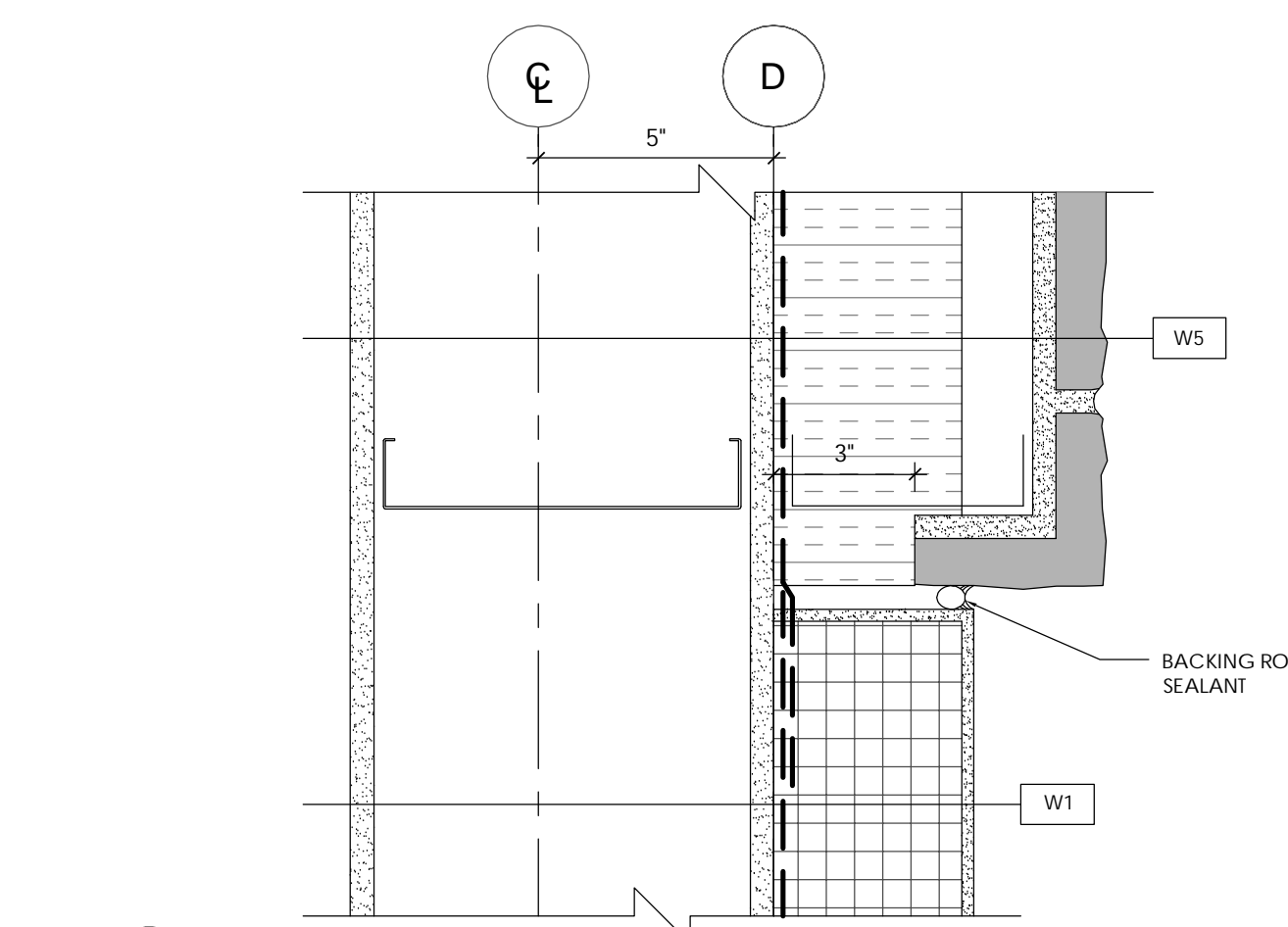
6 PLAN DETAIL BELOW WINDOWS
 SCALE : 3" = 1'-0"



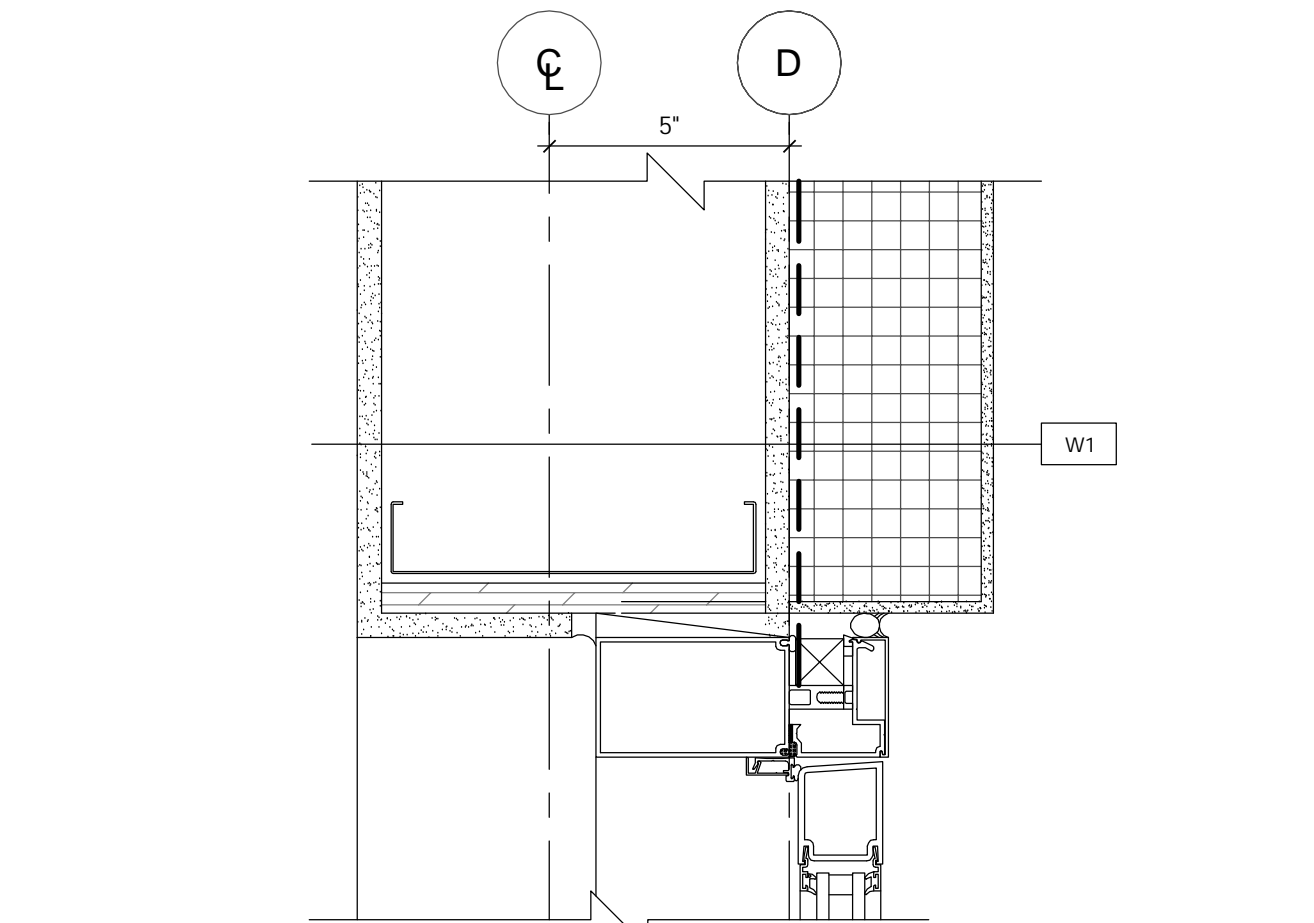
5 PLAN DETAIL
 SCALE : 3" = 1'-0"



