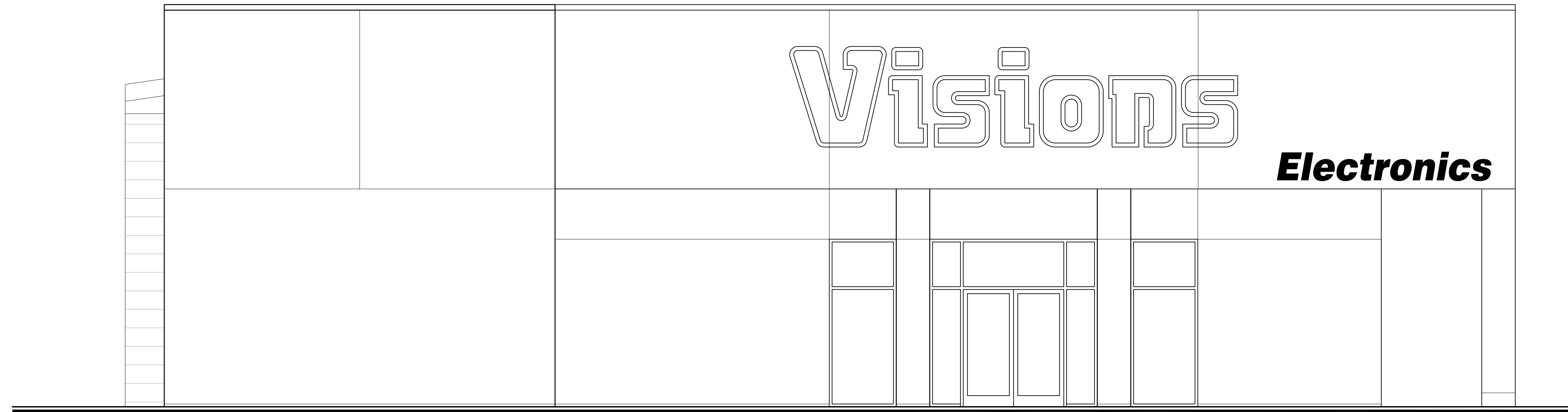


PARCEL A, DISTRICT LOT 97, GROUP 1, NEW WESTMINSTER PLAN BCP23739
 5756 IMPERIAL STREET, BURNABY, BC



DRAWING LIST:

ARCHITECTURAL

PJ LOVICK ARCHITECT LTD.
 3707 1st AVENUE,
 BURNABY, B.C., V5C 3V6
 (tel) 604.298.3700
 (fax) 604.298.6081
 (e-mail) pjlovick@pjlovick.com

- A0 COVER SHEET
- AS1 SITE PLAN
- AS2 SITE DETAILS
- A1 DEMOLITION FLOOR PLAN
- A2 PROPOSED MAIN FLOOR PLAN & EXISTING MEZZANINE PLAN
- A3 PROPOSED MAIN FLOOR REFLECTED CEILING PLAN
- A4 EXISTING ROOF PLAN
- A5 EXISTING / PROPOSED NORTH / SOUTH BUILDING ELEVATIONS
- A6 EXISTING / PROPOSED EAST / WEST BUILDING ELEVATIONS
- A7 BUILDING SECTIONS
- A8 DOOR / WINDOW SCHEDULE
- A9 ROOM FINISH SCHEDULE

- A10 WALL SECTIONS
- A11 WALL SECTIONS
- A12 SECTION DETAILS
- A13 SECTION DETAILS
- A14 SECTION DETAILS

STRUCTURAL

BEVAN PRITCHARD MAN
 210 - 195 WEST 2nd Ave,
 VANCOUVER, B.C, V5Y 1B8
 (tel) 604.688.3244
 (fax) 604.684.9964
 (e-mail) gbp_bpm@telus.net

- S1.1 GENERAL NOTES
- S2.1 GENERAL NOTES
- S3.1 GROUND FLOOR PLAN AND MEZZANINE PLAN AND PARTIAL ROOF PLAN
- S3.2 ROOF PLAN
- S4.1 NORTH & SOUTH ELEVATIONS
- S4.2 EAST & WEST ELEVATIONS

MECHANICAL

DEC ENGINEERING
 309 - 713 COLUMBIA STREET,
 NEW WESTMINSTER, B.C, V3M 1B2
 (tel) 604.525.3341
 (fax) -
 (e-mail) drawings@decmail.ca

- M1 MAIN FLOOR & MEZZANINE HVAC
- M2 ROOF PLAN HVAC
- M3 DETAILS HVAC
- M3 SPECIFICATIONS, SCHEDULES HVAC

ELECTRICAL

SEB CONSULTANTS LTD
 310-7377
 SALISBURY AVE,
 BURNABY, BC, V5E 4B2
 (tel) 604.526.8953
 (mob) 778.727.5206
 (e-mail) sebconsultants@shaw.ie

- E1 LIGHTING PLAN
- E2 POWER PLAN
- E2 SPECIFICATION & SYMBOLS

LANDSCAPE

PMG LANDSCAPE ARCHITECTS LTD.
 C100 4185 STILL CREEK DRIVE,
 BURNABY, B.C., V5C 6G9
 (tel) 604.294.0011
 (fax) 604.294.0022

- L1 LANDSCAPE PLAN & PLANT SCHEDULE

ISSUED FOR CONSTRUCTION APRIL 2, 2013

SITE STATISTICS

CIVIC ADDRESS:
5756 IMPERIAL STREET,
BURNABY, BC

LEGAL DESCRIPTION:
PARCEL A, DISTRICT LOT 47, GROUP 1
NEW WESTMINSTER DISTRICT, PLAN BCP23134

ZONING:
C4

SITE AREA:
18,000 sq.ft. (1672.25 sq.m)

BUILDING AREA:
GROUND FLOOR AREA : 4335 sq.ft. (401.25 sq.m) (EXISTING)
MEZZANINE AREA : 396 sq.ft. 36.74 sq.m (EXISTING)
TOTAL FLOOR AREA: 4731 sq.ft. (440.44 sq.m) (EXISTING)

PARKING:
PARKING PROVIDED: 14 SPACES PPA 12-224 APPROVED
LOADING PROVIDED: 1 SPACE PPA 12-224 APPROVED

APR. 2/13	ISSUED FOR CONSTRUCTION	
JAN. 11/13	ISSUED FOR TENDER	
NOV. 17/12	ISSUED FOR BUILDING PERMIT	
AUG. 31/12	RE-ISSUED FOR P.P.A	
AUG. 13/12	RE-ISSUED FOR P.P.A	
JULY 16/12	ISSUED FOR P.P.A	
DATE	ISSUE	REV

CONSULTANT

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

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DEVELOPMENT PERMIT NO: 100650

BUILDING CODE ANALYSIS

CLASSIFICATIONS

RETAIL
3.2.2.61
Group E, up to 2 storeys
- not more than 2 storeys in building height.
- building area not more than 1250 sq.m, facing 2 streets.
- combustible or noncombustible construction
- floor assemblies to have fire-resistance rating not less than 45 mn.
- load bearing walls, columns and arches to have fire-resistance rating not less than that required for the supported assembly.

OCCUPANT LOAD CALCULATIONS
OCCUPANT LOAD CALCULATIONS AS PER TABLE 3.1.1.1

RETAIL 451.40 m² 1 PERSON per 3.10 m² = 122
122 PEOPLE

EXIT CALCULATIONS
EXIT WIDTH CALCULATIONS AS PER TABLE 3.4.3.2 (1) (a)
= 5443.6mm/ 6.1mm per person
= 914mm

WATER CLOSETS PER 3.1.2.2 (B)
REQUIRED: 1 FOR EACH 300 MALE AND 1 FOR EACH 150 FEMALE

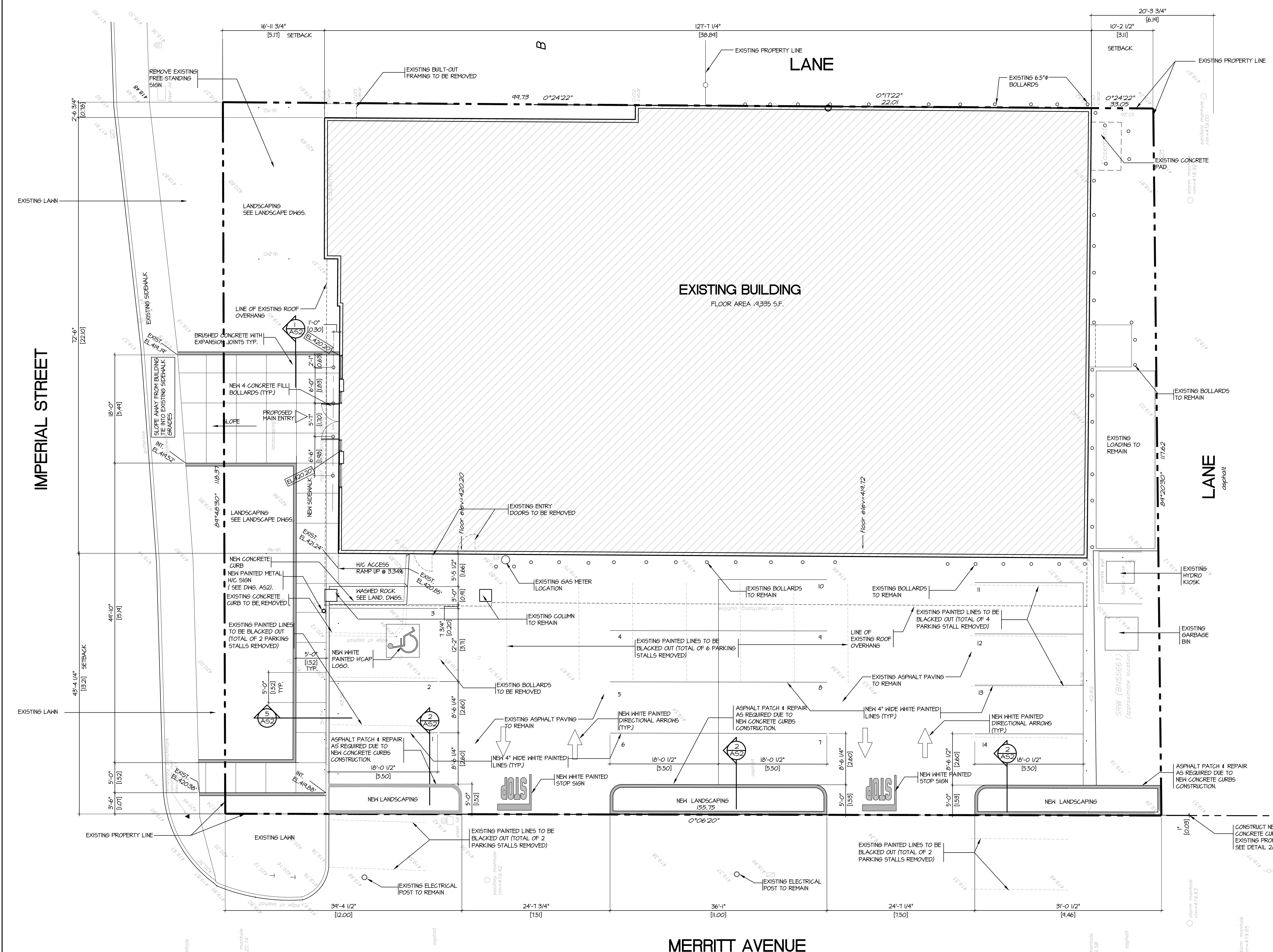
135 MALE = 1 MALE
135 FEMALE = 1 FEMALE

PROVIDED: MALE = 1 (EXISTING)
PROVIDED: FEMALE = 1 (EXISTING)

SPATIAL SEPARATION CALCULATIONS
FOR SPATIAL SEPARATION CALCULATIONS AS PER TABLE 3.2.3.1.B

ELEVATION	LIMITING DISTANCE	EXPOSING BUILDING FACE	PROPOSED UNPROTECTED OPENING	ALLOWABLE UNPROTECTED OPENING	CONSTRUCTION
NORTH	4.0 m	135.42 m ²	12.30%	100%	COMBUSTIBLE
SOUTH	6.1 m	123.09 m ²	3.24%	16.15%	2 FIRE RES. NON COMBUST. GLAZING
EAST	0 m	0 m ²	0%	0%	2 FIRE RES. NON COMBUST. GLAZING
WEST	22.35 m	152.85 m ²	8.14%	100%	COMBUSTIBLE

3.4.2.5.
MAXIMUM TRAVEL DISTANCE 30M IN ANY FLOOR AREA



SITE PLAN
SCALE: 1/8" = 1'-0"