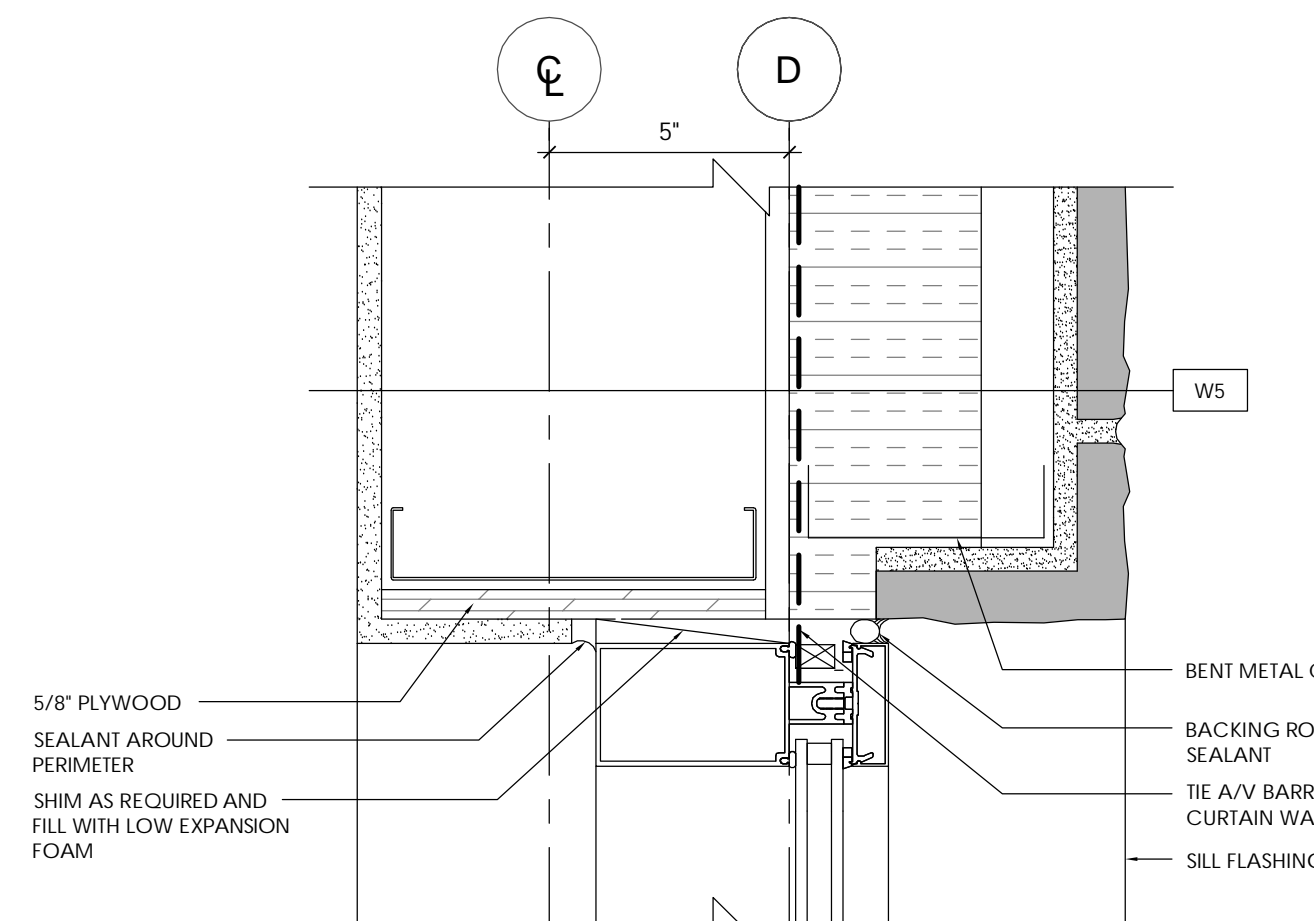
4 EIFS STONE TRANSITION PLAN DETAIL - ABOVE WINDOW
 SCALE : 3" = 1'-0"



3 EIFS STONE TRANSITION PLAN DETAIL - BELOW WINDOW SILL
 SCALE : 3" = 1'-0"



2 TYPICAL DOOR JAMB DETAIL @ EIFS
 SCALE : 3" = 1'-0"



1 TYPICAL JAMB DETAIL @ STONE
 SCALE : 3" = 1'-0"

SEAL

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SEAL

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	CK
2	12-07-27	BUILDING PERMIT	ML	CK
1	12-06-03	DEVELOPMENT PERMIT	ck	CK

CONSTRUCTION MANAGER



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PROJECT
**500 RANCH MARKET
 RETAIL DEVELOPMENT**

500 RANCH MARKET
 STATHMORE, AB

DRAWING TITLE
PLAN DETAILS

DRAWING ISSUED
ISSUED FOR CONSTRUCTION

PROJECT NO. 1204	PLOT DATE 2012-08-13
SCALE 3" = 1'-0"	

DRAWING NO.
A-7.1

SEAL

CONSULTANT

SEAL

3	12-08-13	ISSUED FOR CONSTRUCTION	ML/KC	CK
2	12-07-27	BUILDING PERMIT	ML	CK
1	12-06-03	DEVELOPMENT PERMIT	ck	CK
NO.	YY-MM-DD	REVISION / DRAWING ISSUE	ck	CK