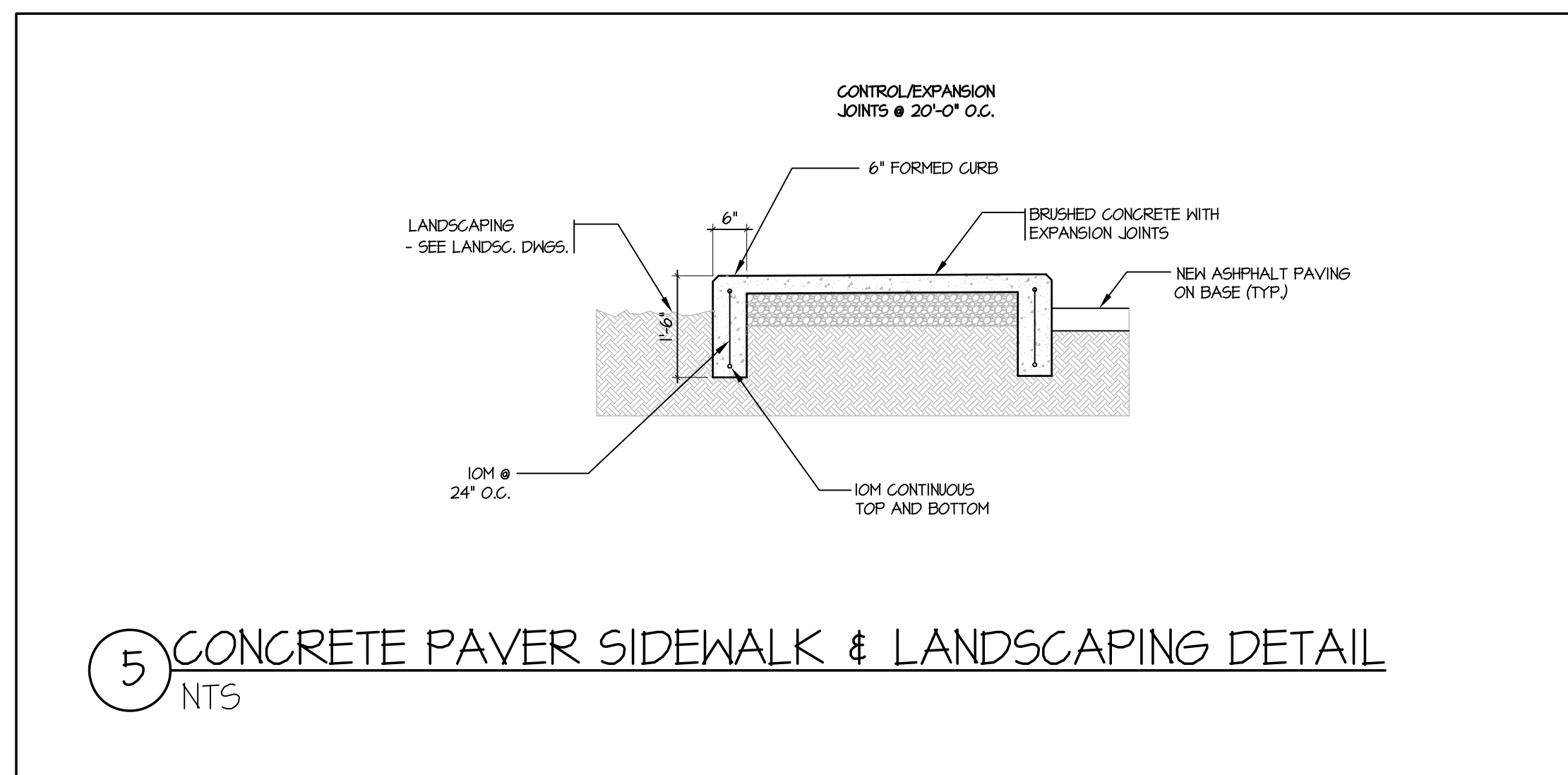
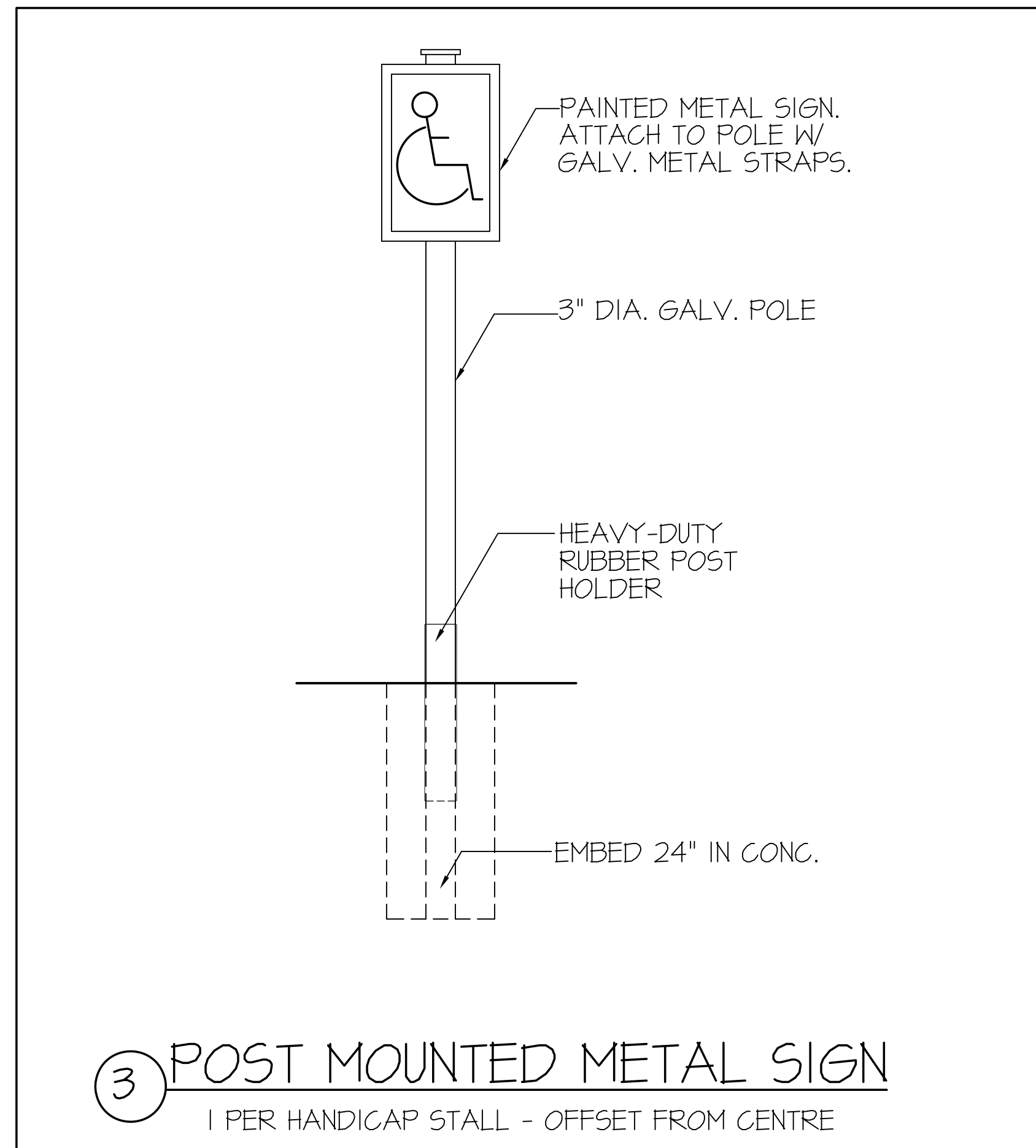
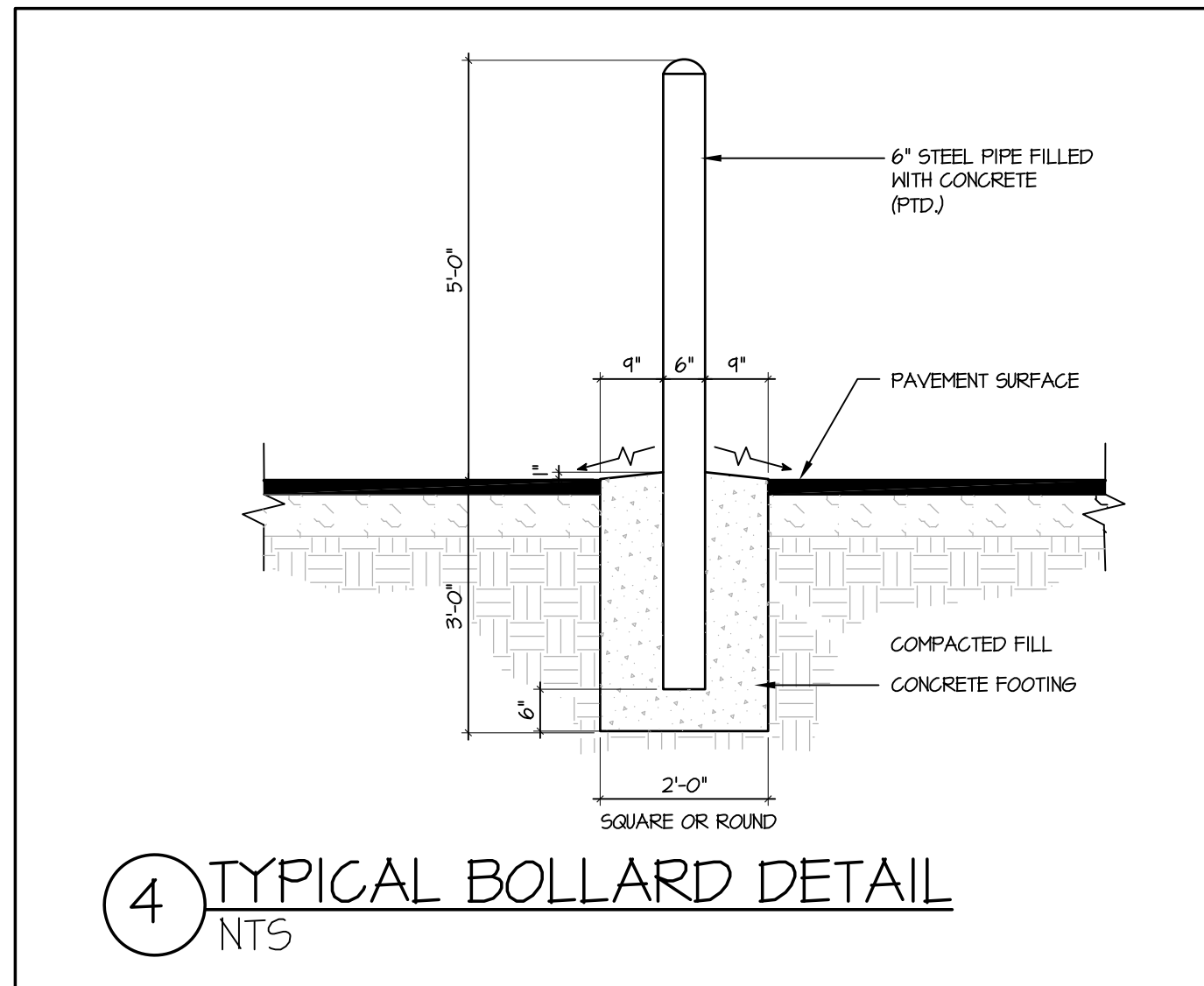
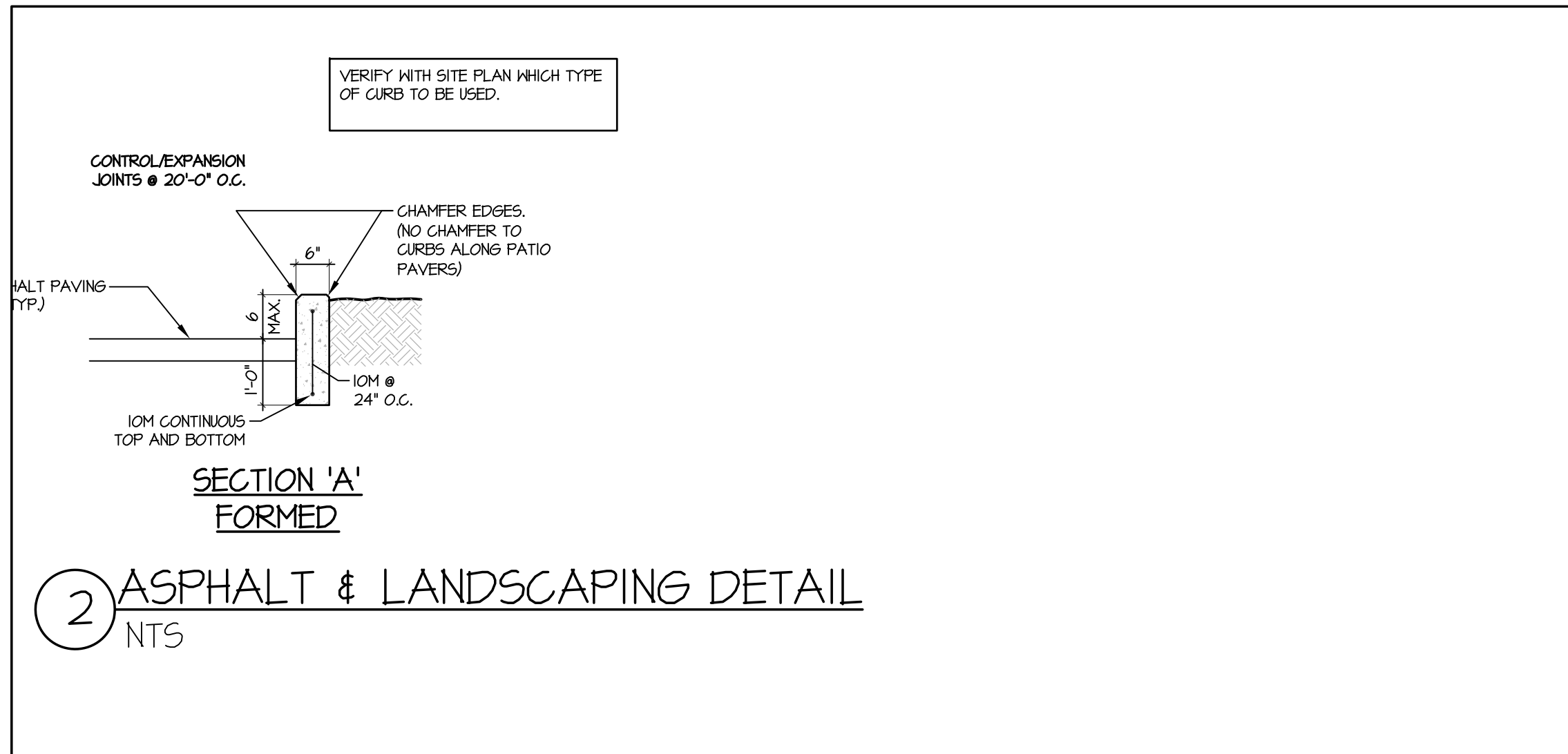
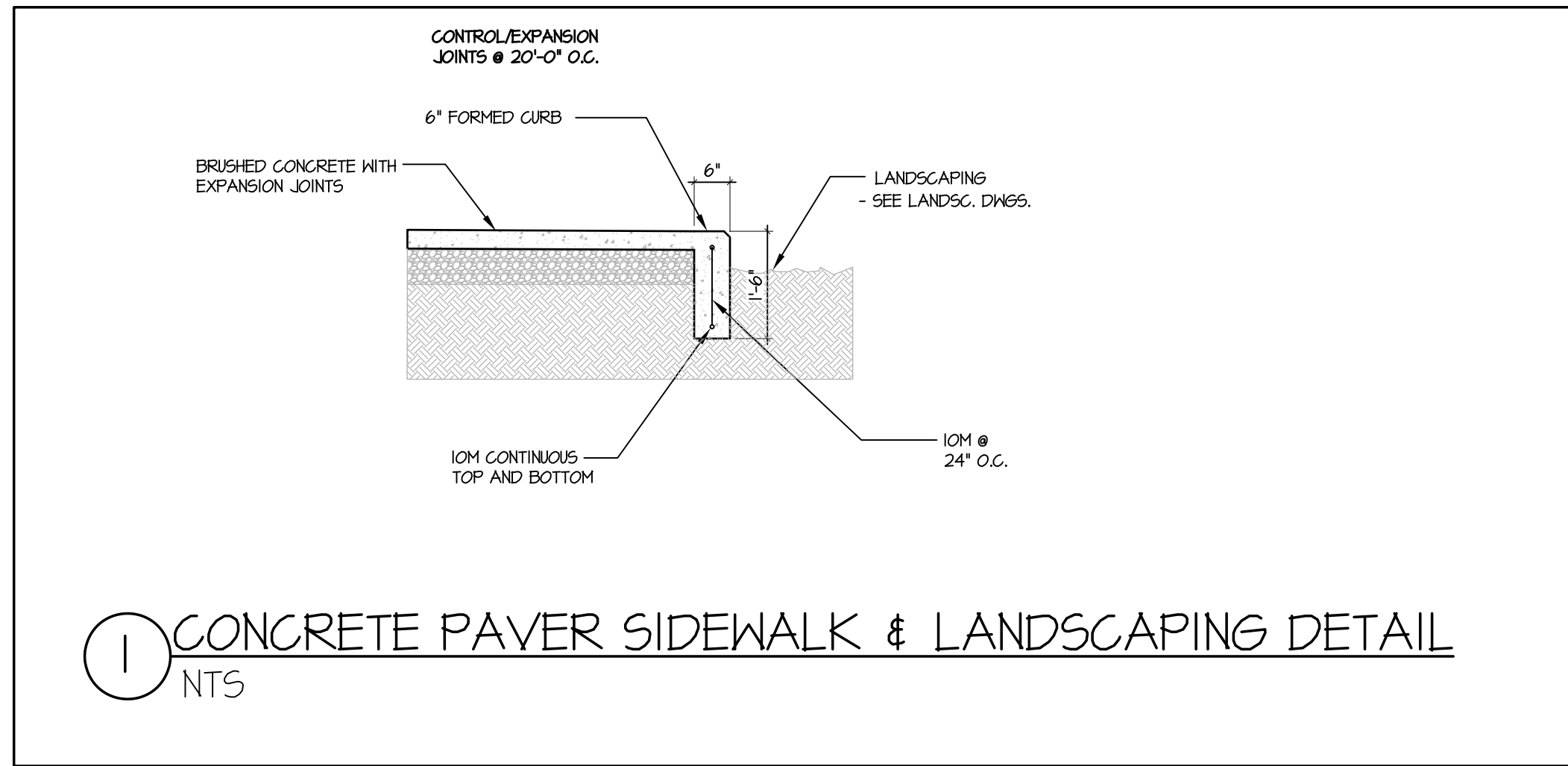
MERRITT AVENUE

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DRAWN BY: JS
PROJECT: EXISTING BUILDING ALTERATION FOR VISIONS
5756 IMPERIAL STREET
BURNABY, BC

APPROVED: P.J.L.
REVISION: MAR 2012

PROJECT NUMBER	DRAWING NUMBER
12-18	ASI
SCALE	
1/8" = 1'-0"	
DATE	REVISION
MAR 2012	



DATE	ISSUE	REV
APR. 2/13	ISSUED FOR CONSTRUCTION	
JANU/13	ISSUED FOR TENDER	
NOV. 17/12	ISSUED FOR BUILDING PERMIT	
DATE	ISSUE	REV

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
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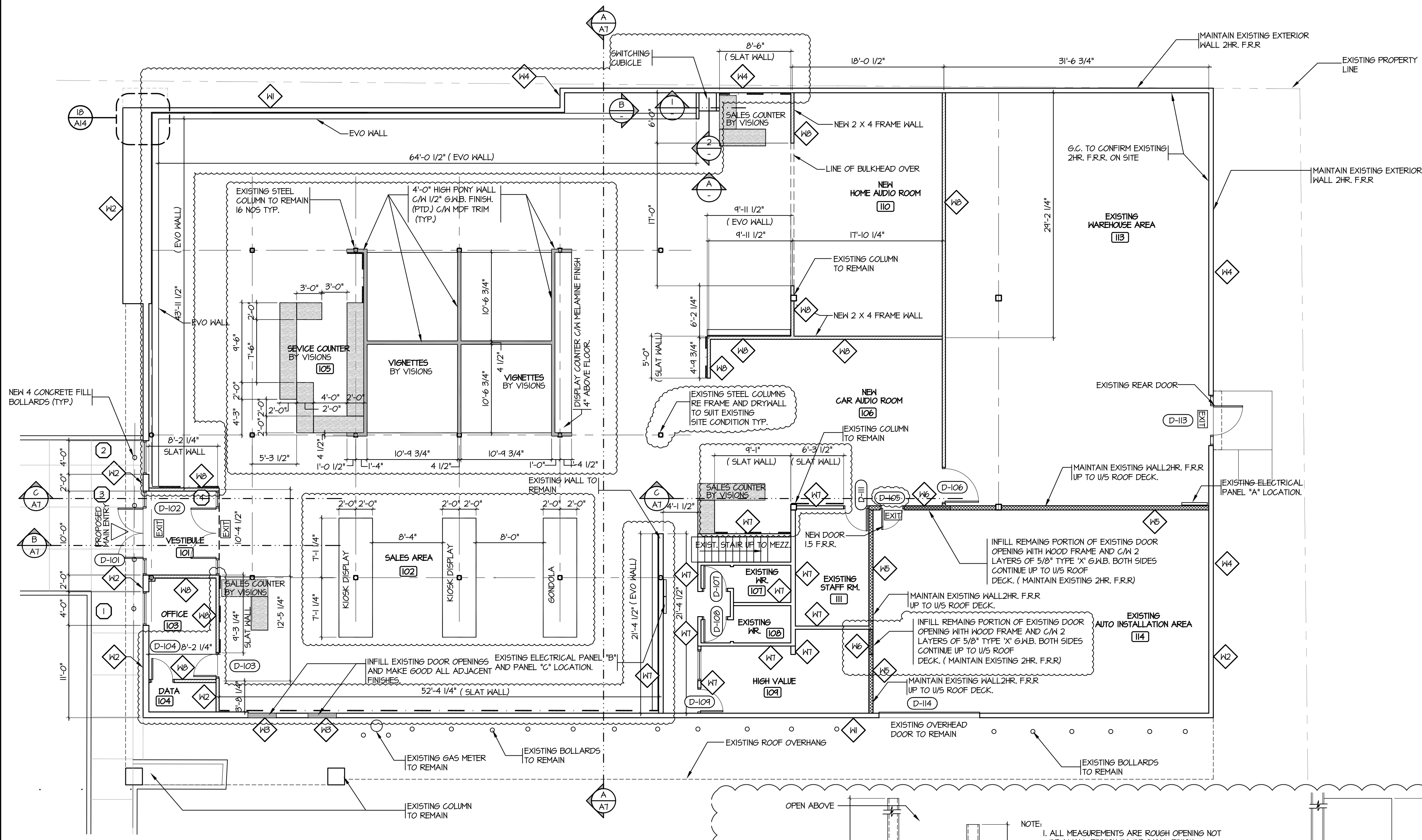
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PROJECT
**EXISTING BUILDING
ALTERATION FOR VISIONS**
5756 IMPERIAL STREET
BURNABY, BC

DRAWING
SITE DETAILS

PROJECT NUMBER DRAWING NUMBER
12-18 AS2
SCALE
1/4" = 1'-0"
DATE REVISION
2011



PROPOSED GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0" AREA: 4,335 Sq.Ft. (867.25 Sq.M.) (EXISTING)

FRAMING PLAN LEGEND

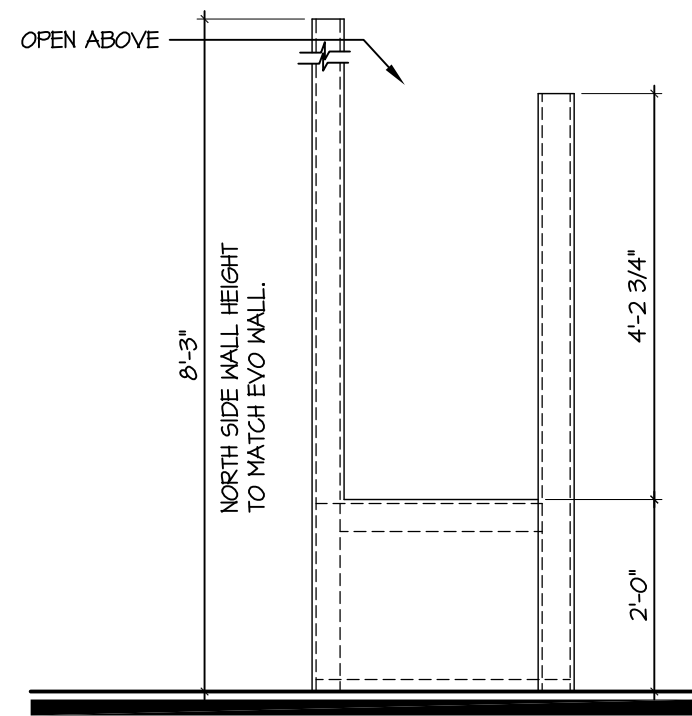
- XXX DOOR NUMBER, REFER TO DOOR SCHEDULE
- ⊗ WINDOW NUMBER, REFER TO DOOR SCHEDULE
- ◆XX HALL NUMBER, REFER TO WALL SCHEDULE

FLOOR PLAN NOTES

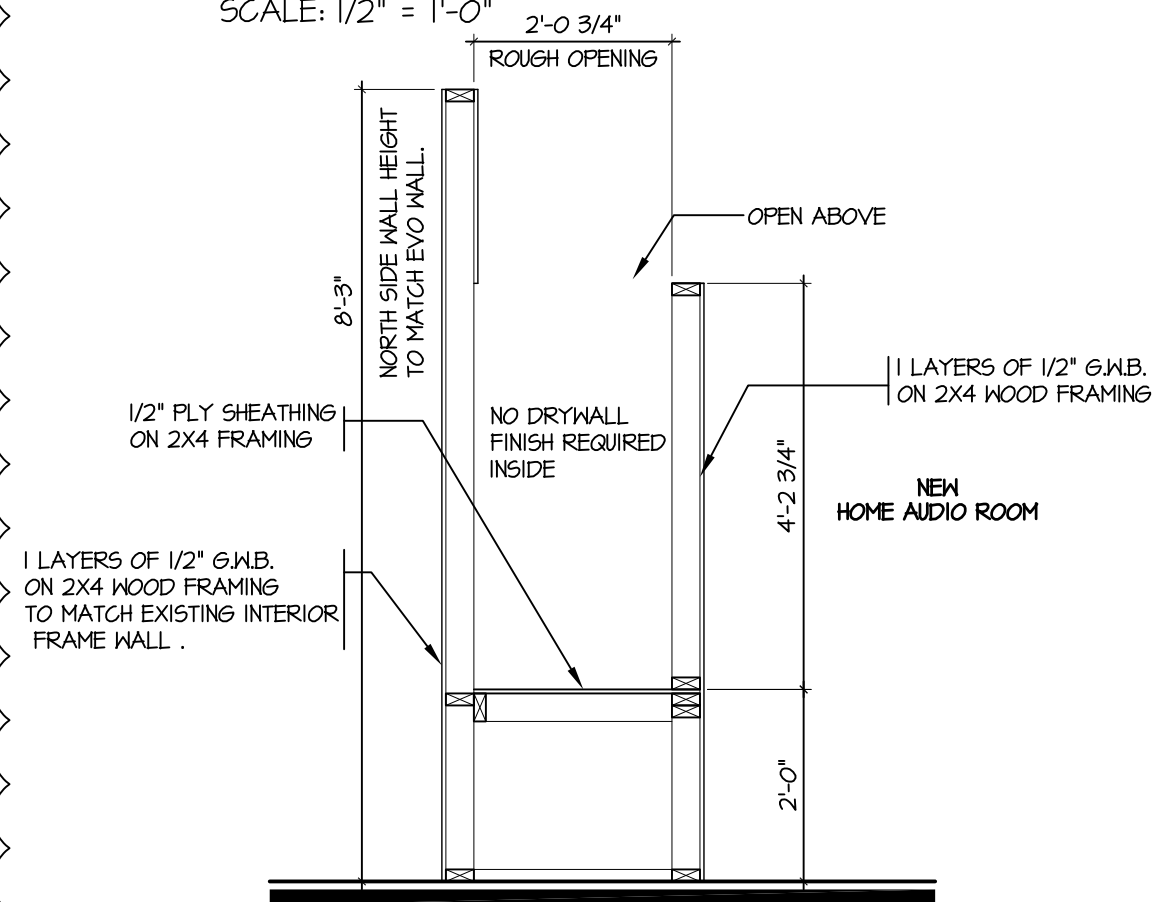
1. ALL NEW INTERIOR WALLS TO BE TYPICAL 2x4 CONSTRUCTION. U.N.O.
2. ALL NEW INTERIOR WALLS DIMENSIONED FROM OUTSIDE OF EXTERIOR SHEATHING TO CENTRELINE OF WALL. U.N.O.
3. REFER TO STRUCTURAL DWG'S FOR INTERIOR BEARING AND SHEAR WALL INFORMATION.
4. REFER TO DEMOLITION AND GENERAL NOTES ON DRAWING A-01
5. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL BLOCKING AND ANCHORS FOR EXISTING FIXTURES AND ACCESSORIES THAT ARE TO BE REINSTALLED DUE TO CONSTRUCTION.
6. ANY EXISTING LIFE SAFETY FIXTURES (E.G. FIRE ALARM BONES, PULL STATIONS, EMERGENCY & EXIT LIGHTING, ETC.) REMOVED DURING CONSTRUCTION MUST BE REINSTALLED IN THE SAME LOCATION AND REVERIFIED. CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIRE ALARM VERIFICATION DOCUMENTS TO ARCHITECT PRIOR TO FINAL COMPLETION.