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PROJECT

**500 RANCH MARKET
 RETAIL DEVELOPMENT**

500 RANCH MARKET
 STATHMORE, AB

DRAWING TITLE

SECTION DETAILS

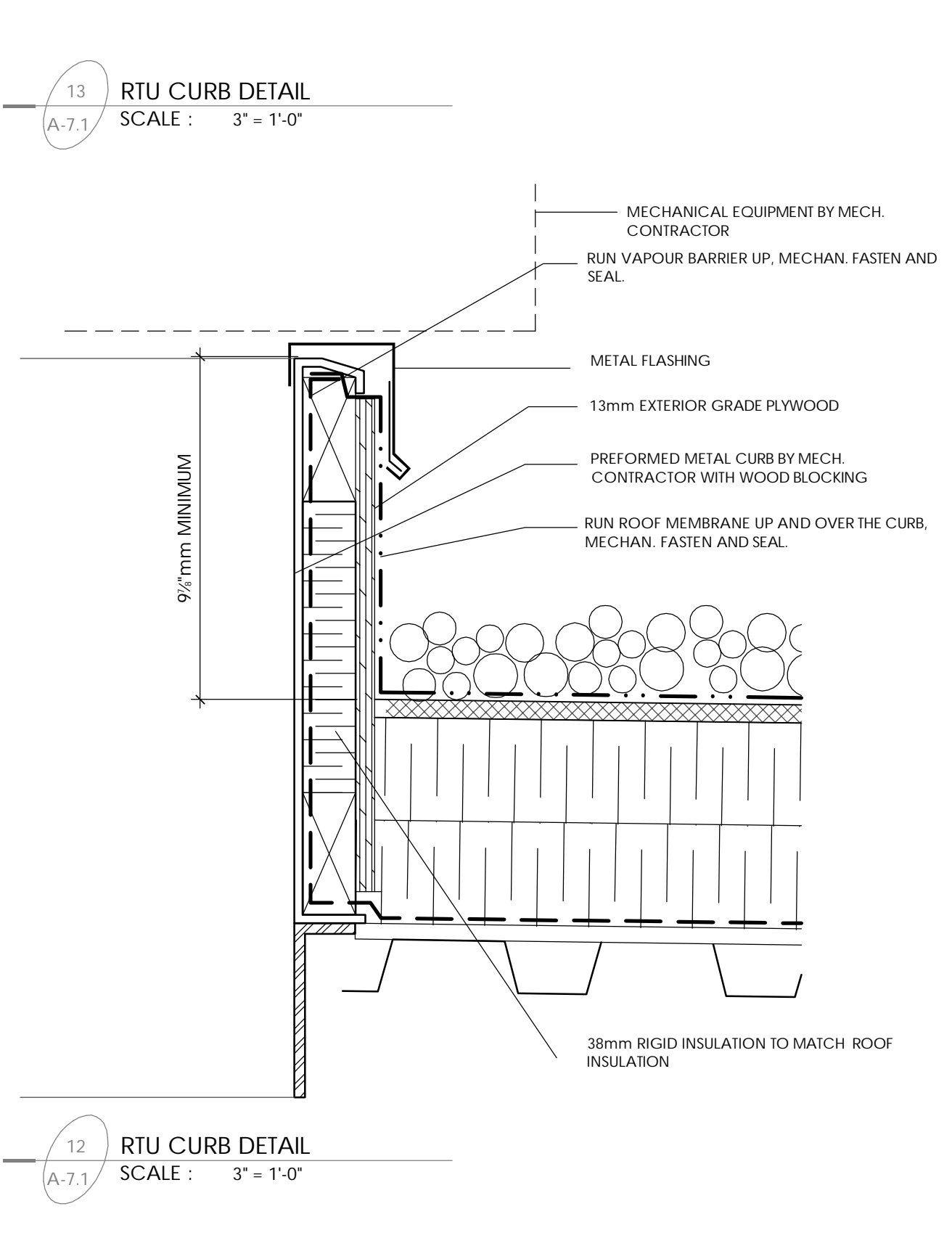
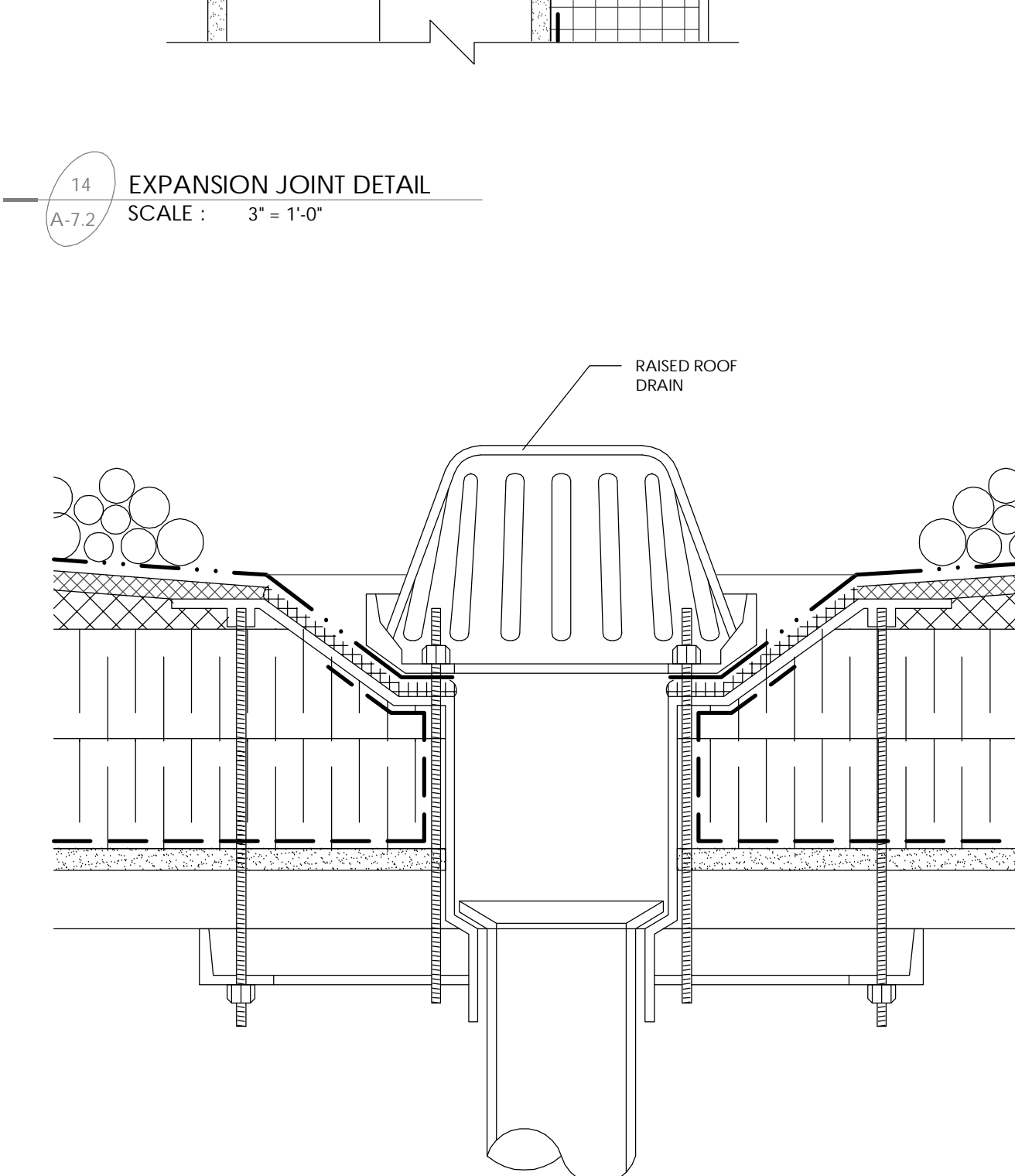
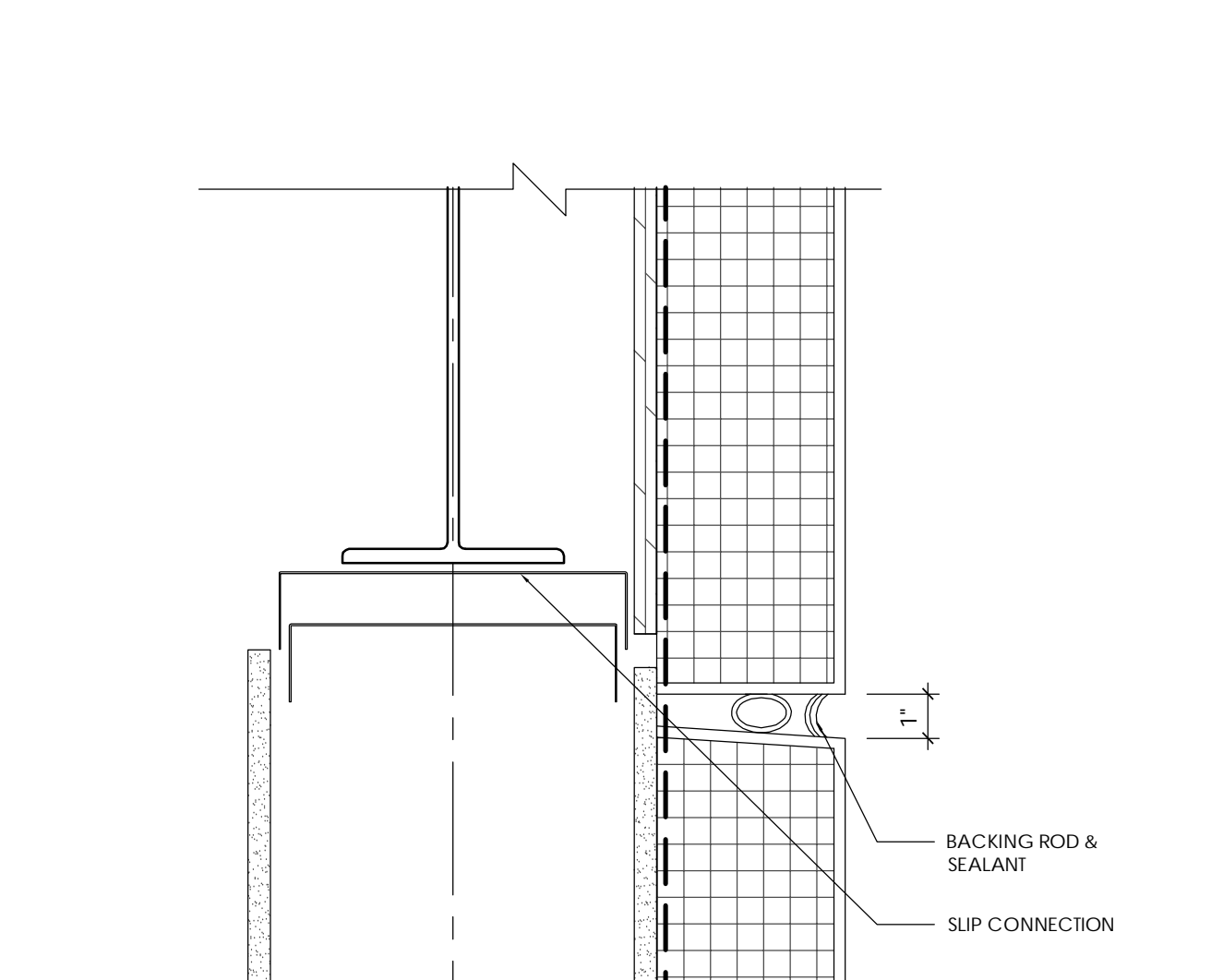
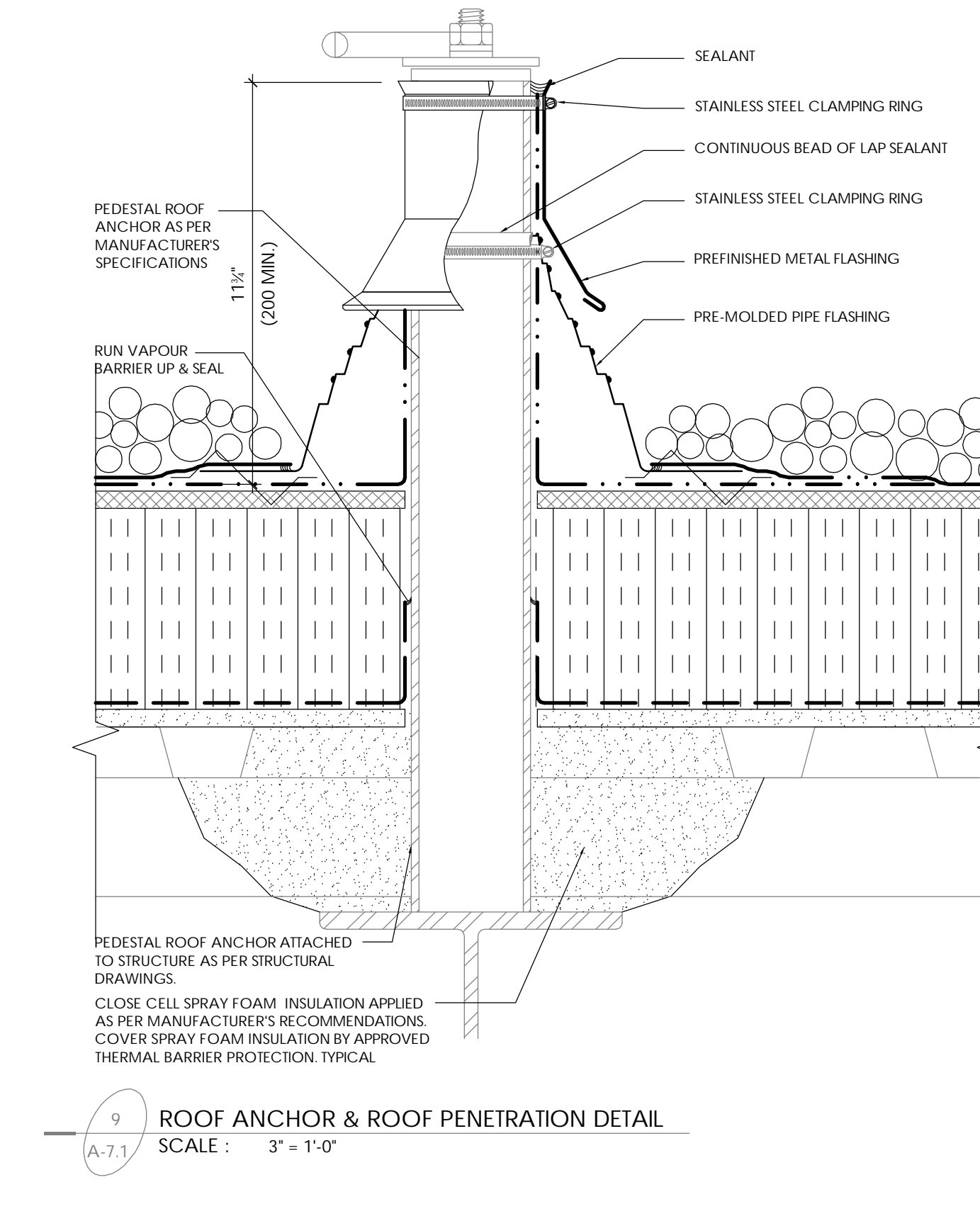
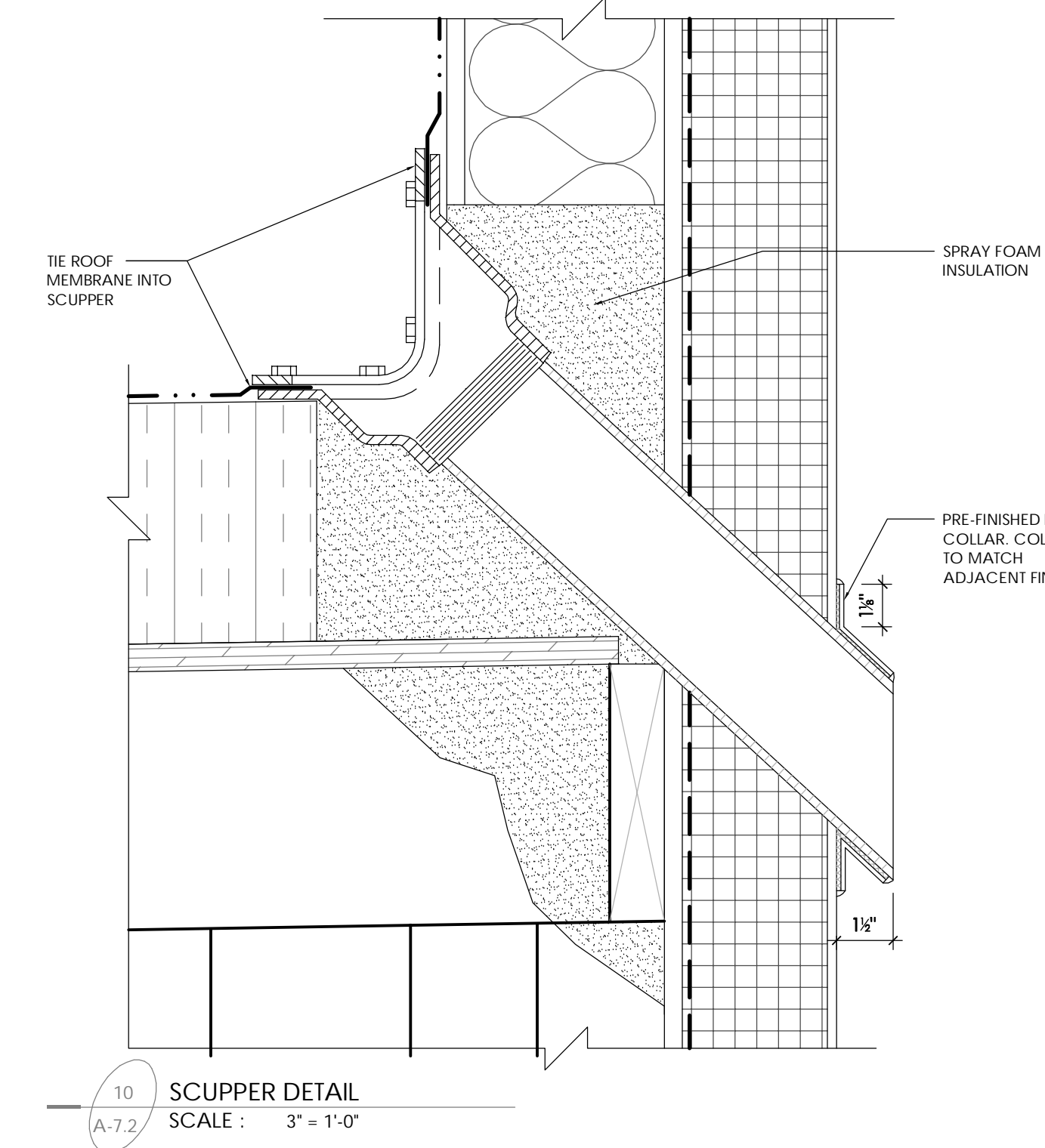
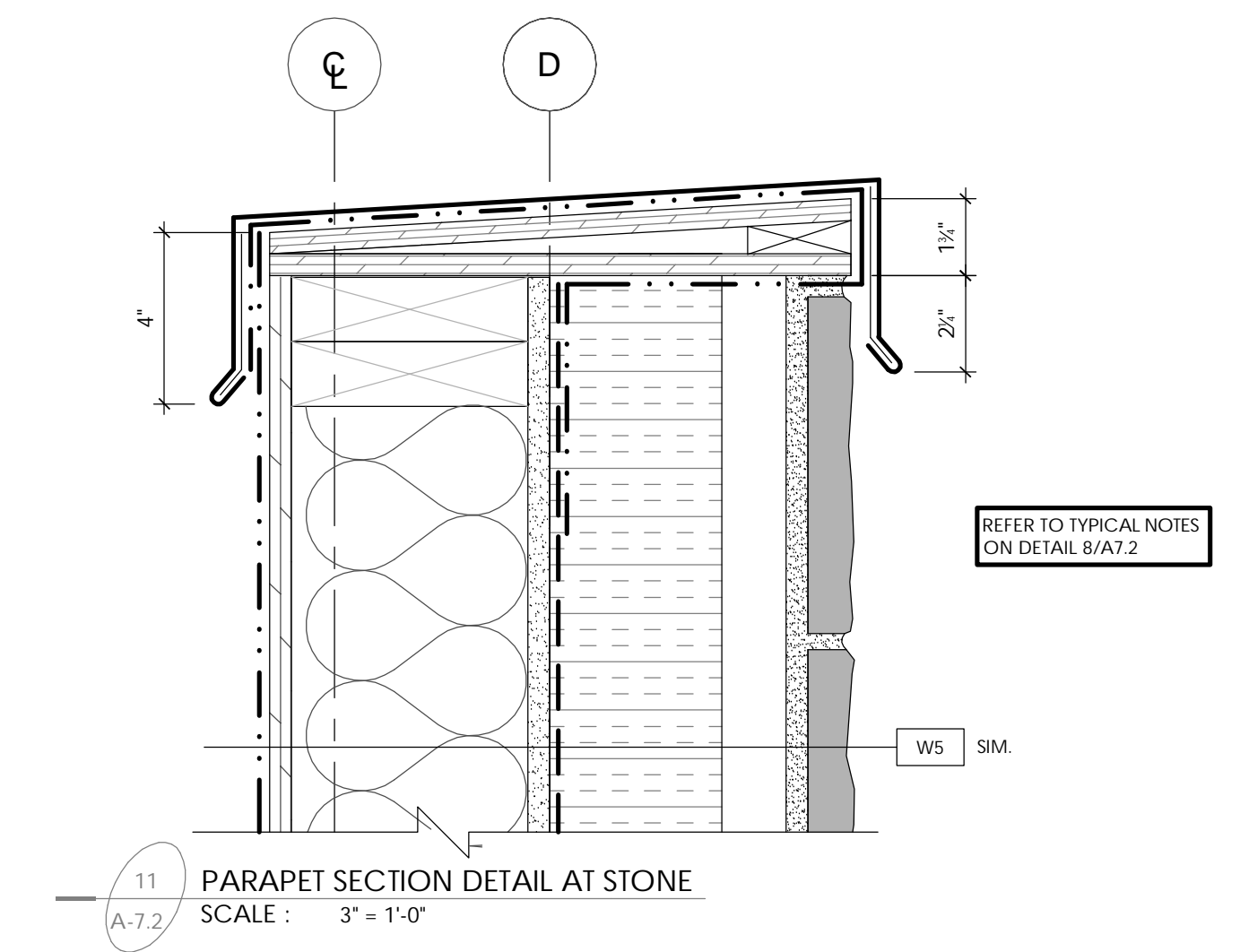
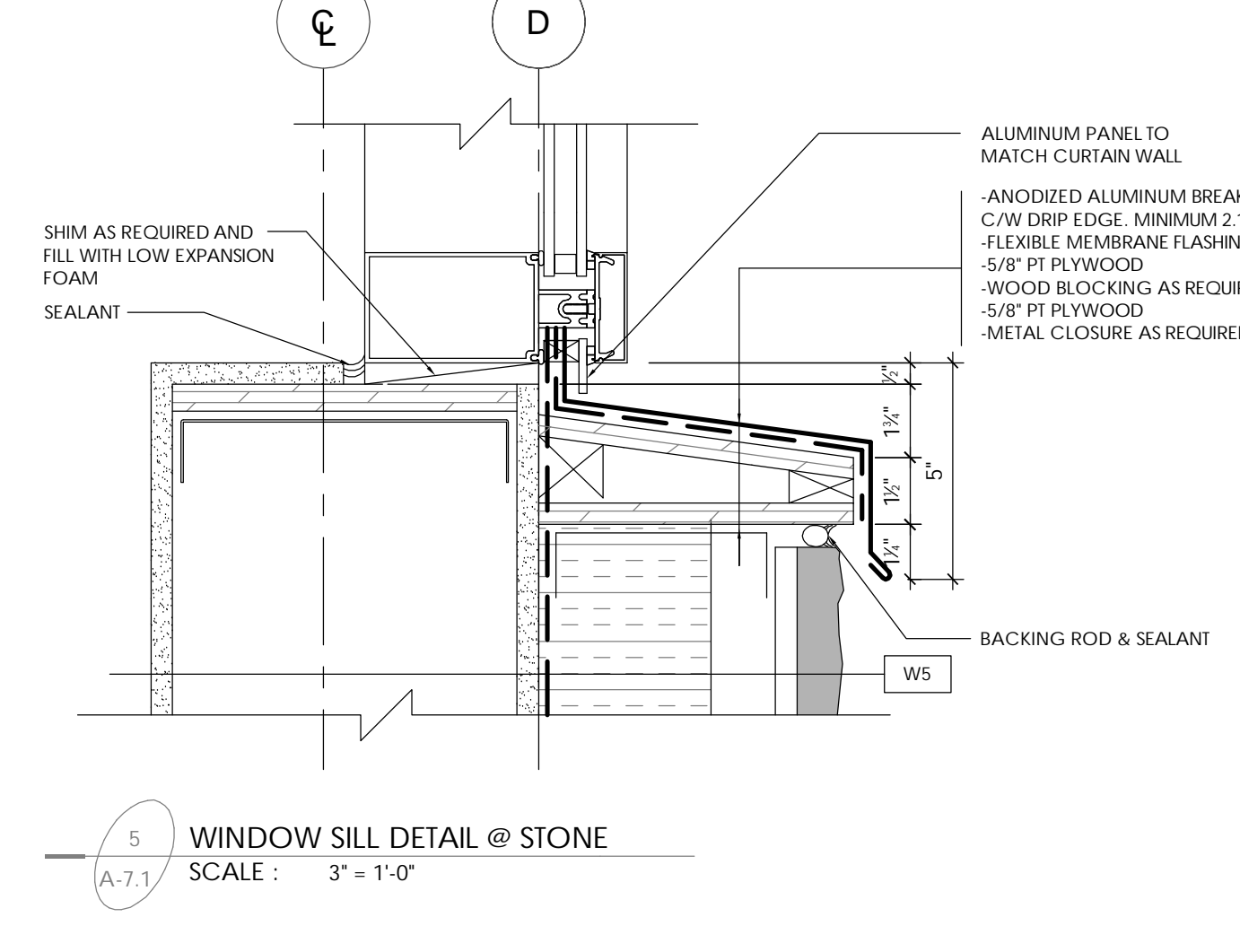
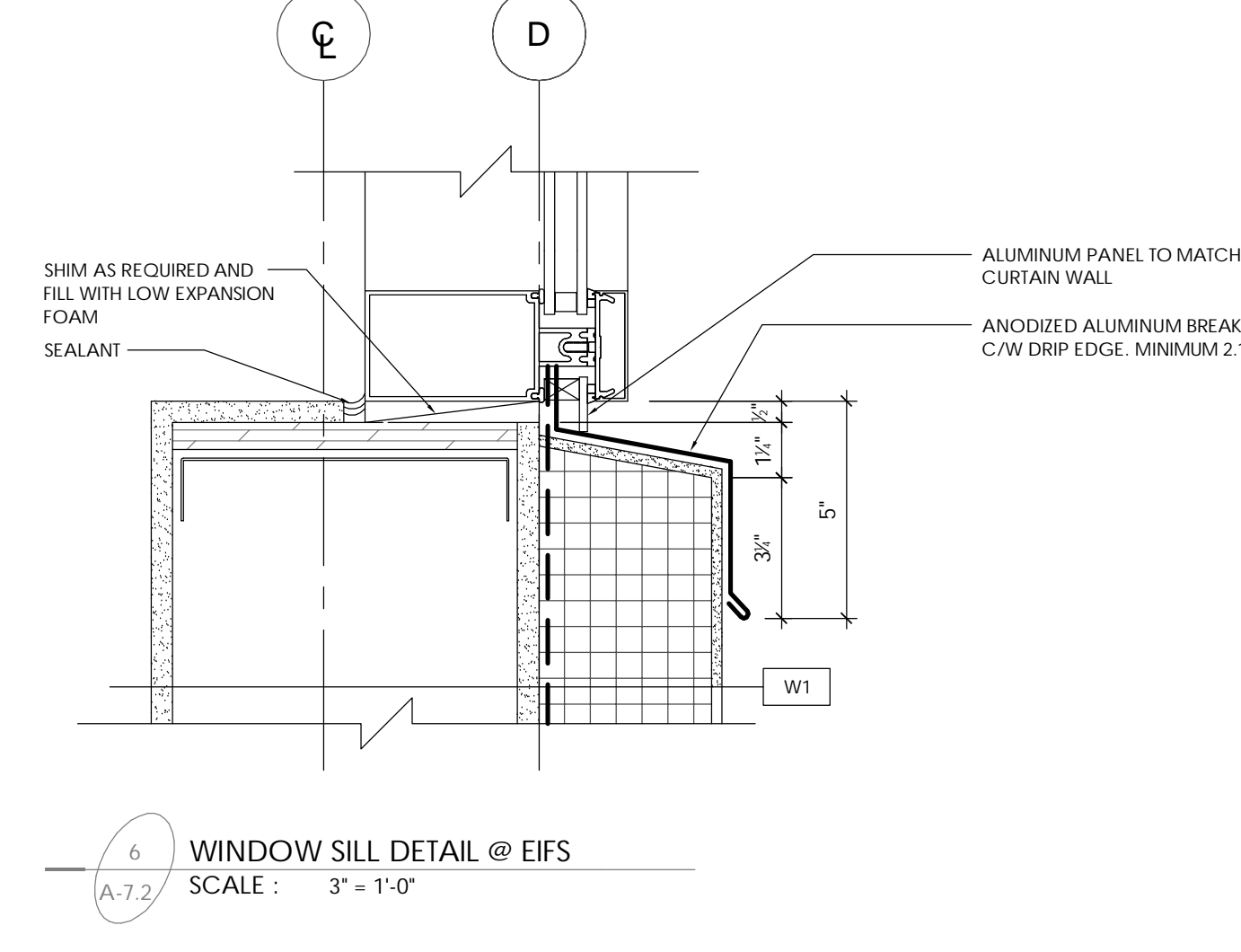