7. CEILING NOTES

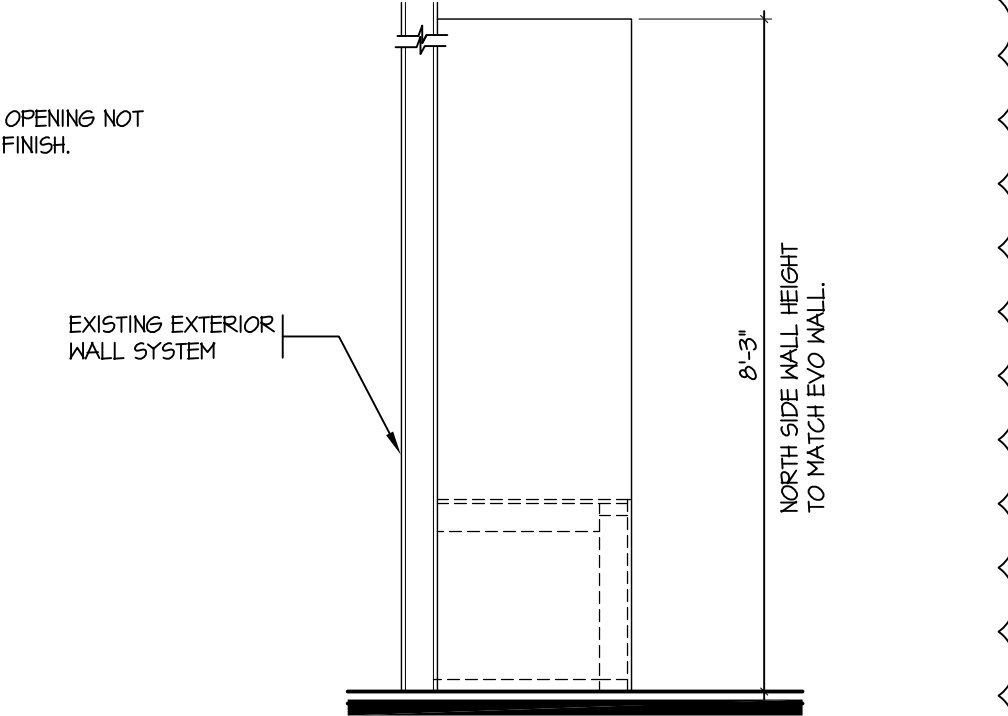
- CONTRACTOR SHALL VERIFY FIXTURE QUANTITIES AND ALSO MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN DUE TO ADDITIONAL REQUIREMENTS, LOCAL CODES, ETC.
- ALL FIXTURES SHALL BE LOCATED IN THE CENTER OF CEILING TILES UNLESS NOTED OTHERWISE.
- PATCH CEILING AT NEW LIGHTING LOCATIONS TO MATCH ADJACENT SURFACE AND FINISHES.
- HVAC DIFFUSERS AND DUCT WORK TO BE CLEANED AFTER CONSTRUCTION IS COMPLETE.



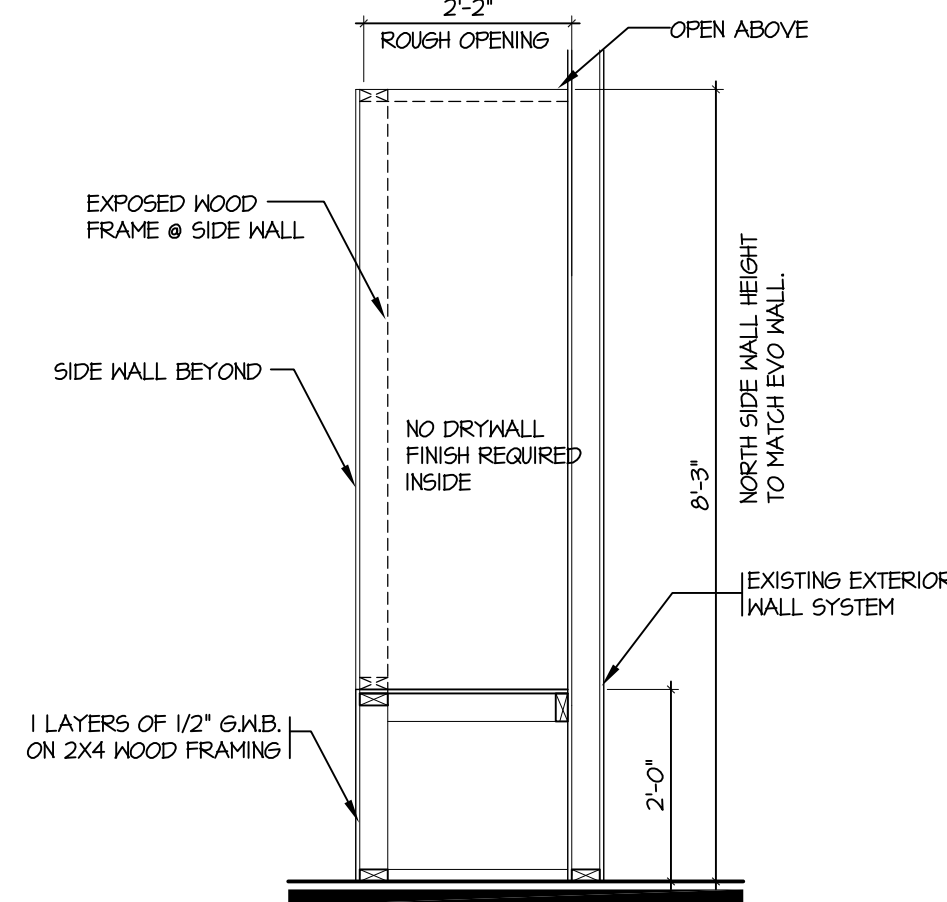
FRONT ELEVATION-A
 SCALE: 1/2" = 1'-0"



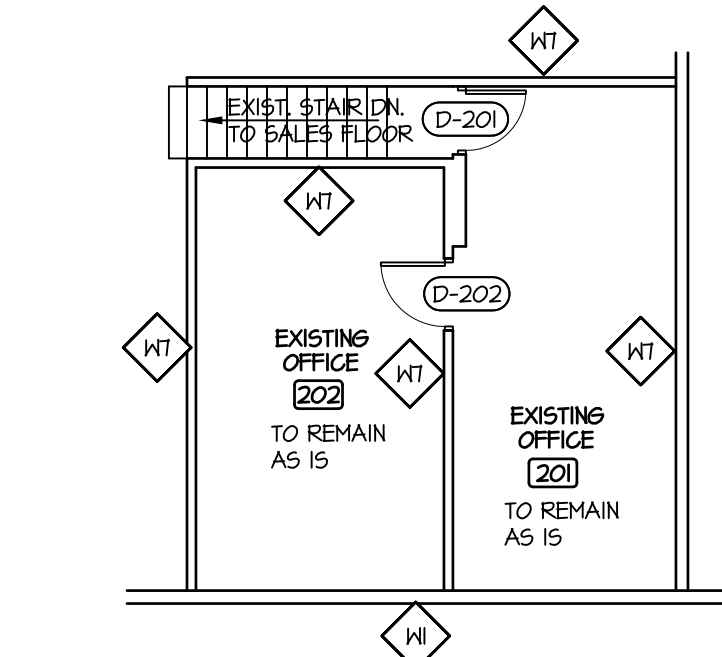
CROSS SECTION -1
 SCALE: 1/2" = 1'-0"



SIDE ELEVATION-B
 SCALE: 1/2" = 1'-0"



CROSS SECTION -2
 SCALE: 1/2" = 1'-0"



EXISTING MEZZANINE PLAN
 SCALE: 1/8" = 1'-0" AREA: 346 Sq.Ft. 36.79 Sq.M. (EXISTING)

TYPICAL WALL ASSEMBLIES

- ◆H1 EXISTING STUCCO FINISH ON EXTERIOR FRAME WALL (PATCH & REPAIR AS REQUIRED)
- ◆H2 NEW STUCCO FINISH ON EXISTING EXTERIOR FRAME WALL. REMOVE EXISTING STUCCO FINISH AND REPLACE WITH NEW STUCCO FINISH ON WIRE MESH. 1/2" x 2" PT. VERTICAL PLYWOOD STRAPPING @ 8" O.C. 2 LAYERS 30 MIN. BUILDING PAPER ON (LAYER LINE AND JOINTS TO BE LAPPED) EXISTING EXTERIOR SHEATHING EXISTING WALL FRAMING
- ◆H3 NEW STUCCO FINISH ON NEW EXTERIOR FRAME WALL. NEW STUCCO FINISH ON WIRE MESH. 1/2" x 2" PT. VERTICAL PLYWOOD STRAPPING @ 8" O.C. 2 LAYERS 30 MIN. BUILDING PAPER ON (LAYER LINE AND JOINTS TO BE LAPPED) 1/2" EXTERIOR PLY SHEATHING ON 2x4 OR 2x6 WOOD STUDS (TO MATCH EXISTING) R20 BATT INSULATION G/M 6MIL POLY VAPOR BARRIER 1/2" G.W.B. (PTD.)
- ◆H4 NEW VIGNEST CLADDING ON EXISTING EXTERIOR FRAME WALL. MAINTAIN EXISTING 2 HR. FIRE RESISTANT RATING. REMOVE EXISTING STUCCO FINISH AND REPLACE WITH NEW VIGNEST CLADDING 22 GA. PROFILE -CL 435PAINTED (INSTALLED PER MANUFACTURER'S SPEC'S) 1/2" x 2" PT. VERTICAL PLYWOOD STRAPPING @ 8" O.C. MAX. 2 LAYERS 30 MIN. BUILDING PAPER ON (LAYER LINE AND JOINTS TO BE LAPPED) ON EXISTING EXTERIOR WALL SYSTEM
- ◆H5 EXISTING INTERIOR 2HR. F.R.R. FRAME WALL TO REMAIN
- ◆H6 NEW INTERIOR 2HR. F.R.R. FRAME WALL. 2 LAYERS OF 5/8" TYPE 'X' G.W.B. BOTH SIDES ON 2x4 OR 2x6 TO MATCH EXISTING INTERIOR FRAME WALL. (5/8" TYPE 'X' CONTINUE UP TO U/S ROOF DECK.)
- ◆H7 EXISTING INTERIOR FRAME WALLS TO REMAIN
- ◆H8 NEW INTERIOR FRAME WALLS. 1 LAYERS OF 1/2" OR 5/8" TYPE 'X' G.W.B. BOTH SIDES ON 2x4 OR 2x6 TO MATCH EXISTING INTERIOR FRAME WALL.
- EXISTING TO BE REMOVED. -WALLS -DOORS & WINDOWS -CABINETS

DATE	ISSUE	REV
APR. 2/13	ISSUED FOR CONSTRUCTION	
MAR. 26/13	ADDENDUM #3	
JAN. 11/13	ISSUED FOR TENDER	
DEC. 17/12	ISSUED FOR BUILDING PERMIT	
JULY 16/12	ISSUED FOR P.P.A	

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
 ARCHITECT



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J.S. P.J.

EXISTING BUILDING ALTERATION FOR VISIONS

5756 IMPERIAL STREET
 BURNABY, BC

DRAWING

PROPOSED MAIN FLOOR & EXISTING MEZZANINE PLAN

PROJECT NUMBER DRAWING NUMBER

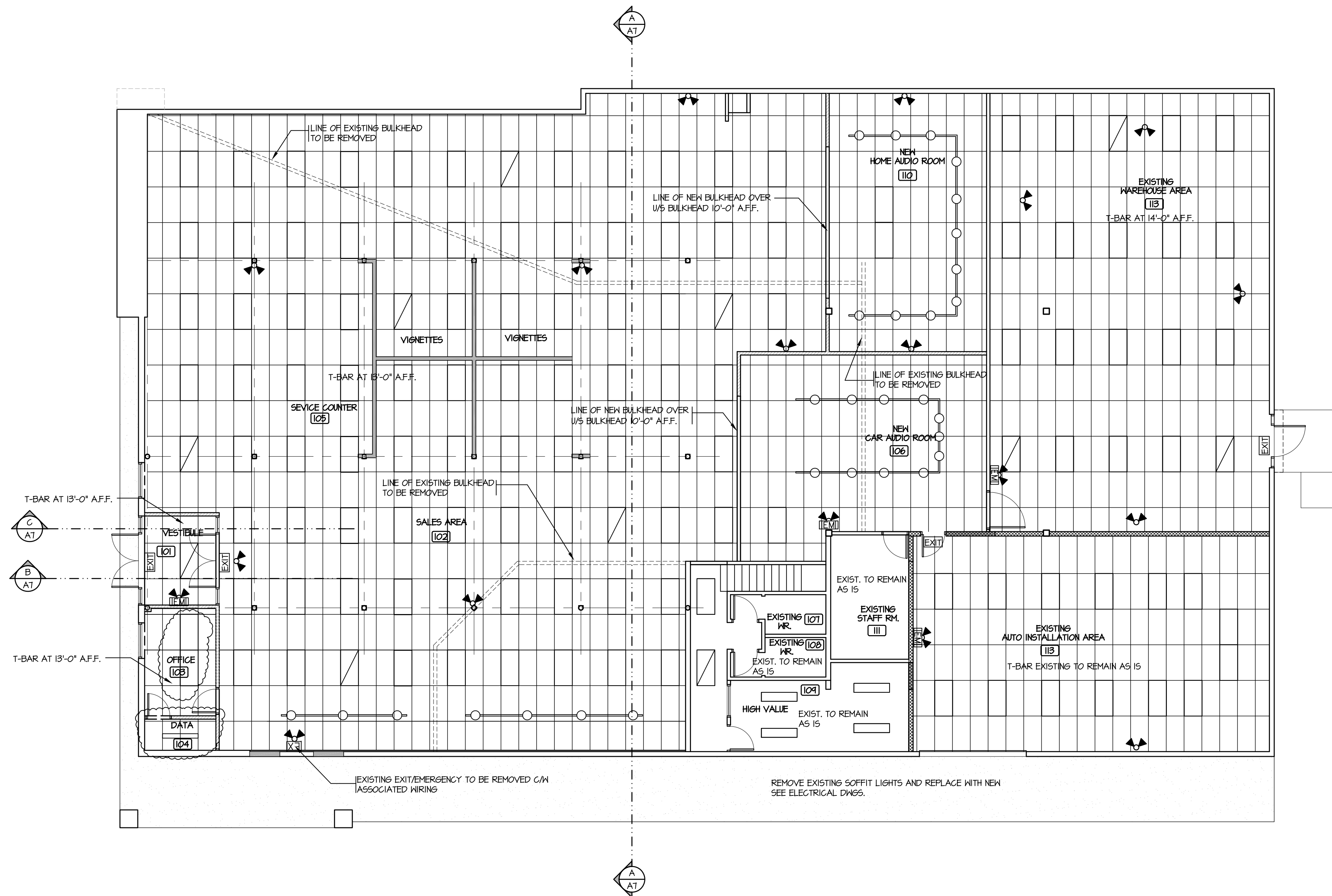
12-18 A2

SCALE

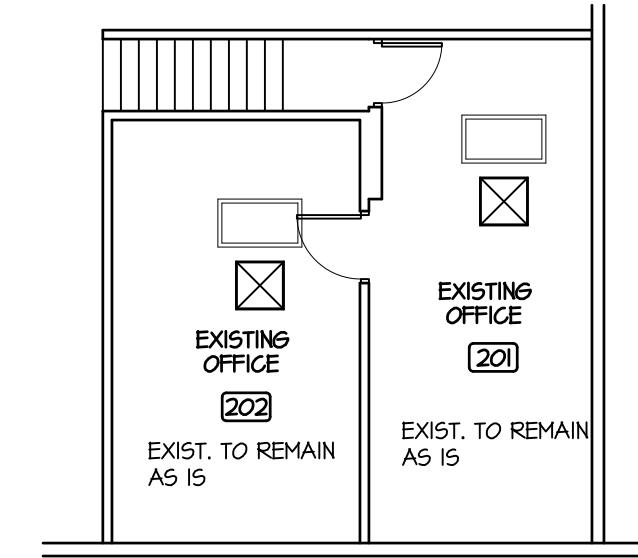
1/8" = 1'-0"

DATE REVISION

MAR 2012



PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"
 NOTE: REFER TO ELECTRICAL DRAWINGS FOR FIXTURE LAYOUT



EXISTING MEZANINE PLAN
 SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN NOTES

1. GENERAL CONTRACTOR TO VERIFY THE LOCATION OF EXISTING TRUSSES AND DETERMINE IF THERE IS A CONFLICT WITH THE PROPOSED T-BAR CEILING LAYOUT. NOTIFY ARCHITECT OF CONFLICT & COORDINATE REQUIRED ADJUSTMENTS.
2. PROVIDE ADEQUATE CLEARANCES FOR FIXTURES, DUCTS AND CEILING ITEMS NECESSARY TO MAINTAIN THE SPECIFIED HEIGHT ABOVE FINISHED FLOOR.
3. SEE ELECTRICAL DRAWINGS FOR FIXTURE MODEL NUMBER & QUANTITIES AND FOR LOCATION OF REQUIRED NEW AND/OR RELOCATED LIFE SAFETY DEVICES.
4. ADDITIONAL HANGAR AND SAFETY WIRES FOR LIGHT FIXTURES AND AIR SUPPLY/RETURN DIFFUSERS (AS REQUIRED BY LOCAL CODES) TO BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR.
5. SEE MECHANICAL DRAWINGS FOR ADJUSTED OR NEW DIFFUSER LOCATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR SEISMIC BRACINGS & ENGINEERING FOR T-BAR, BULKHEADS, LUMINARIES & MECHANICAL EQUIPMENT TO MEET LOCAL AUTHORITIES REQUIREMENTS.