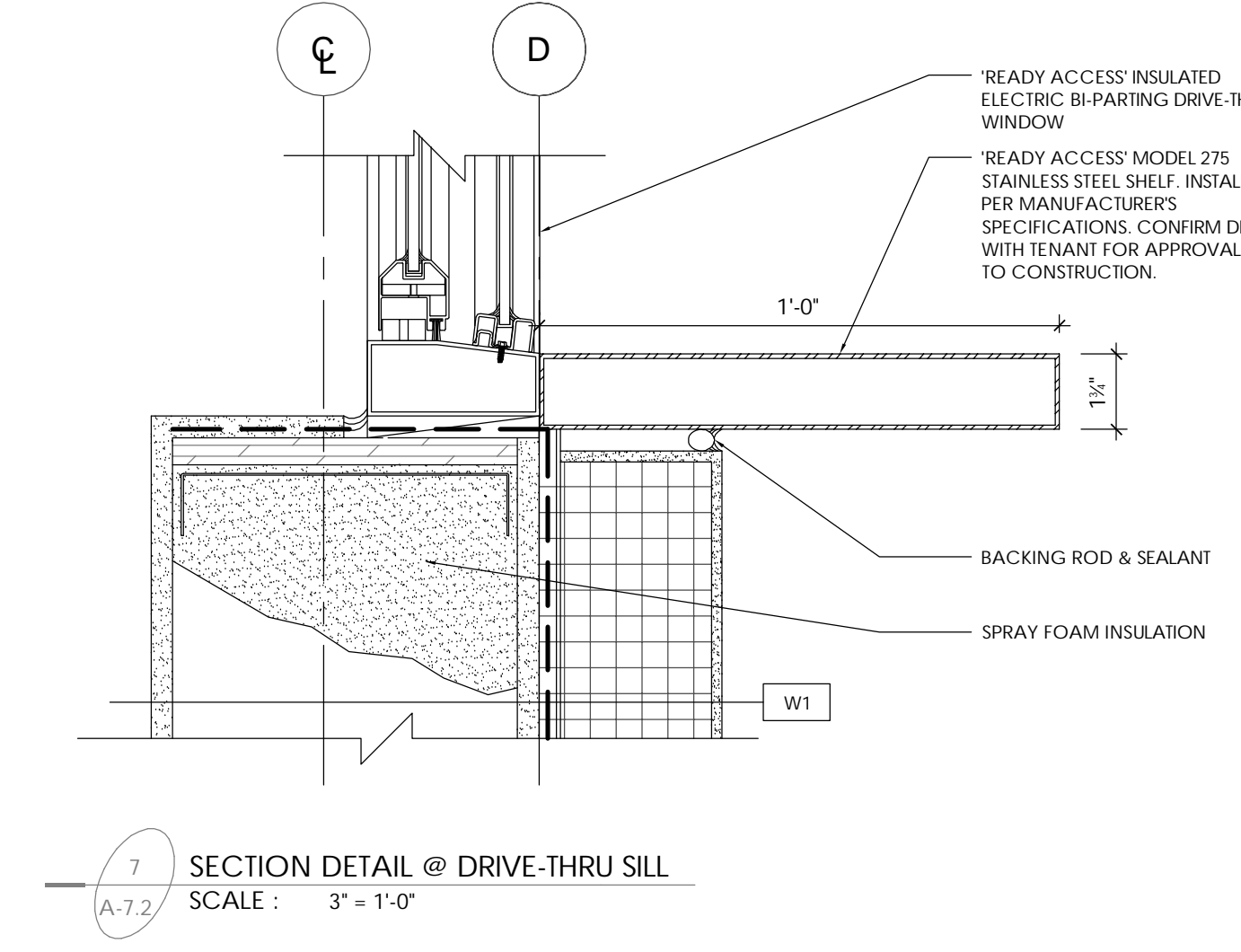
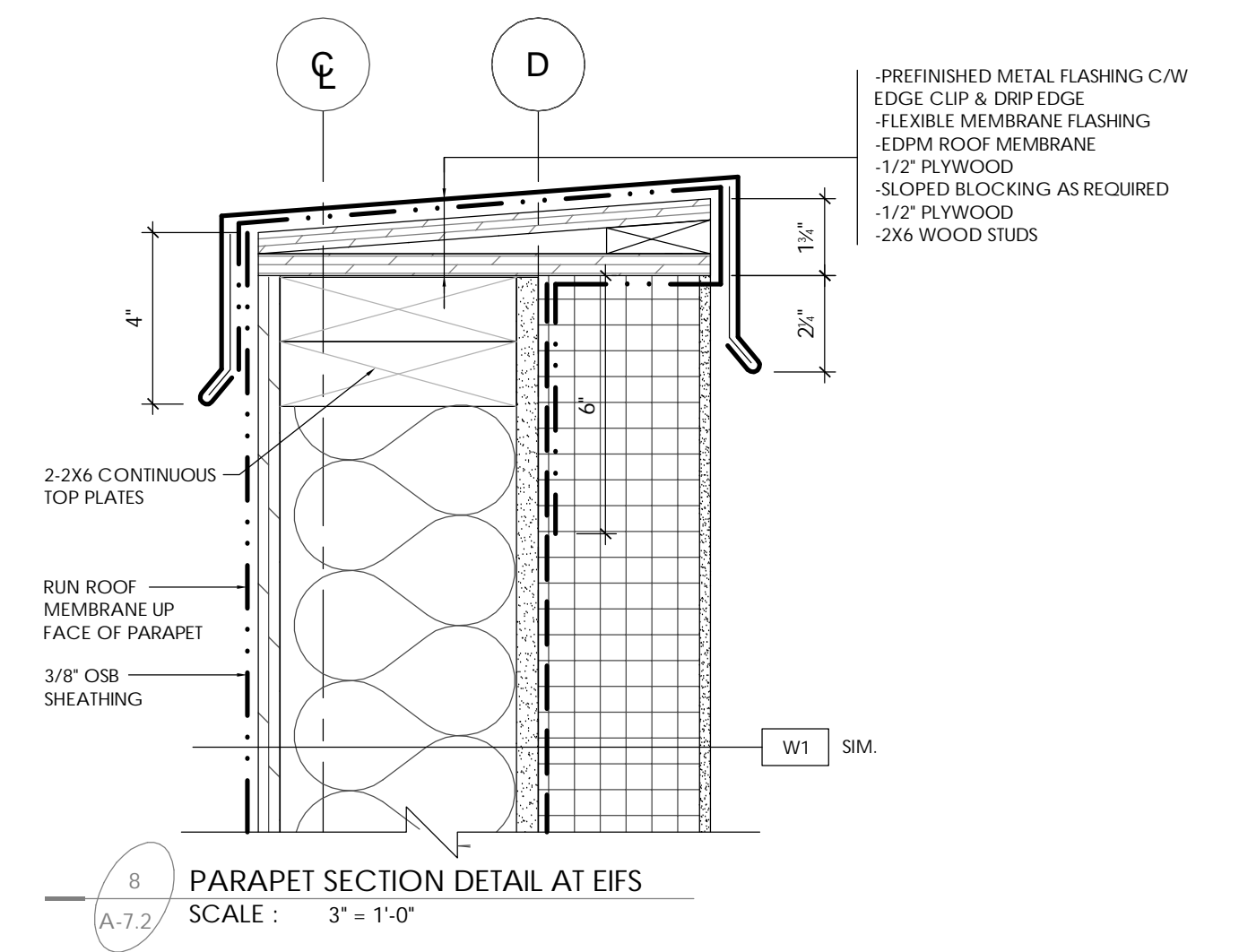
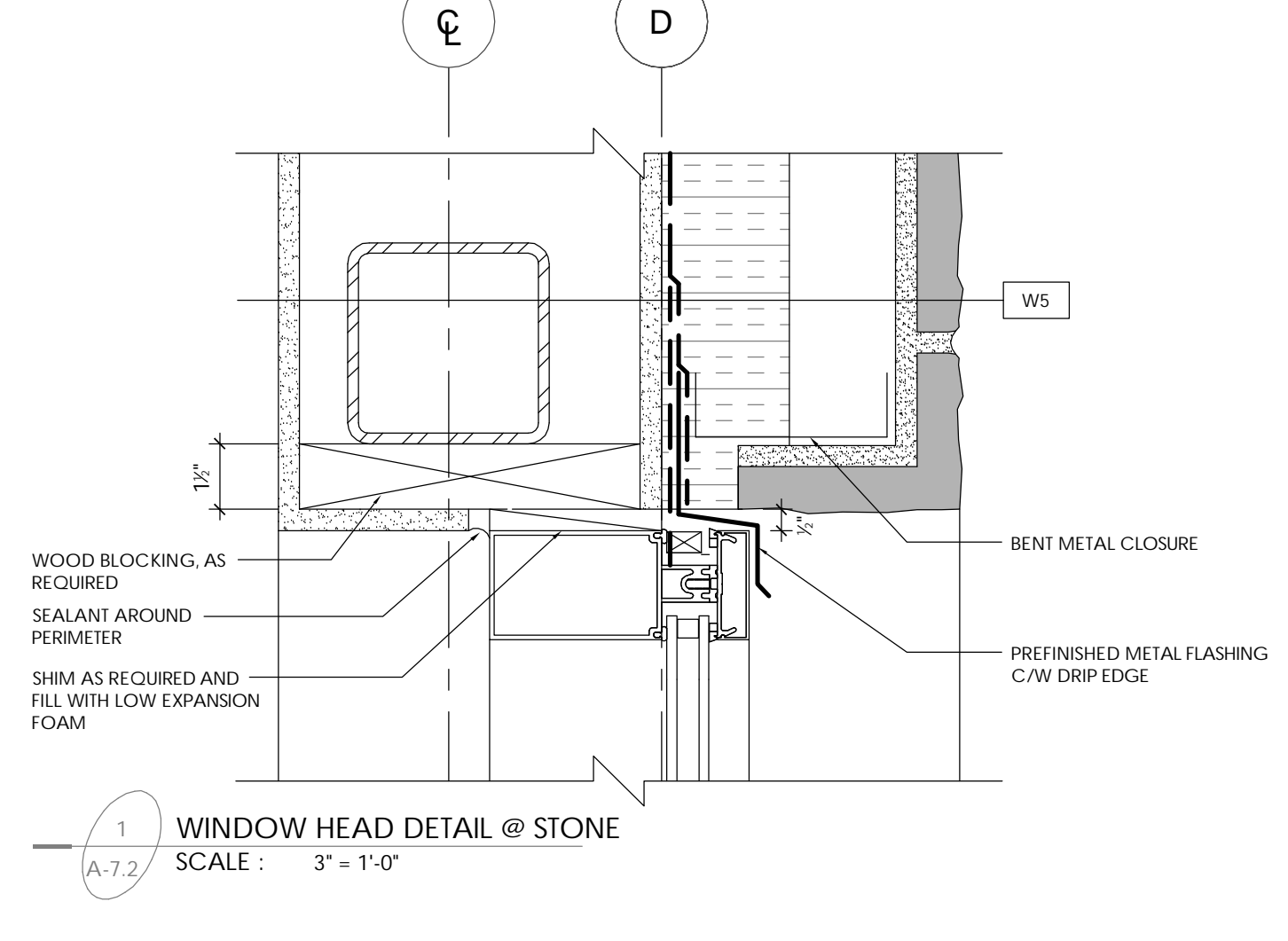
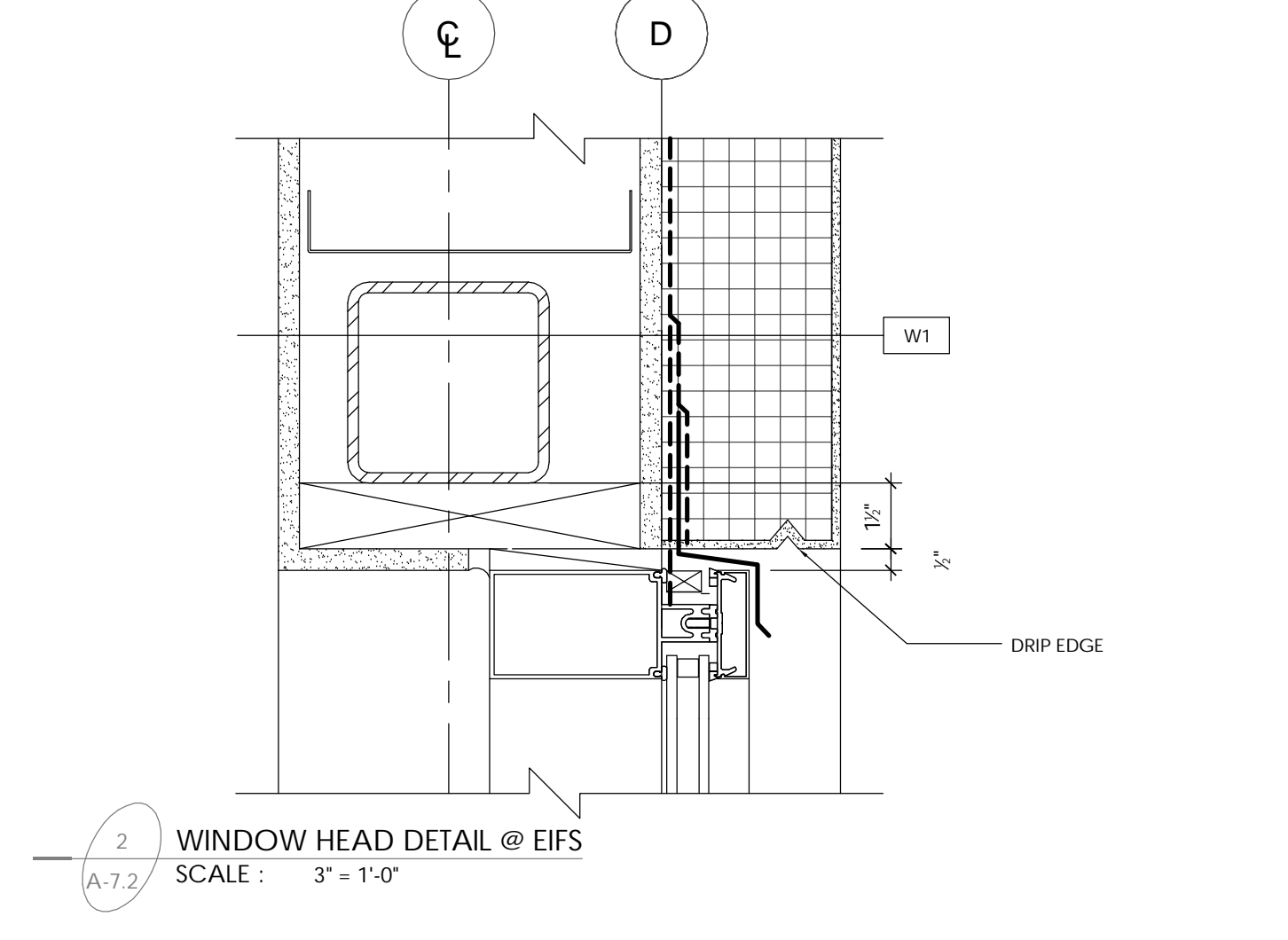
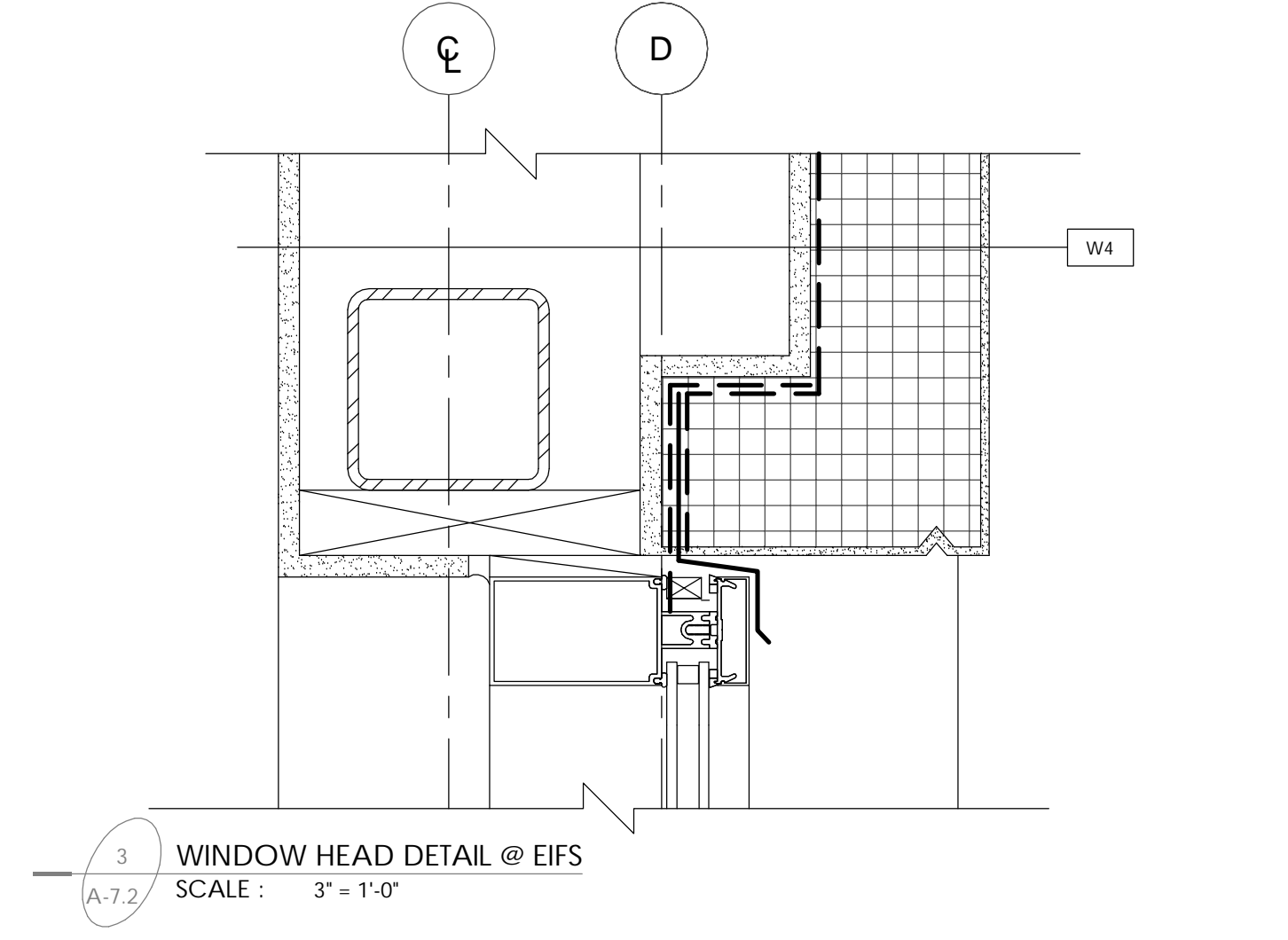