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DEC. 17/12	ISSUED FOR BUILDING PERMIT	
JULY 16/12	ISSUED FOR P.P.A	

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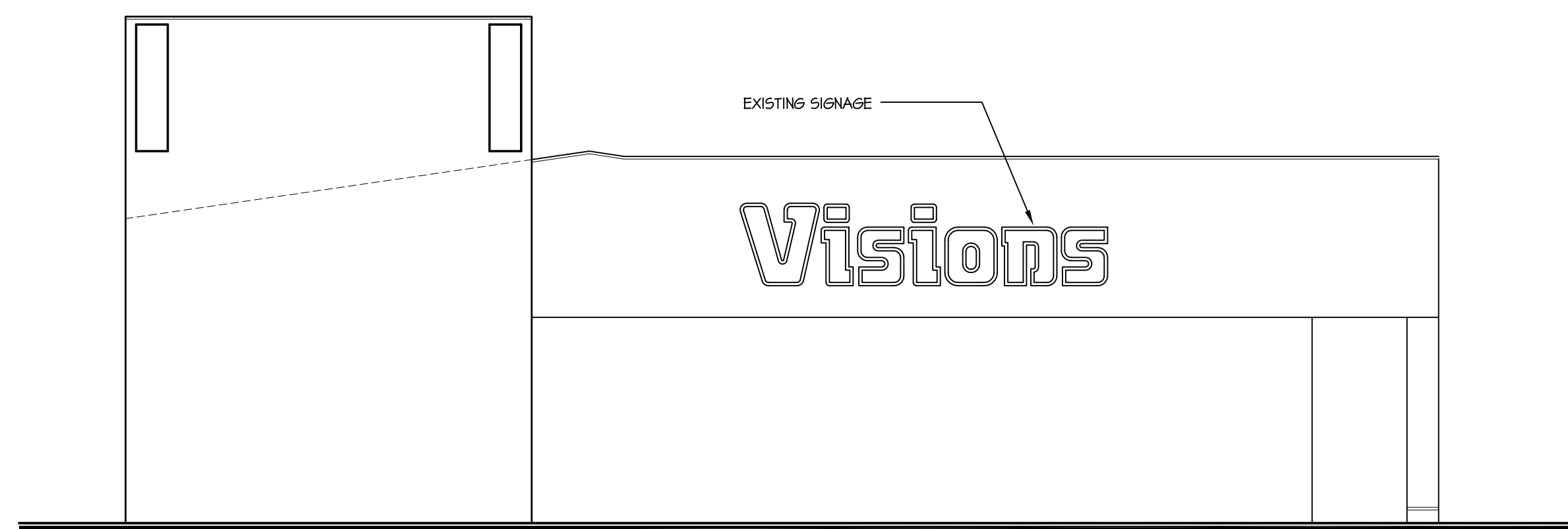
EXISTING BUILDING ALTERATION FOR VISIONS

5756 IMPERIAL STREET
 BURNABY, BC

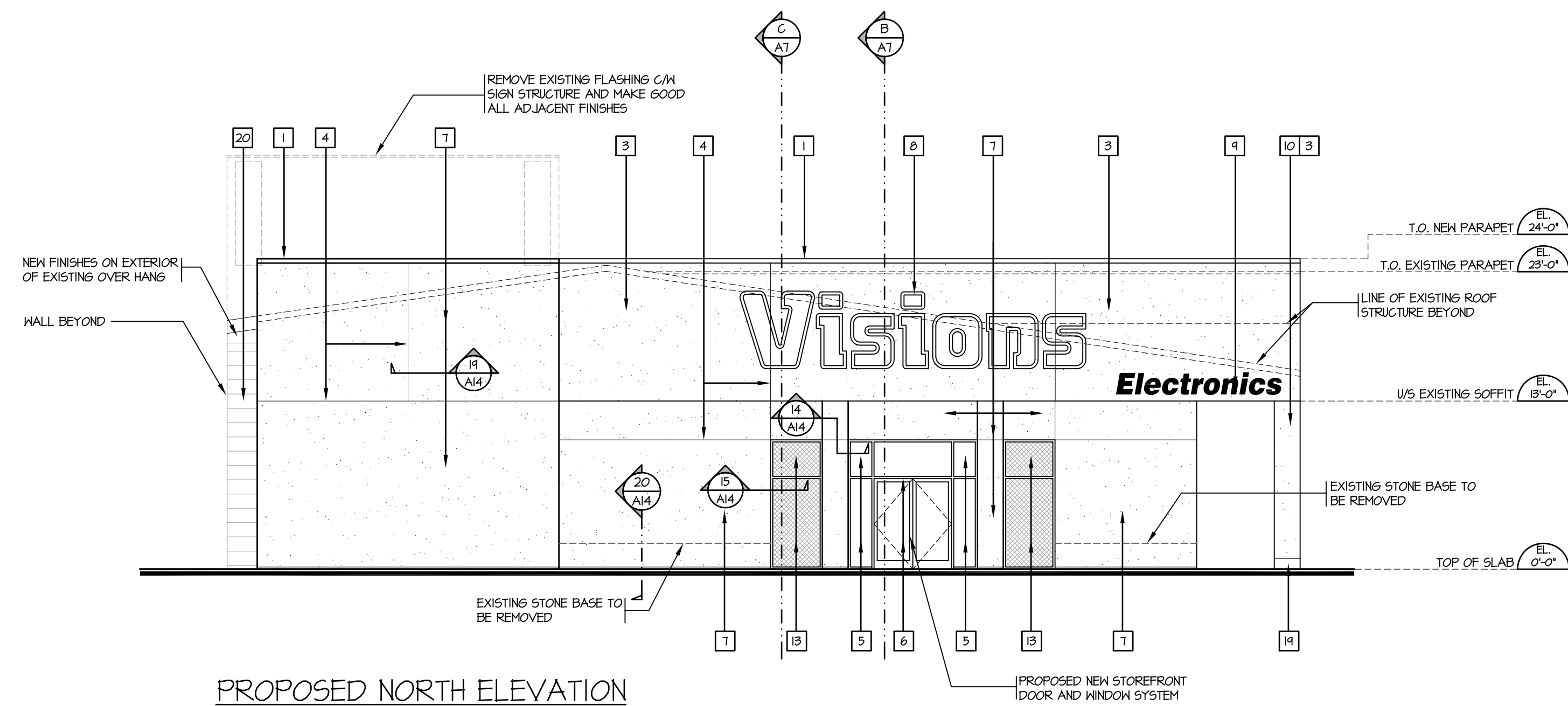
DRAWING

PROPOSED MAIN FLOOR REFLECTED CEILING PLAN

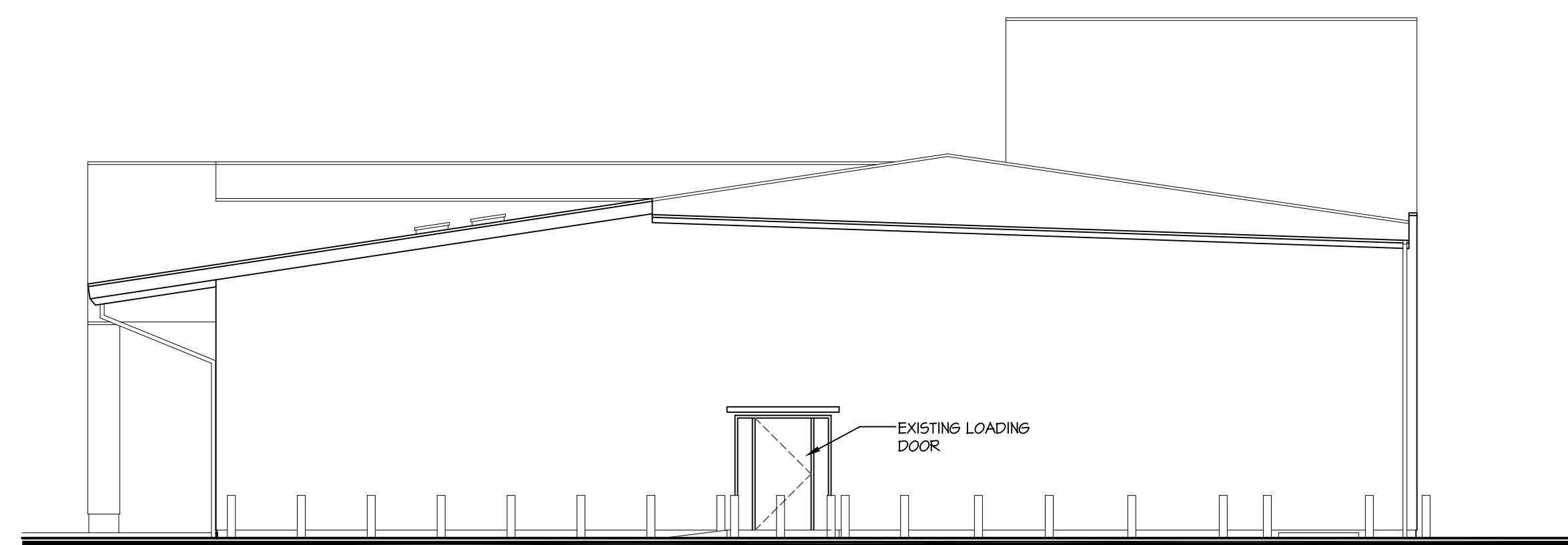
PROJECT NUMBER	DRAWING NUMBER
12-18	A3
SCALE	
1/8" = 1'-0"	
DATE	REVISION
SEPTEMBER 2012	



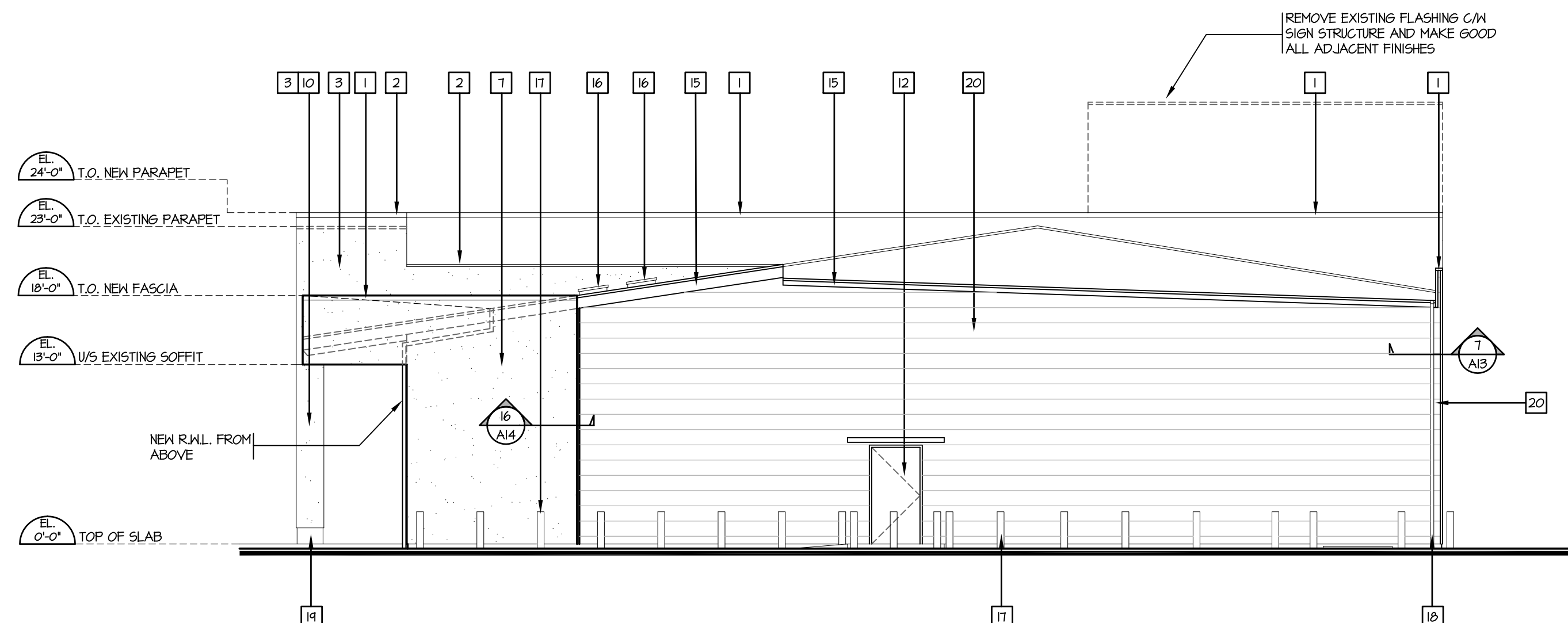
EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES		* ALL MATERIAL FLASHING TO BE 24 GA.
- COLOURS TO BE CONFIRMED PRIOR TO PAINTING		
NO.	MATERIAL	COLOUR
1	* NEW PREFINISHED METAL CAP FLASHING	RED CORAL (TO MATCH BM: R-9909)
2	EXISTING METAL FLASHING	PAINTED TO MATCH RED CORAL (TO MATCH BM: R-9909)
3	NEW STUCCO FINISH	JET BLUE (BM: CC-810)
4	NEW STUCCO REVEAL/ EXPANSION JOINT	TO MATCH ADJACENT COLOUR
5	NEW STOREFRONT WINDOW & FRAME	CLEAR ANODIZED ALUMINUM
6	NEW STOREFRONT DOOR & FRAME	CLEAR ANODIZED ALUMINUM
7	NEW STUCCO FINISH	PAINTED TO MATCH LATE WHEAT (BM: CC-240)
8	EXISTING * VISION SIGNAGE	TO REMAIN
9	NEW * ELECTRONIC SIGNAGE	BY SIGN SUPPLIER
10	EXISTING COLUMNS	JET BLUE (BM: CC-810)
11	EXISTING OVERHAED DOOR	PAINTED TO MATCH RED CORAL (TO MATCH BM: R-9909)
12	EXISTING METAL DOOR	PAINTED TO MATCH RED CORAL (TO MATCH BM: R-9909)
13	SPANDREL GLAZING	SEE NOTE:
14	EXISTING SLOPE ROOF	TO REMAIN
15	EXISTING ROOF FASCIA	TO MATCH ADJACENT COLOUR
16	EXISTING SKYLIGHT	TO REMAIN
17	EXISTING BOLLARDS	SAFETY YELLOW
18	EXISTING RAIL	TO REMAIN
19	EXISTING CONCRETE BASE	TO REMAIN
20	METAL SIDING - VICKRETT CL435	
21	NEW * VISION SIGNAGE	BY OWNER
22	EXISTING STUCCO FINISH	PAINTED TO MATCH LATE WHEAT (BM: CC-240)

* NOTE:1
20 METAL CLADDING:
VICKRETT CL435
PREFINISHED
ALTERNATIVE PRODUCTS WILL NOT BE ACCEPTED

1 METAL CAP FLASHING:
24 GAUGE
ALL JOINTS ARE TO BE 5-JOINTS, NO EXPOSED FASTENERS
PREFINISHED RED CORAL (TO MATCH BM: R-9909 OR TO MATCH METAL PANEL AS PER ELEVATIONS

SPANDREL PANEL GLAZING:
EXTERIOR LITE 6mm TEMPERED GLASS
1/2" AIRSPACE
INTERIOR LITE TO BE 6mm TEMPERED PPG SOLARCOOL
WITH SILVER REFLECTIVE COATING ON #3 SURFACE
BLACK SCRIM COAT TO NO. 4 SURFACE

NOTE:
Signs will vary to suit tenant's requirements
and to comply with Sign by-law.
Separate permits are required.

DATE	ISSUE	REV
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JAN. 11/13	ISSUED FOR TENDER	
DEC. 17/12	ISSUED FOR BUILDING PERMIT	
JULY 16/12	ISSUED FOR P.P.A	

CONSULTANT

CONSULTANT SEAL

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ARCHITECT



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PROJECT

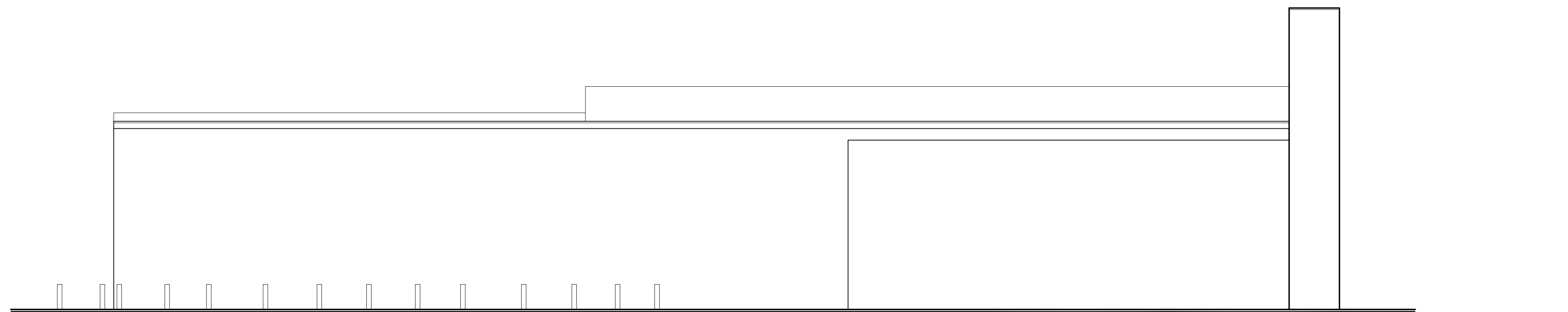
EXISTING BUILDING
ALTERATION FOR VISIONS

5756 IMPERIAL STREET
BURNABY, BC

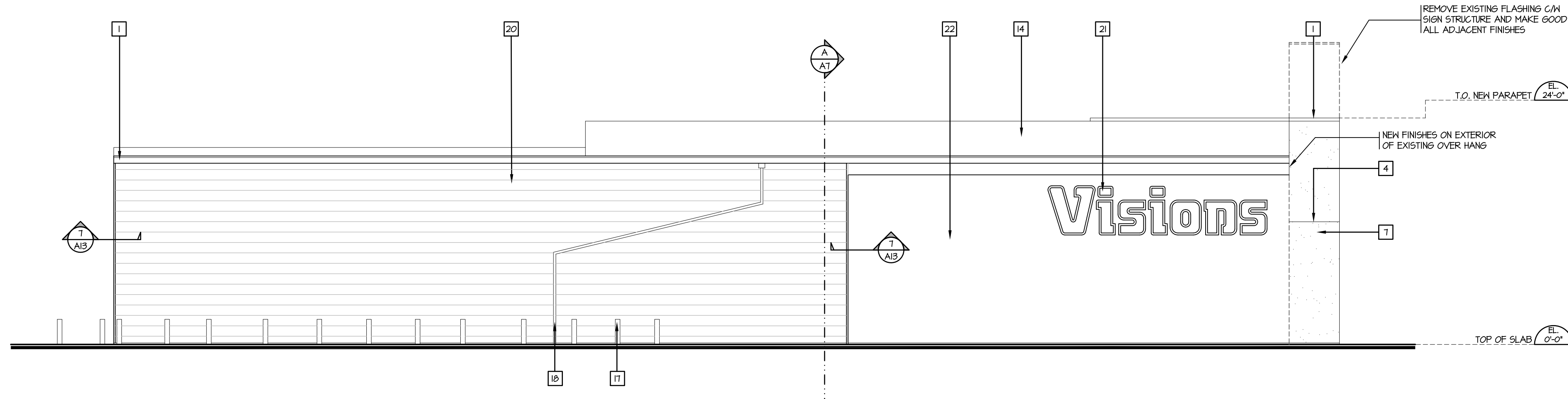
DRAWING EXISTING / PROPOSED
NORTH & SOUTH
BUILDING ELEVATION

PROJECT NUMBER DRAWING NUMBER
12-18 A5

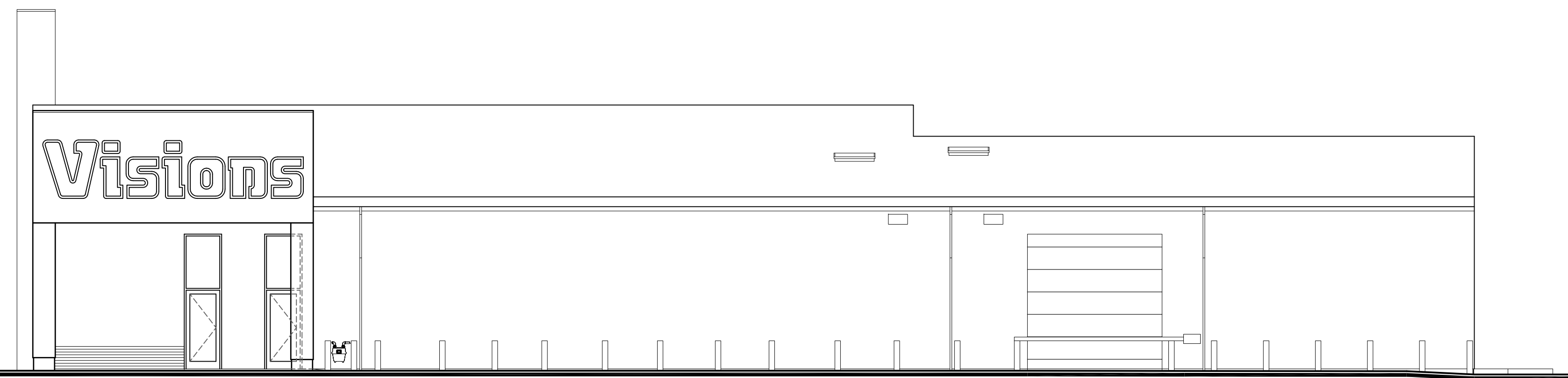
SCALE 1/8" = 1'-0"
DATE MAR 2012 REVISION



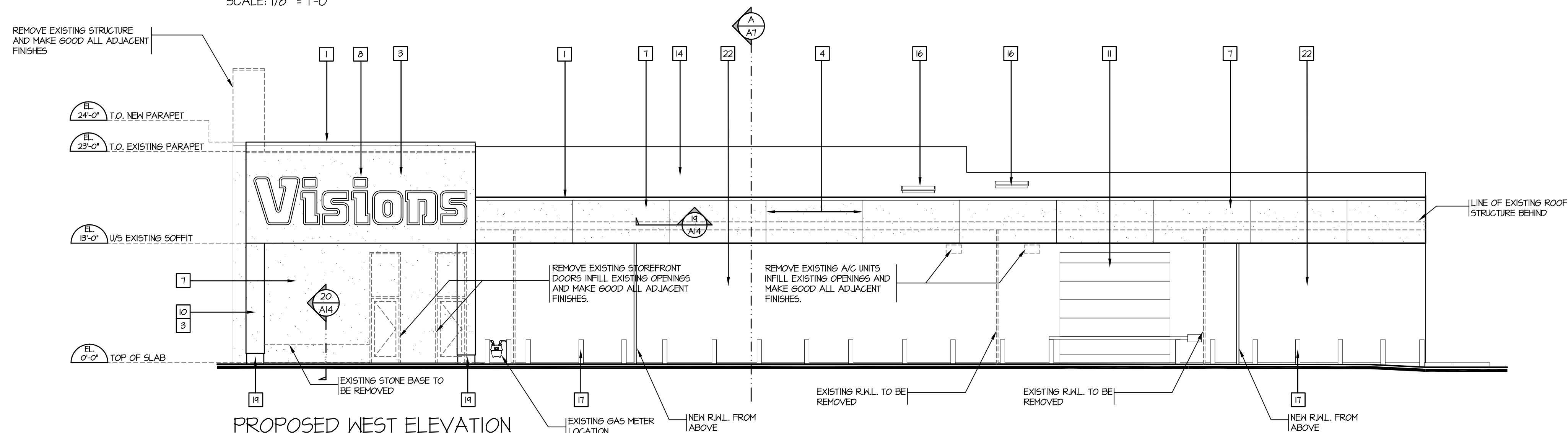
EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES		* ALL MATERIAL FLASHING TO BE 24 GA.
- COLOURS TO BE CONFIRMED PRIOR TO PAINTING		
NO.	MATERIAL	COLOUR
1	* NEW PREFINISHED METAL GAP FLASHING	RED CORAL (TO MATCH BM: R-9904)
2	EXISTING METAL FLASHING	PAINTED TO MATCH RED CORAL (TO MATCH BM: R-9904)
3	NEW STUCCO FINISH	JET BLUE (BM: CC-810)
4	NEW STUCCO REVEAL/ EXPANSION JOINT	TO MATCH ADJACENT COLOUR
5	NEW STOREFRONT WINDOW & FRAME	CLEAR ANODIZED ALUMINUM
6	NEW STOREFRONT DOOR & FRAME	CLEAR ANODIZED ALUMINUM
7	NEW STUCCO FINISH	PAINTED TO MATCH LATE WHEAT (BM: CC-240)
8	EXISTING * VISION* SIGNAGE	TO REMAIN
9	NEW * ELECTRONIC SIGNAGE	BY SIGN SUPPLIER
10	EXISTING COLUMNING	JET BLUE (BM: CC-810)
11	EXISTING OVERHEAD DOOR	PAINTED TO MATCH RED CORAL (TO MATCH BM: R-9904)
12	EXISTING METAL DOOR	PAINTED TO MATCH RED CORAL (TO MATCH BM: R-9904)
13	SPANDREL GLAZING	SEE NOTE.
14	EXISTING SLOPE ROOF	TO REMAIN
15	EXISTING ROOF FASCIA	TO MATCH ADJACENT COLOUR
16	EXISTING SKYLIGHT	TO REMAIN
17	EXISTING BOLLARDS	SAFETY YELLOW
18	EXISTING R.K.L.	TO REMAIN
19	EXISTING CONCRETE BASE	TO REMAIN
20	METAL SIDING - VICHEST GLASS	
21	NEW * VISION* SIGNAGE	BY OWNER
22	EXISTING STUCCO FINISH	PAINTED TO MATCH LATE WHEAT (BM: CC-240)

DATE	ISSUE	REV
APR. 2/13	ISSUED FOR CONSTRUCTION	
JAN. 11/13	ISSUED FOR TENDER	
DEC. 17/12	ISSUED FOR BUILDING PERMIT	
JULY 16/12	ISSUED FOR P.P.A.	

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* NOTE:1
20 METAL CLADDING:
VICHEST GLASS
PREFINISHED
ALTERNATIVE PRODUCTS WILL NOT BE ACCEPTED

1 METAL GAP FLASHING:
24 GAUGE
ALL JOINTS ARE TO BE S-JOINTS, NO EXPOSED FASTENERS
PREFINISHED RED CORAL (TO MATCH BM: R-9904 OR TO MATCH METAL PANEL AS PER ELEVATIONS)

SPANDREL PANEL GLAZING:
EXTERIOR LITE 6mm TEMPERED GLASS
1/2" AIRSPACE
INTERIOR LITE TO BE 6mm TEMPERED PPG SOLARCOOL WITH SILVER REFLECTIVE COATING ON #3 SURFACE
BLACK SCRIM COAT TO NO. 4 SURFACE

NOTE:
Signs will vary to suit tenant's requirement's and to comply with Sign by-law.
Separate permits are required.

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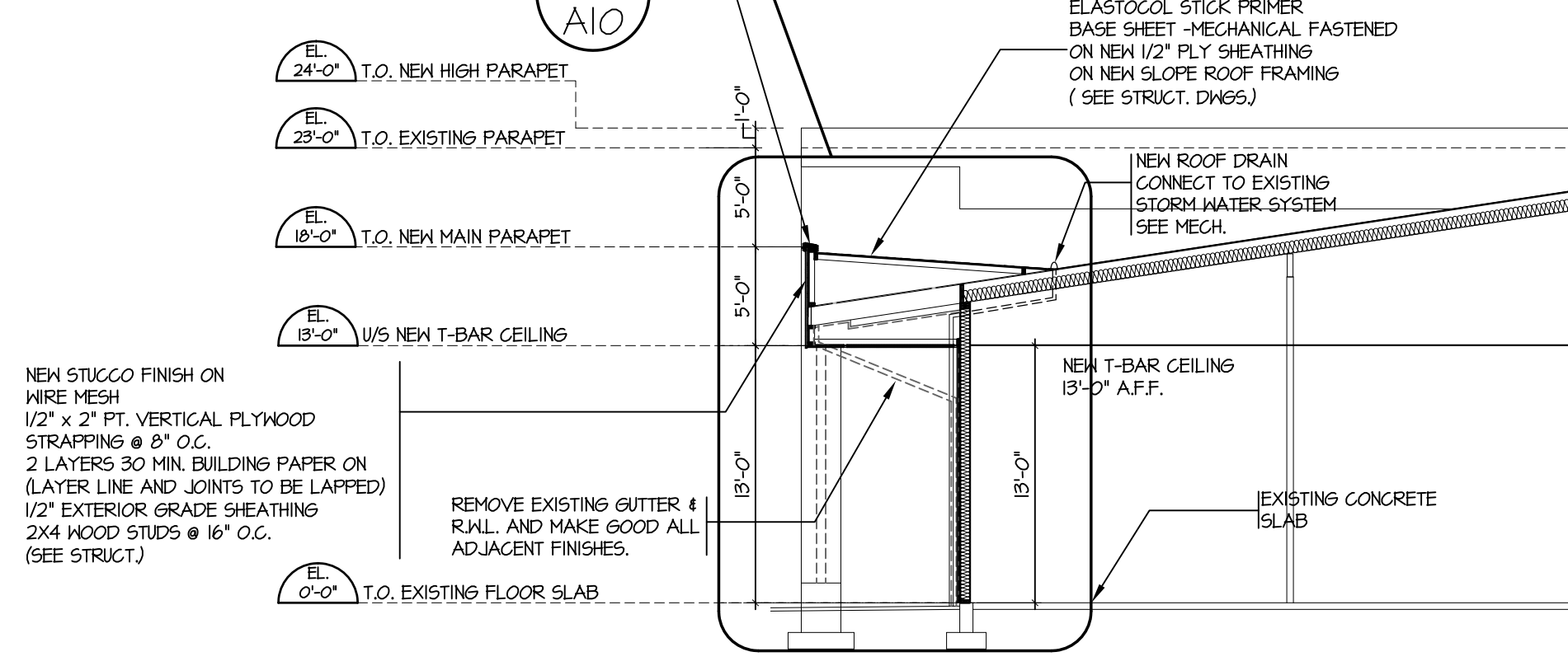
EXISTING BUILDING
ALTERATION FOR VISIONS

5756 IMPERIAL STREET
BURNABY, BC

BUILDING ELEVATION

PROJECT NUMBER 12-18 DRAWING NUMBER A6
SCALE 1/8" = 1'-0"
DATE MAR 2012 REVISION

TYPICAL PARAPET CAP
 PROTECT TOP OF ROOF PARAPET WITH
 24 GA. PREFINISHED METAL FLASHING C/M
 DRIP & HOLD DOWN GALV. METAL CLIPS OVER
 (5-JOINTS & NO EXPOSED FASTENERS)
 ON ROOF MEMBRANE (CONTINUE TO FRONT OF
 PARAPET FRAMING)
 ON SLOPE 1/2" PLY SHEATHING
 ON 2X4 WOOD FRAMING (SEE STRUCT.)



SECTION A-A
 SCALE: 1/8" = 1'-0"

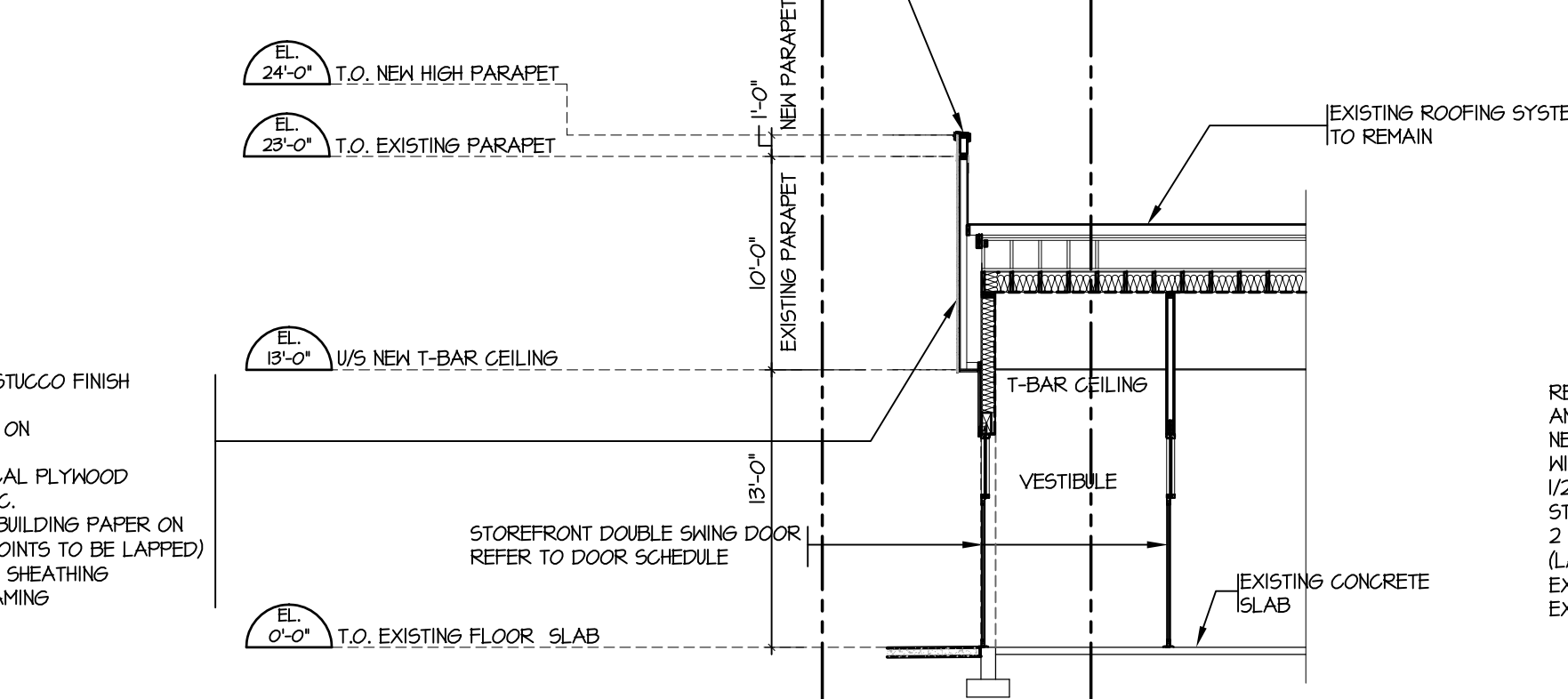
REMOVE EXISTING STRUCTURE
 AND MAKE GOOD ALL ADJACENT
 FINISHES

REMOVE EXISTING GRAVEL BALLAST ROOFING SYSTEM
 AND PROVIDE NEW 2 PLY TORCH ON SBS MEMBRANE -
 FULLY ADHERED
 ELASTOCOL STICK PRIMER
 BASE SHEET -MECHANICAL FASTENED
 ON NEW 1/2" PLY SHEATHING
 (SEE STRUCT. DWGS.)

REMOVE EXISTING GRAVEL BALLAST ROOFING SYSTEM
 AND PROVIDE NEW 2 PLY TORCH ON SBS MEMBRANE -
 FULLY ADHERED
 ELASTOCOL STICK PRIMER
 BASE SHEET -MECHANICAL FASTENED
 ON EXISTING ROOF DECK.
 (REPLACE AND REPAIR ANY DAMAGED EXISTING
 PLYWOOD OR DECKING AS REQUIRED)

NEW VIGNEST CLADDING ON EXISTING EXTERIOR FRAME WALL
 MAINTAIN EXISTING 2 HR. FIRE RESISTANT RATING
 REMOVE EXISTING STUCCO FINISH AND REPLACE WITH
 VIGNEST CLADDING 22 GA.(PROFILE -CL 435PAINTED
 (INSTALLED PER MANUFACTURER'S SPECS)
 1/2" x 2" PT. VERTICAL PLYWOOD
 STRAPPING @ 8" O.C. MAX.
 2 LAYERS 30 MIN. BUILDING PAPER ON
 (LAYER LINE AND JOINTS TO BE LAPPED)
 ON EXISTING EXTERIOR WALL SYSTEM

TYPICAL PARAPET CAP
 PROTECT TOP OF ROOF PARAPET WITH
 24 GA. PREFINISHED METAL FLASHING C/M
 DRIP & HOLD DOWN GALV. METAL CLIPS OVER
 (5-JOINTS & NO EXPOSED FASTENERS)
 ON ROOF MEMBRANE (CONTINUE TO FRONT OF
 PARAPET FRAMING)
 ON SLOPE 1/2" PLY SHEATHING
 ON 2X4 WOOD FRAMING (SEE STRUCT.)
 ON EXISTING ROOF PARAPET FRAMING

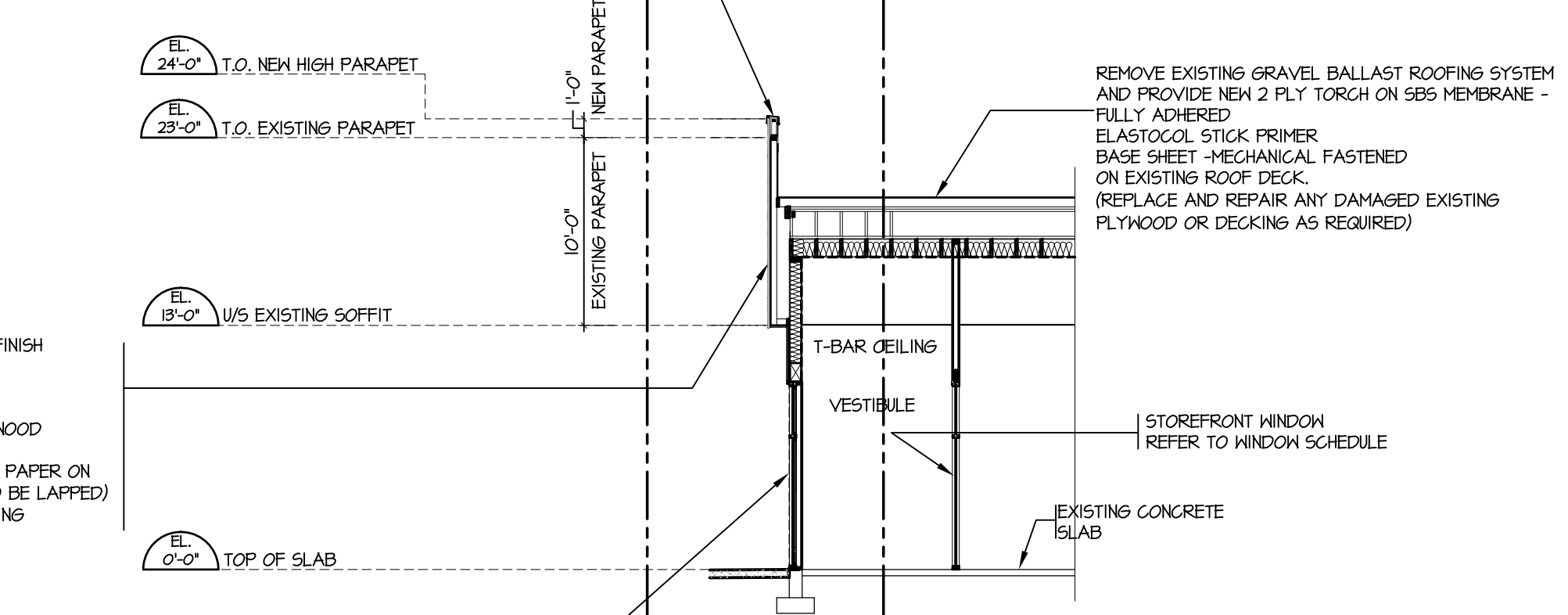


SECTION B-B
 SCALE: 1/8" = 1'-0"

REMOVE EXISTING STUCCO FINISH
 AND REPLACE WITH
 NEW STUCCO FINISH ON
 WIRE MESH
 1/2" x 2" PT. VERTICAL PLYWOOD
 STRAPPING @ 8" O.C.
 2 LAYERS 30 MIN. BUILDING PAPER ON
 (LAYER LINE AND JOINTS TO BE LAPPED)
 EXISTING EXTERIOR SHEATHING
 EXISTING WALL FRAMING

SPANCREL GLASS PANEL
 -EXTERIOR LITE TO BE CLEAR TEMPERED
 -1/2" AIRSPACE
 -INTERIOR LITE TO BE 6mm TEMPERED TFS SOLARCOOL
 WITH SILVER REFLECTIVE COATING TO NO.3 SURFACE
 -BLACK SCRIM COAT TO NO. 4 SURFACE
 -INFILL WITH 2X2 BLOCKING C/M 2" RIGID INSULATION
 -6mil POLY VAPOUR BARRIER ON
 -1/2" GYB. (PTD.)