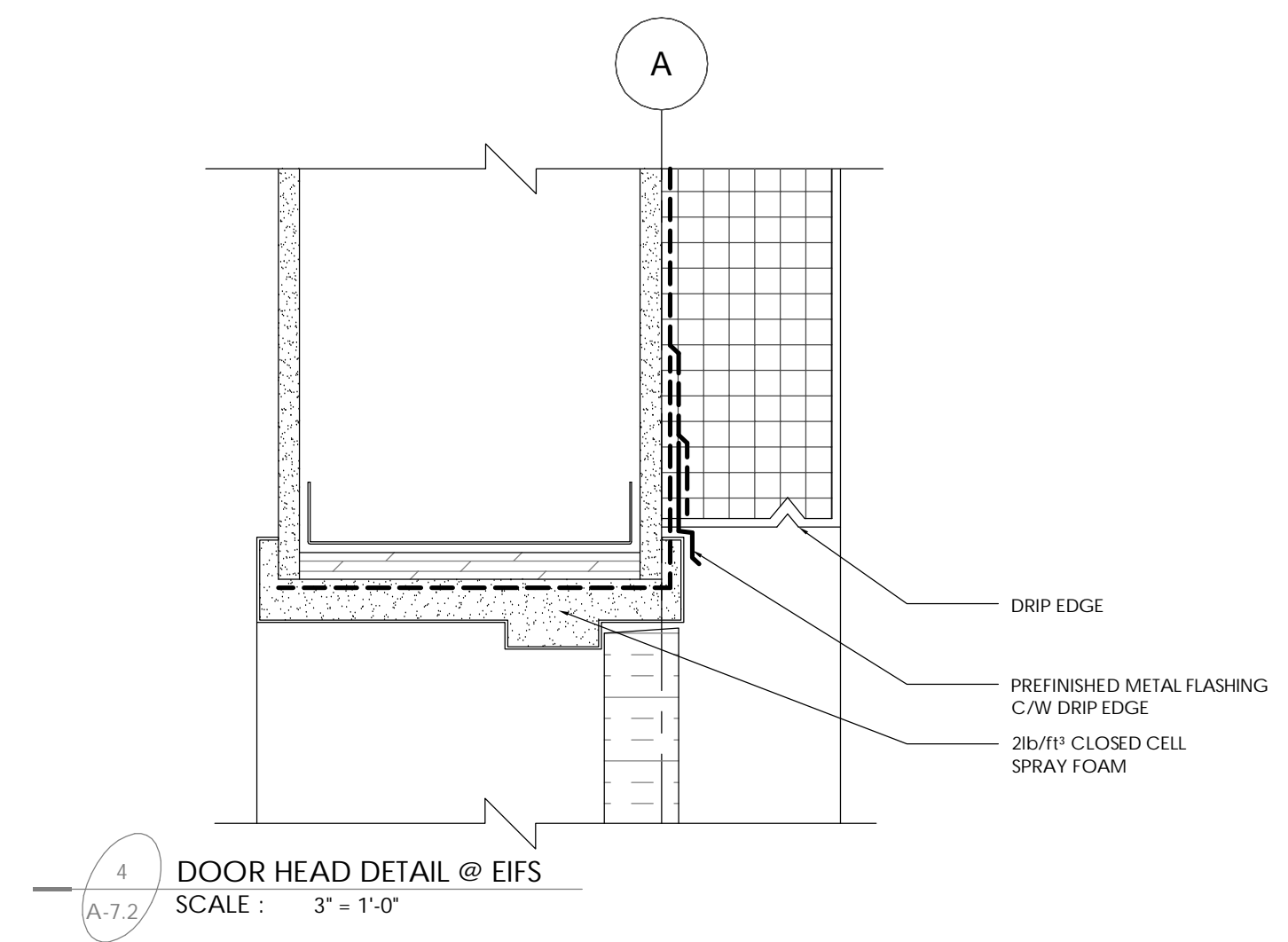
DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	1204	PLOT DATE	2012-08-13
DRAWING NO.	A-7.2	SCALE	3" = 1'-0"