TYPICAL PARAPET CAP
 PROTECT TOP OF ROOF PARAPET WITH
 24 GA. PREFINISHED METAL FLASHING C/M
 DRIP & HOLD DOWN GALV. METAL CLIPS OVER
 (5-JOINTS & NO EXPOSED FASTENERS)
 ON ROOF MEMBRANE (CONTINUE TO FRONT OF
 PARAPET FRAMING)
 ON SLOPE 1/2" PLY SHEATHING
 ON 2X4 WOOD FRAMING (SEE STRUCT.)



SECTION C-C
 SCALE: 1/8" = 1'-0"

REMOVE EXISTING GRAVEL BALLAST ROOFING SYSTEM
 AND PROVIDE NEW 2 PLY TORCH ON SBS MEMBRANE -
 FULLY ADHERED
 ELASTOCOL STICK PRIMER
 BASE SHEET -MECHANICAL FASTENED
 ON EXISTING ROOF DECK.
 (REPLACE AND REPAIR ANY DAMAGED EXISTING
 PLYWOOD OR DECKING AS REQUIRED)

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PROJECT
**EXISTING BUILDING
 ALTERATION FOR VISIONS**

5756 IMPERIAL STREET
 BURNABY, BC

DRAWING
 BUILDING SECTION

PROJECT NUMBER	DRAWING NUMBER
12-18	A7
SCALE 1/8" = 1'-0"	
DATE MAR 2012	REVISION

ROOM FINISH SCHEDULE

ROOM		FLOOR	BASE	WALLS	CEILINGS			REMARKS * REFER TO PLANS FOR BULKHEAD LOCATION & HEIGHTS
No.	NAME			FIN.	TYPE	FIN.	HT	
101	VESTIBULE	F 3, F5		WI	PT1	C1	13'-0"	-
102	SHOWROOM	F1		WI	PT1	C1	13'-0"	
103	OFFICE	F2		WI	PT1	C1	13'-0"	
104	DATA ROOM	F1		WI	PT5	C1	13'-0"	
105	SERVICE COUNTER	F1		WI	PT2, PT3	C1	13'-0"	
106	NEW CAR AUDIO	F2		WI	PT1	C1	13'-0"	
107	EXISTING WASHROOM			WI	PT5	EXSIT.	EXSIT.	
108	EXISTING WASHROOM			WI	PT5	EXSIT.	EXSIT.	
109	HIGH VALUE			WI, W2	PT5	EXSIT.	EXSIT.	△
110	NEW HOME AUDIO	F2		WI	PT1	C1	13'-0"	
111	EXISTING STAFF ROOM			WI	PT5	EXSIT.	EXSIT.	
112	EXISTING WORKSHOP				DELETED			△
113	EXISTING WAREHOUSE			WI, W2	PT5	EXSIT.	EXSIT.	
114	EXISTING AUTO INSTALLATION AREA			W2	PT5	EXSIT.	EXSIT.	
201	EXISTING OFFICE			WI	PT5	EXSIT.	EXSIT.	
202	EXISTING OFFICE			WI	PT5	EXSIT.	EXSIT.	

NOTES:

COLUMNS TO BE: PT2 (TYP.)
 BULKHEADS TO BE: PT4 (TYP.)
 ALL EXPOSED DECK, DUCTWORK, METAL TO BE: PT2 (TYP.)

MATERIALS LEGEND

AREA	MK	MATERIAL	TYPE	MANUFACTURER SPECIFICATION
FLOOR	F 1	VINYL PLANKS	D 2412 HICKORY	ARMSTRONG
	F 2	VINYL PLANKS	D 2413 HICKORY	ARMSTRONG
	F 3	VINYL	TERRA TURF	JOHNSONITE
	F 4			
	F 5	VINYL	CASCADE CERAMICS	TEXAS - CAPRO CK
BASE	B 1	WOOD	4" BASEBOARD	-
	B 2	TILE	CUT-TILE BASE	TO MATCH FLOOR TILE
	B 3	VINYL COVE	4" CONTINUOUS COVE, (BLACK)	-
WALLS	W 1	1/2" GYPSUM WALLBOARD	STANDARD WALLBOARD	-
	W 2	5/8" TYPE-X" GYPSUM WALLBOARD	FIRE RATED	-
CEILINGS	C 1	2x 4x 1/2" ACOUSTICAL TILE	SUSPENDED GRID SYSTEM	ARMSTRONG CORTEGA #169
	C 2	NEW GYPSUM BOARD CEILING	PAINTED	
	C 3	NEW 1HR. FIRE RATED TYPE 'X' CEILING	FIRE RATED	
	C 4	EXPOSED BEAMS / EXPOSED FRAMING	PTD.	
	C 5	1/2" GYPSUM WALLBOARD	REGULAR WALLBOARD	
FINISH	PT1	PAINT	10-10 GOLDEN TAN	PRATT & LAMBERT
	PT2	PAINT	10-13 GOLDEN TAN	-
	PT3	PAINT	22-20 GOLDEN TAN	-
	PT4	PAINT	31-1T GOLDEN TAN	-
	PT5	PAINT	10-2 GOLDEN TAN	-

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 PROJECT: EXISTING BUILDING

ALTERATION FOR VISIONS

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 BURNABY, BC

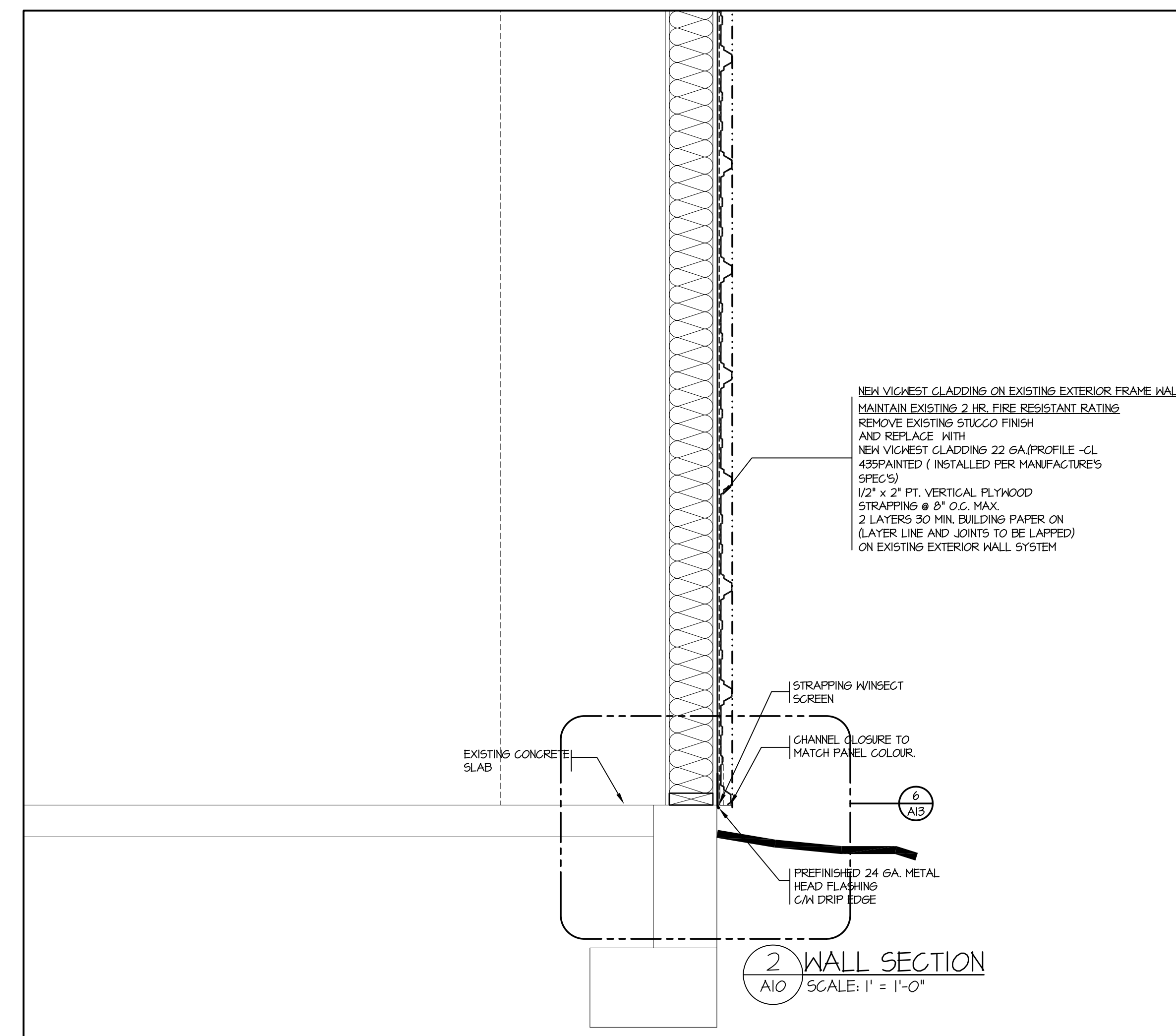
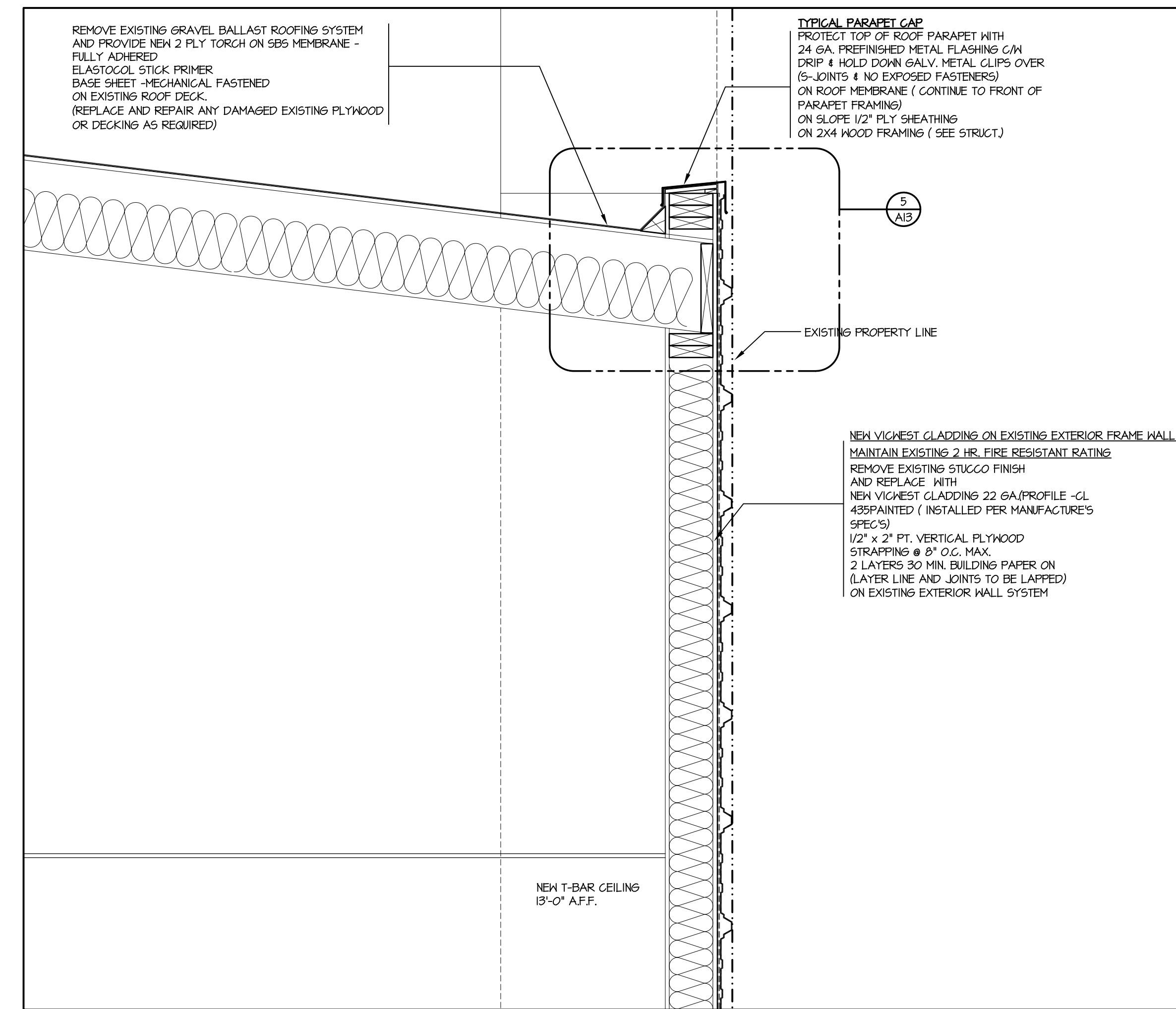
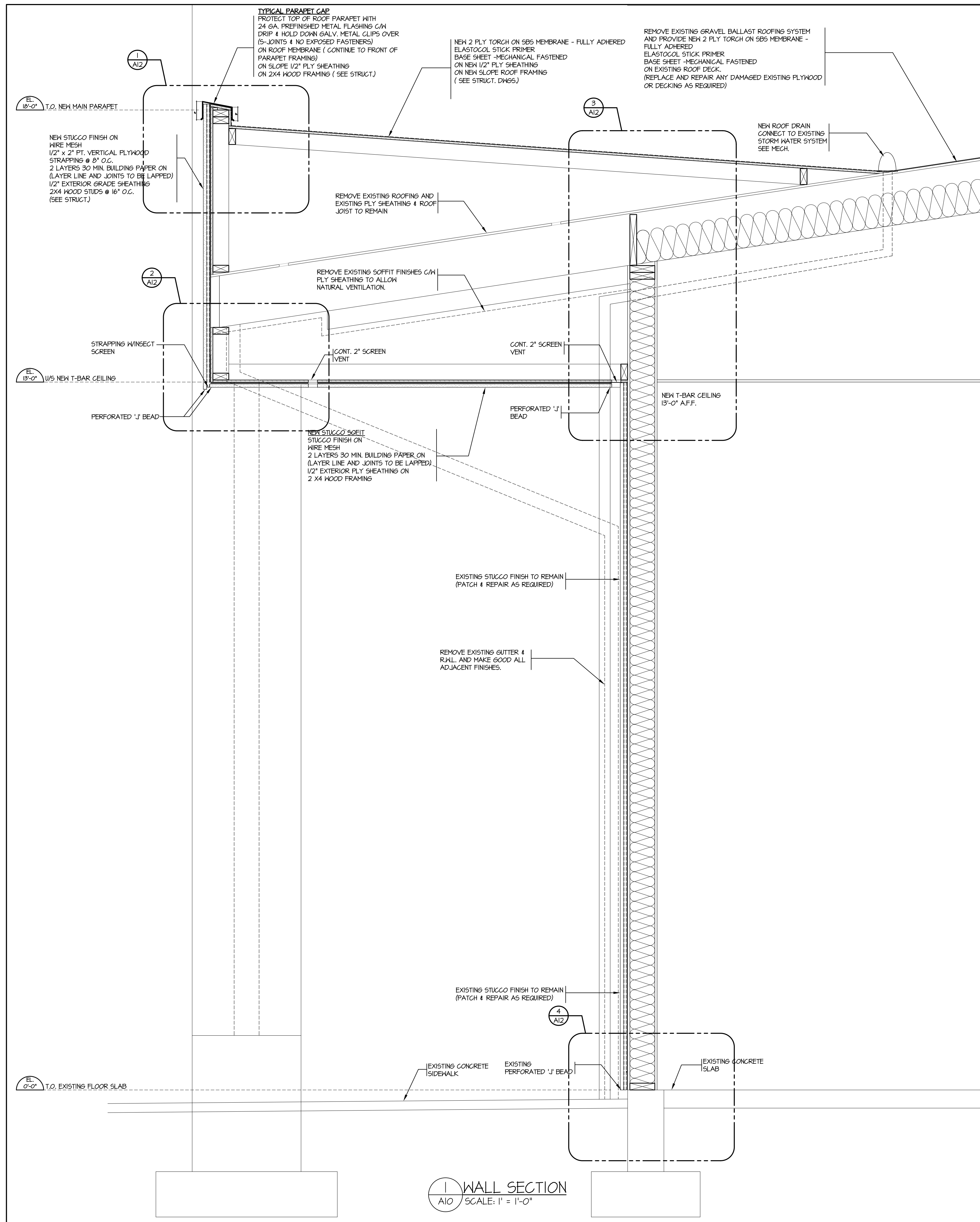
DRAWING

ROOM FINISH
 SCHEDULES

PROJECT NUMBER: 12-18 DRAWING NUMBER: A9

SCALE: 1/2" = 1'-0"

DATE: DEC 2012 REVISION:



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PROJECT
EXISTING BUILDING ALTERATION FOR VISIONS
 5756 IMPERIAL STREET
 BURNABY, BC

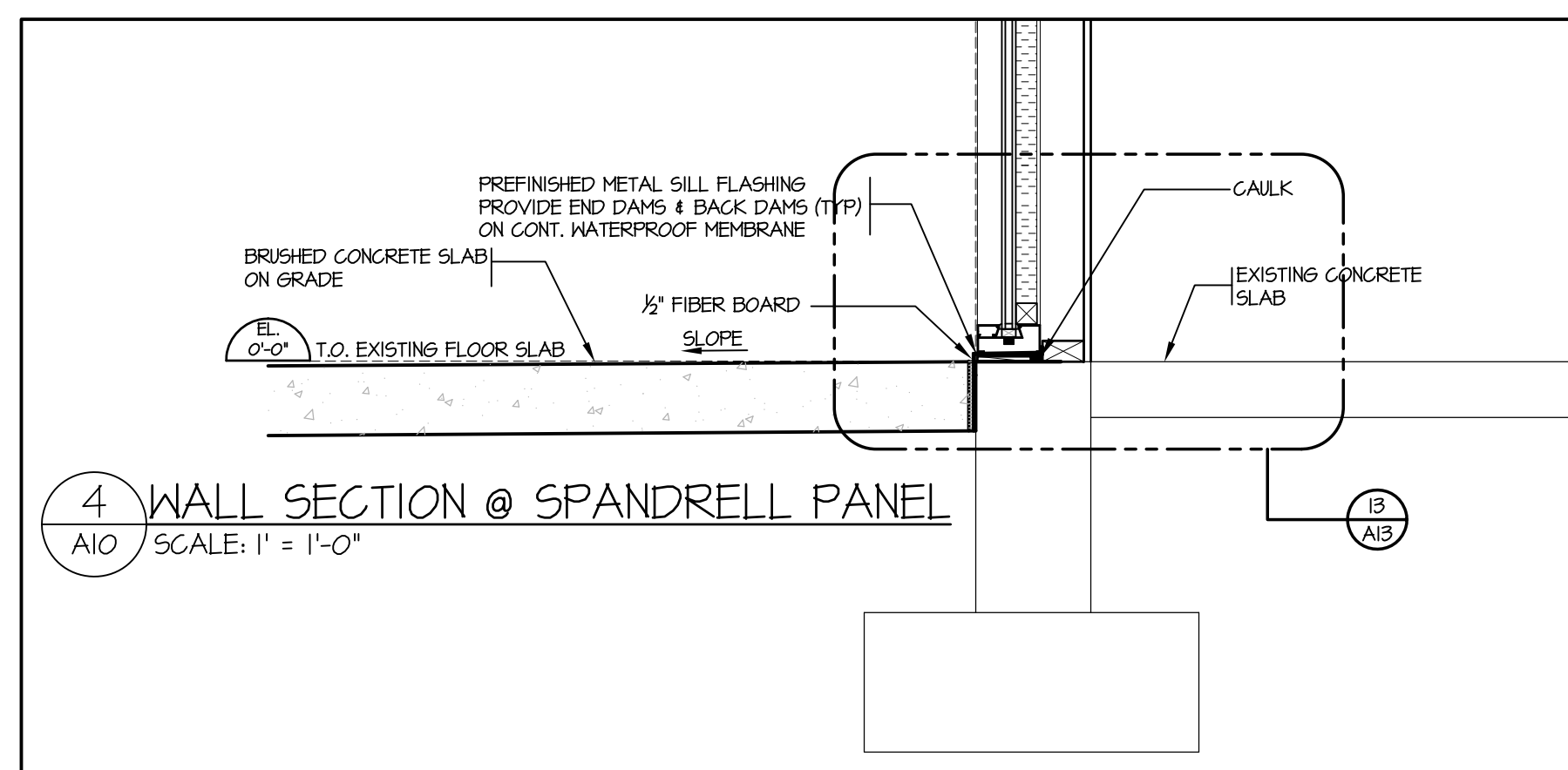
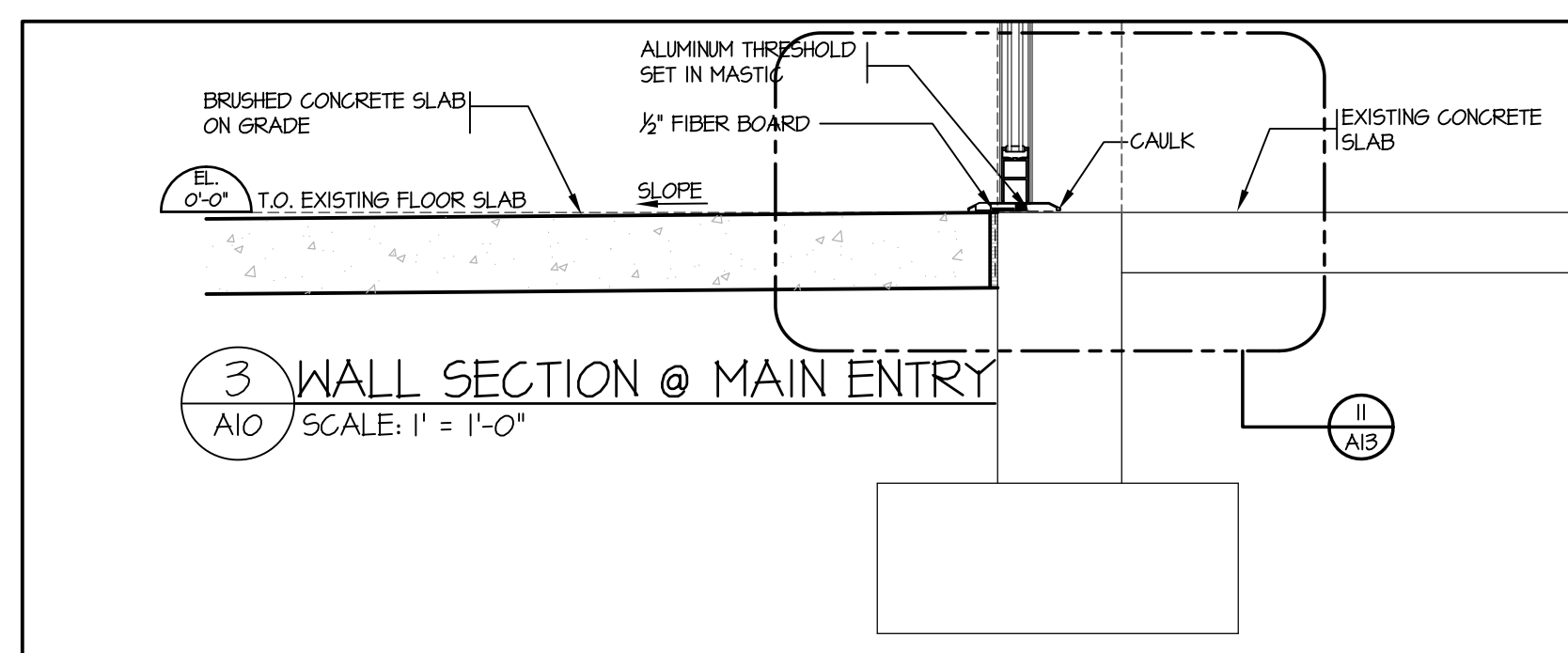
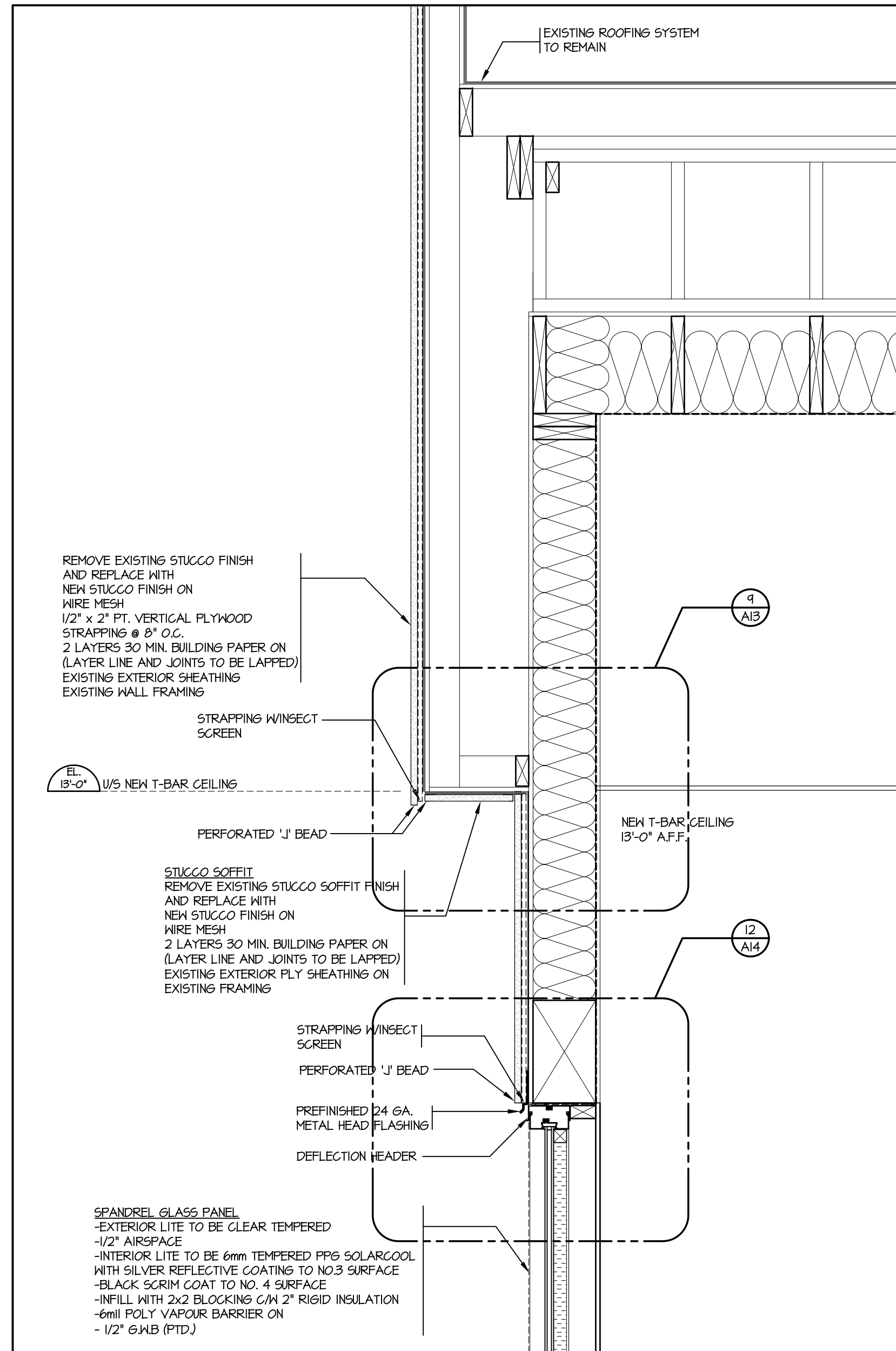
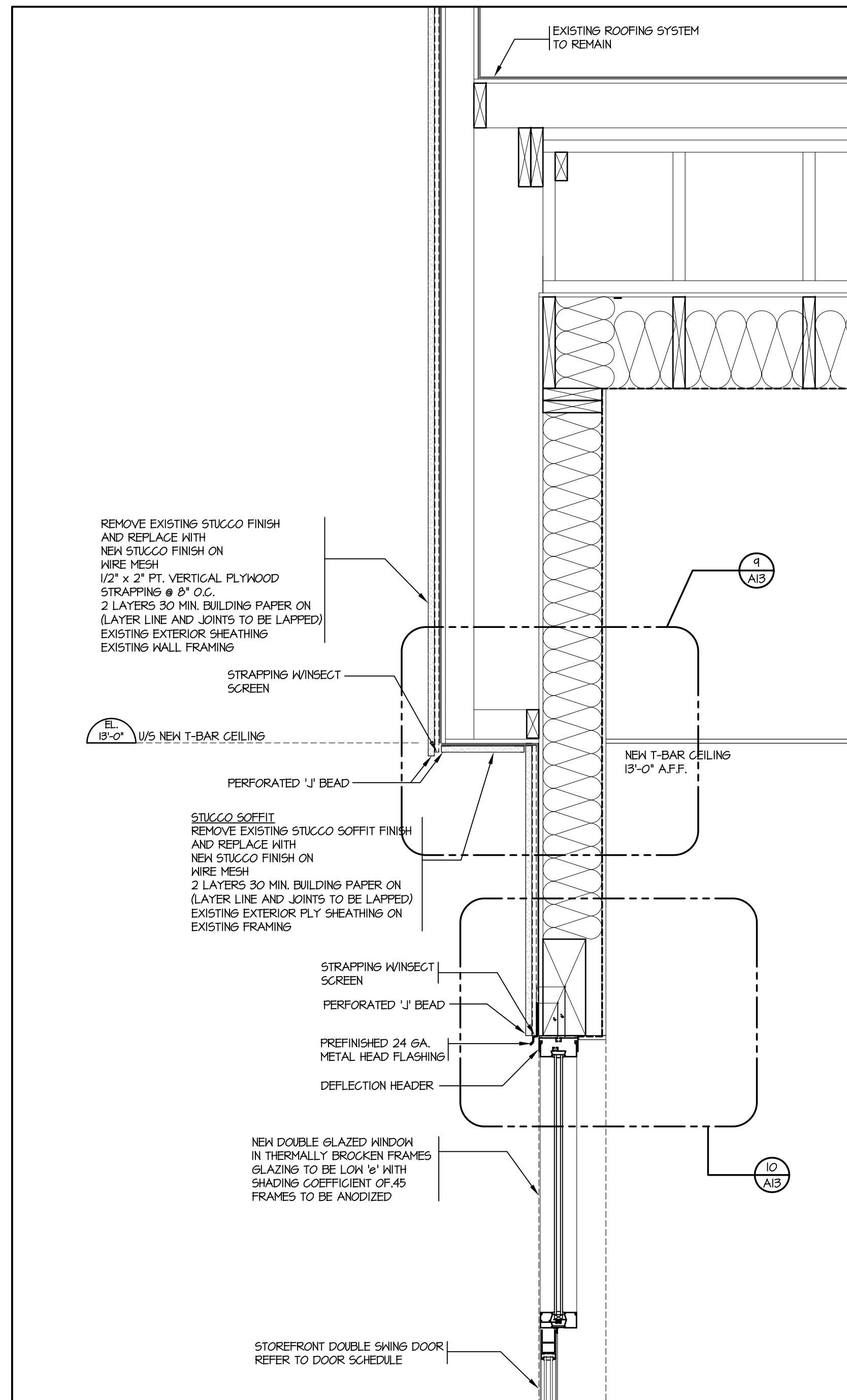
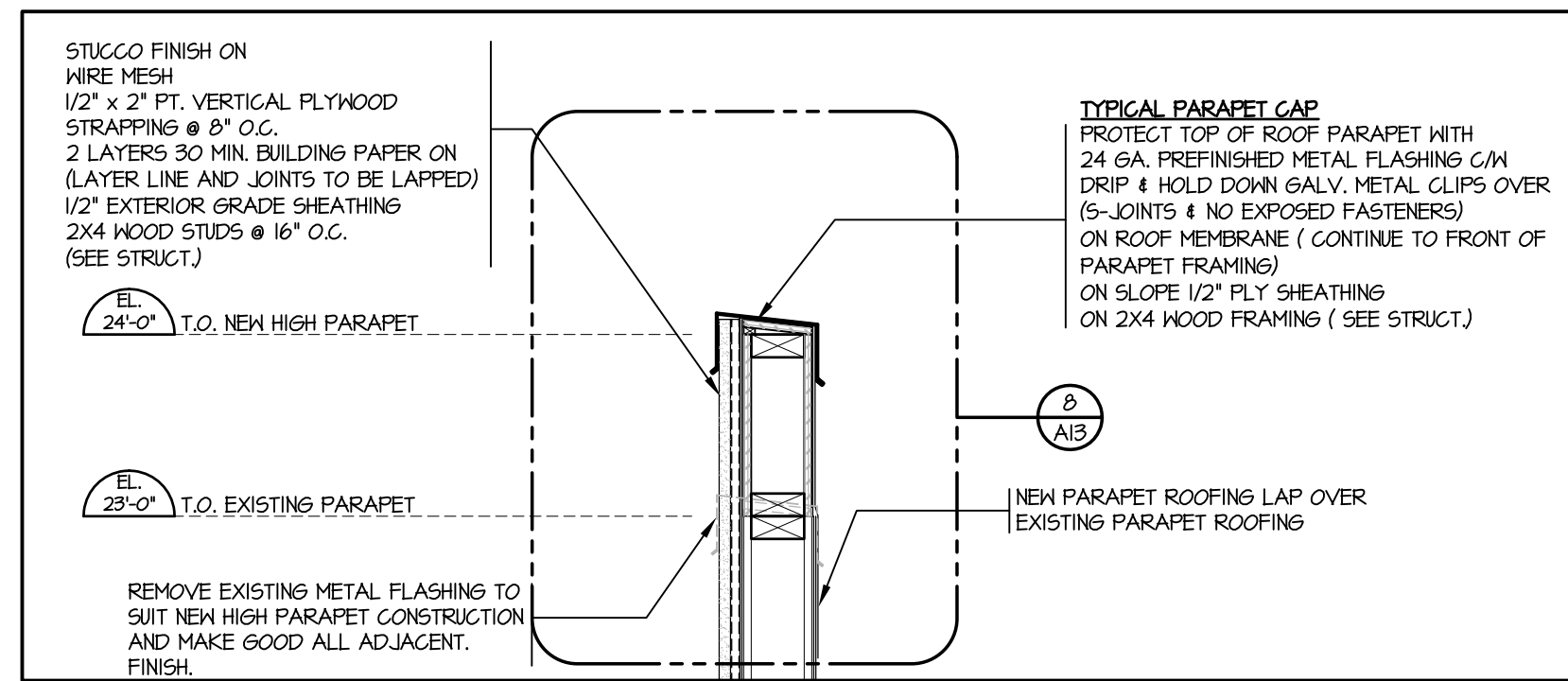
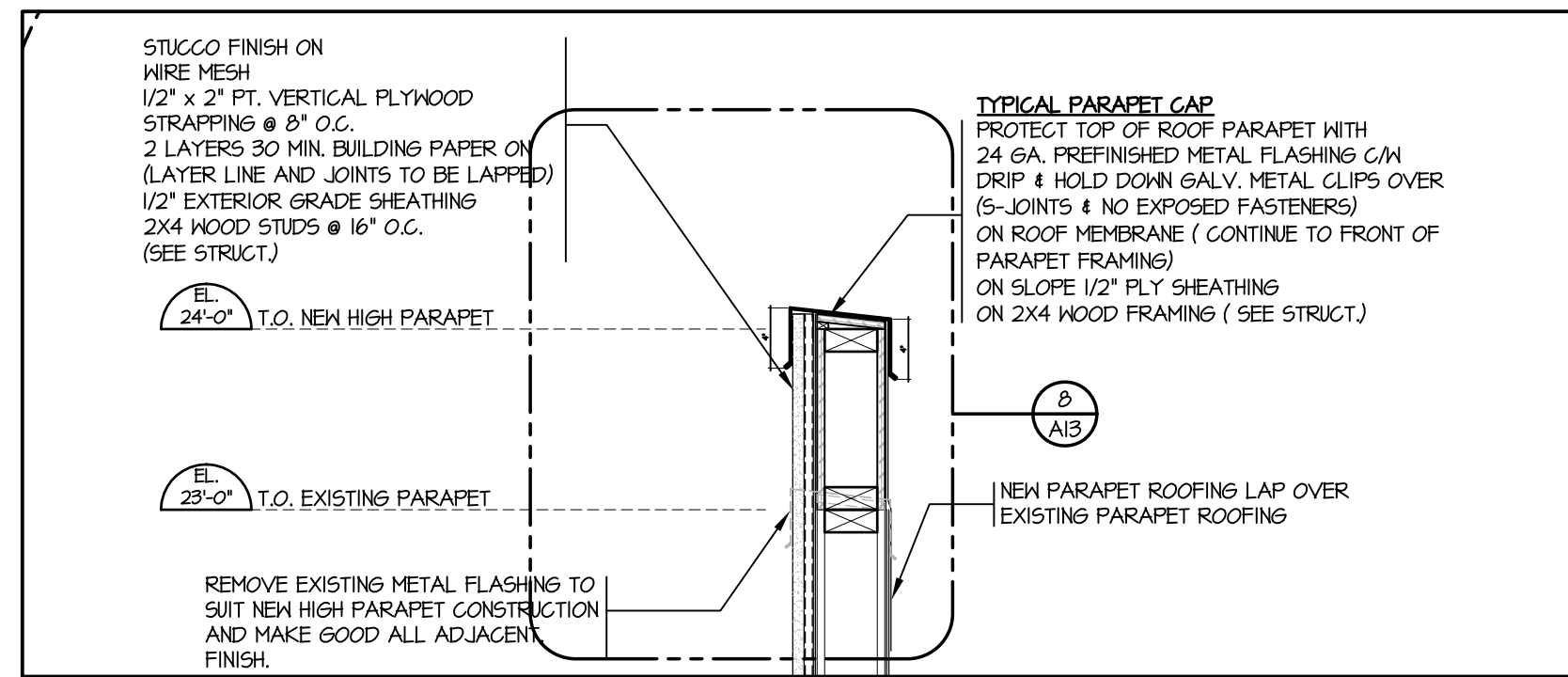
DRAWING
 WALL SECTIONS

PROJECT NUMBER	DRAWING NUMBER
12-18	A10

SCALE
 1" = 1'-0"