DRAWING NO. REVISION

A-7.2



REFER TO TYPICAL NOTES ON DETAIL 8/A7.2

- PREFINISHED METAL FLASHING C/W EDGE CLIP & DRIP EDGE
- FLEXIBLE MEMBRANE FLASHING
- EDPM ROOF MEMBRANE
- 1/2" PLYWOOD
- SLOPED BLOCKING AS REQUIRED
- 1/2" PLYWOOD
- 2x6 WOOD STUDS

- READY ACCESS INSULATED ELECTRIC BI-PARTING DRIVE-THRU WINDOW
- READY ACCESS MODEL 275 STAINLESS STEEL SHELF, INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. CONFIRM DETAIL WITH TENANT FOR APPROVAL PRIOR TO CONSTRUCTION.

- SHIM AS REQUIRED AND FILL WITH LOW EXPANSION FOAM SEALANT
- ALUMINUM PANEL TO MATCH CURTAIN WALL
- ANODIZED ALUMINUM BREAKSHAPE C/W DRIP EDGE, MINIMUM 2.1mm

- ALUMINUM PANEL TO MATCH CURTAIN WALL
- ANODIZED ALUMINUM BREAKSHAPE C/W DRIP EDGE, MINIMUM 2.1mm
- FLEXIBLE MEMBRANE FLASHING
- 5/8" PT PLYWOOD
- WOOD BLOCKING AS REQUIRED
- 5/8" PT PLYWOOD
- METAL CLOSURE AS REQUIRED

PEDESTAL ROOF ANCHOR ATTACHED TO STRUCTURE AS PER STRUCTURAL DRAWINGS.
 CLOSE CELL SPRAY FOAM INSULATION APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS. COVER SPRAY FOAM INSULATION BY APPROVED THERMAL BARRIER PROTECTION. TYPICAL.