DATE
 MAR 2012

REVISION



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EXISTING BUILDING
ALTERATION FOR VISIONS

5756 IMPERIAL STREET
BURNABY, BC

DRAWING

WALL SECTIONS

PROJECT NUMBER DRAWING NUMBER

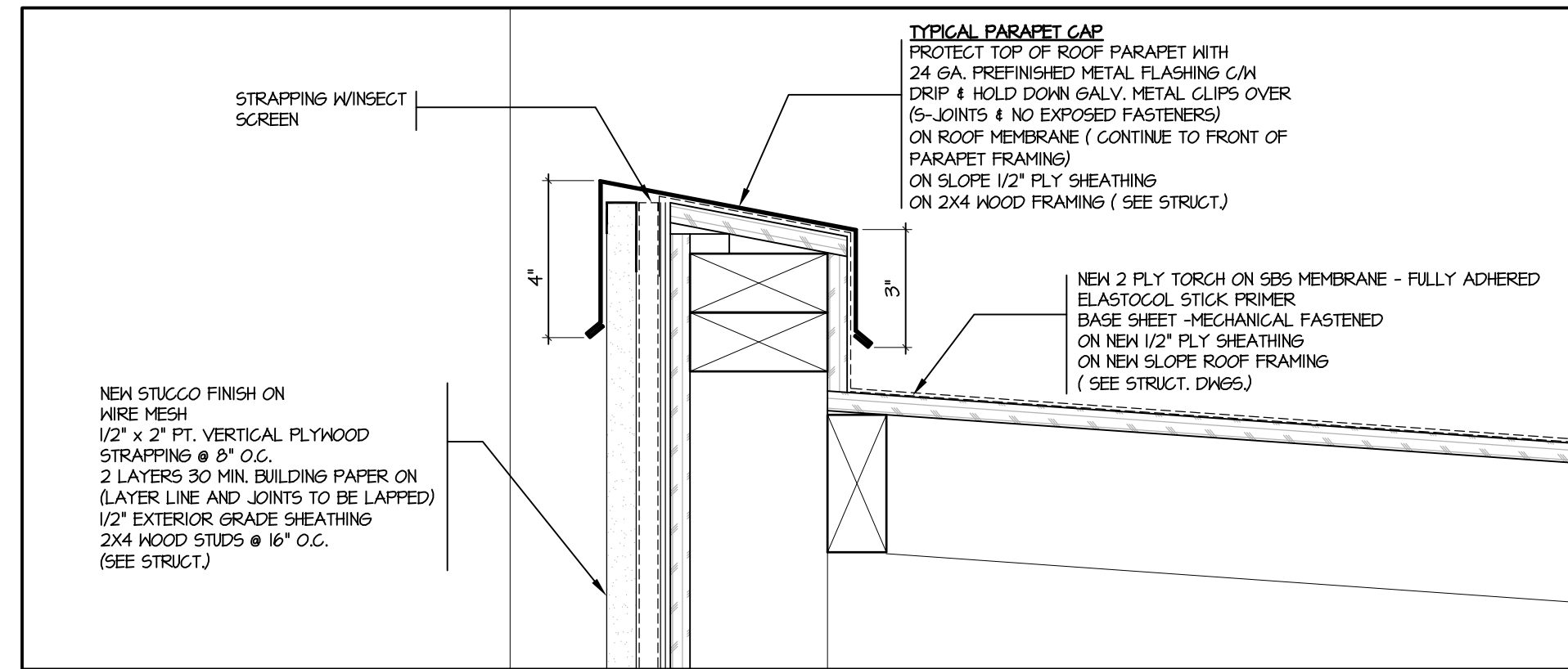
12-18 A11

SCALE

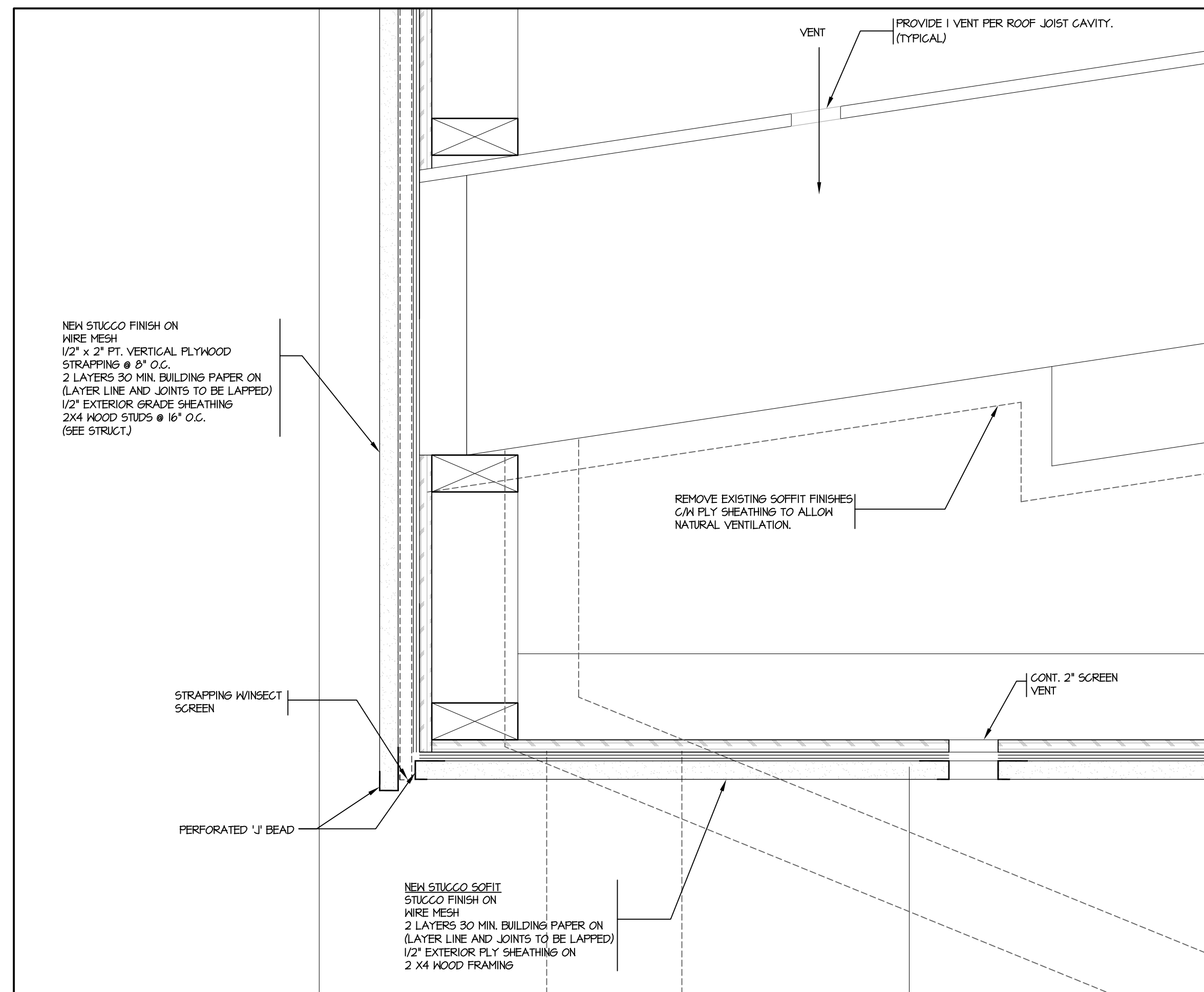
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DATE REVISION

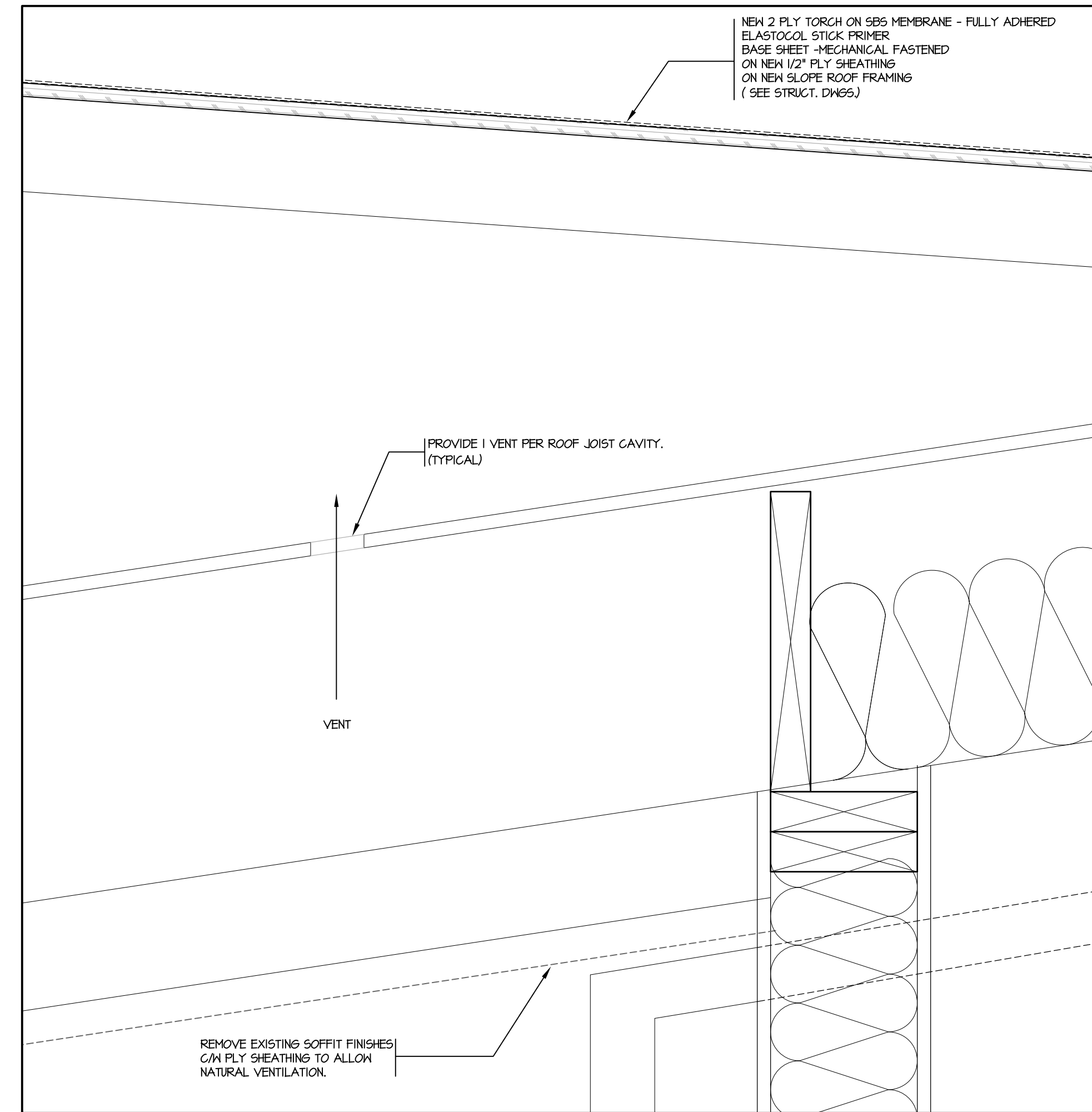
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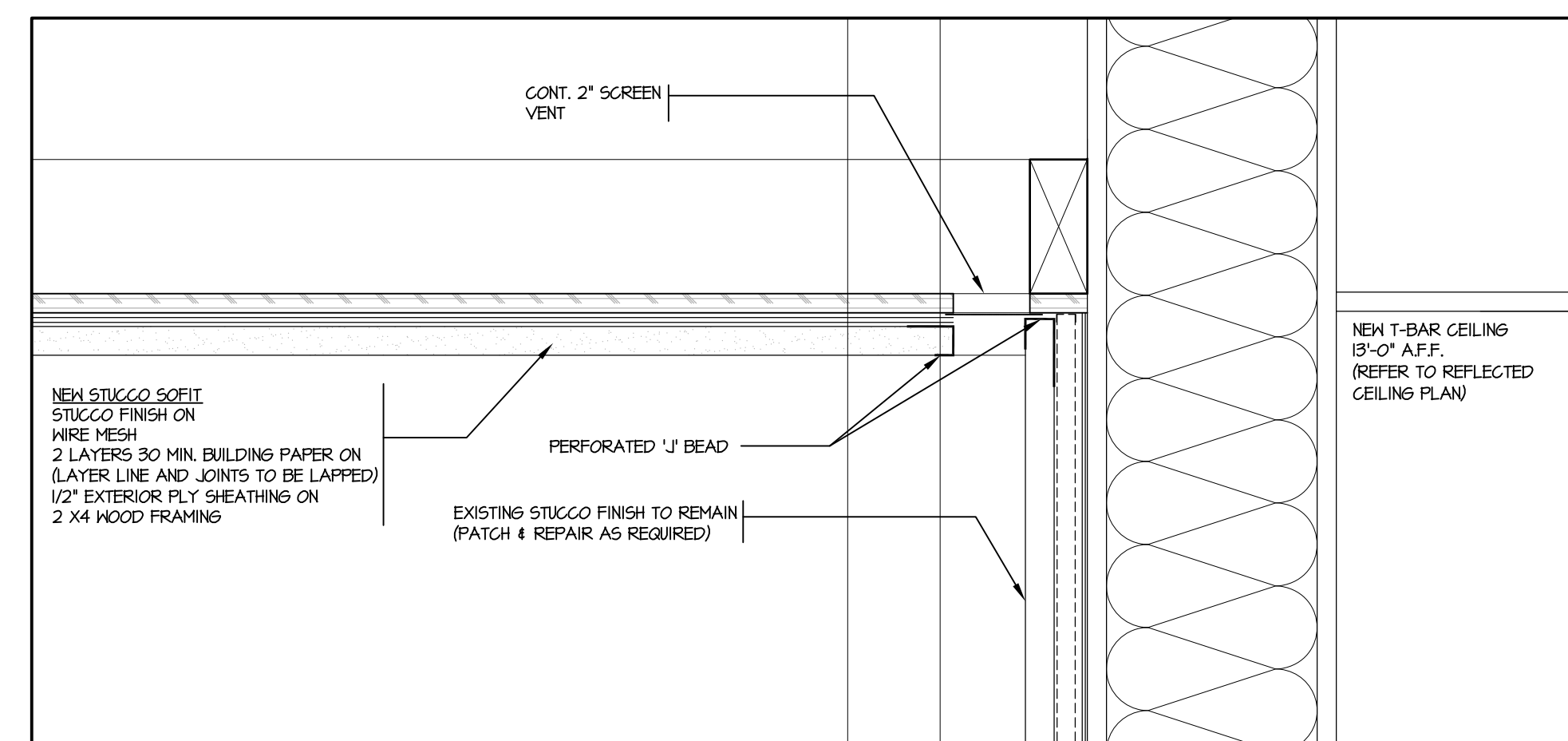
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A10 SCALE: 3" = 1'-0"



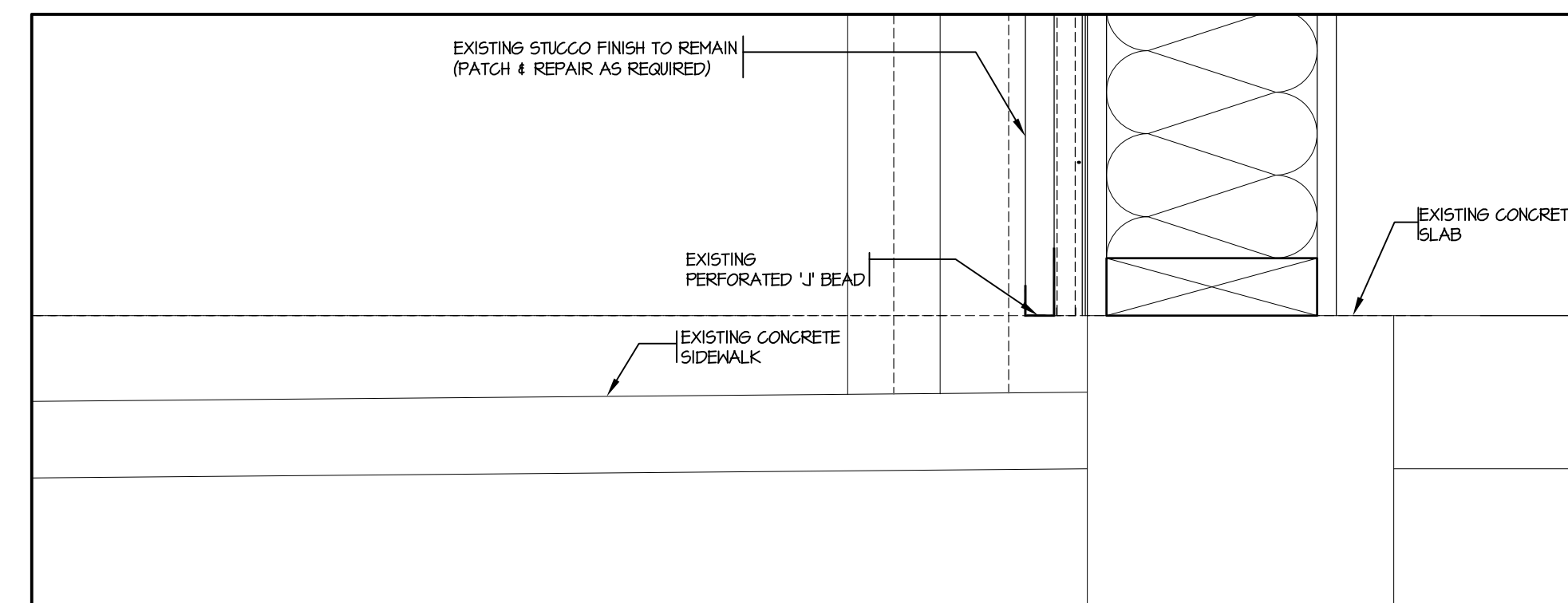
2 SECTION DETAIL
A10 SCALE: 3" = 1'-0"



3 SECTION DETAIL
A10 SCALE: 3" = 1'-0"



4 SECTION DETAIL
A10 SCALE: 3" = 1'-0"



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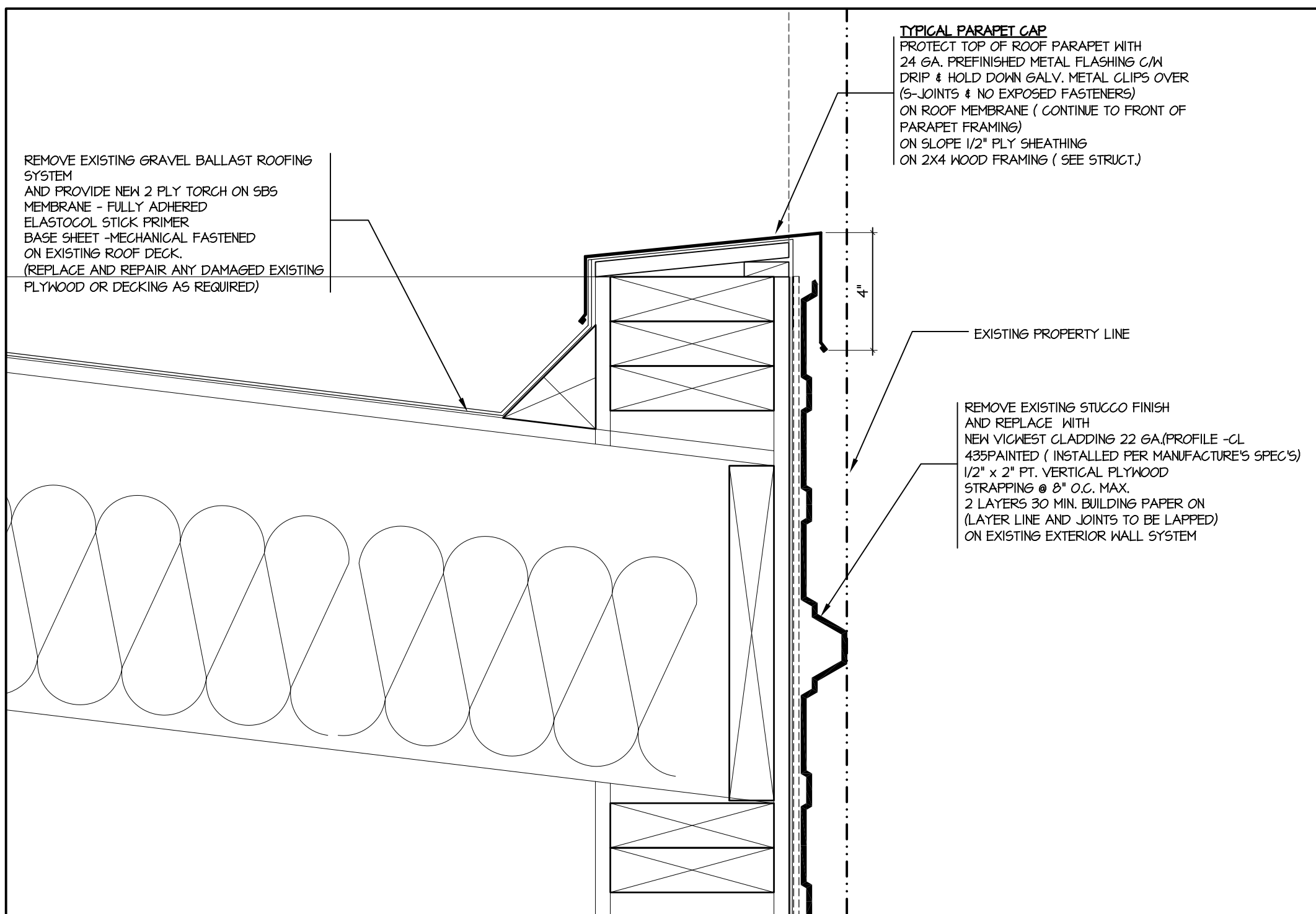
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BURNABY, BC

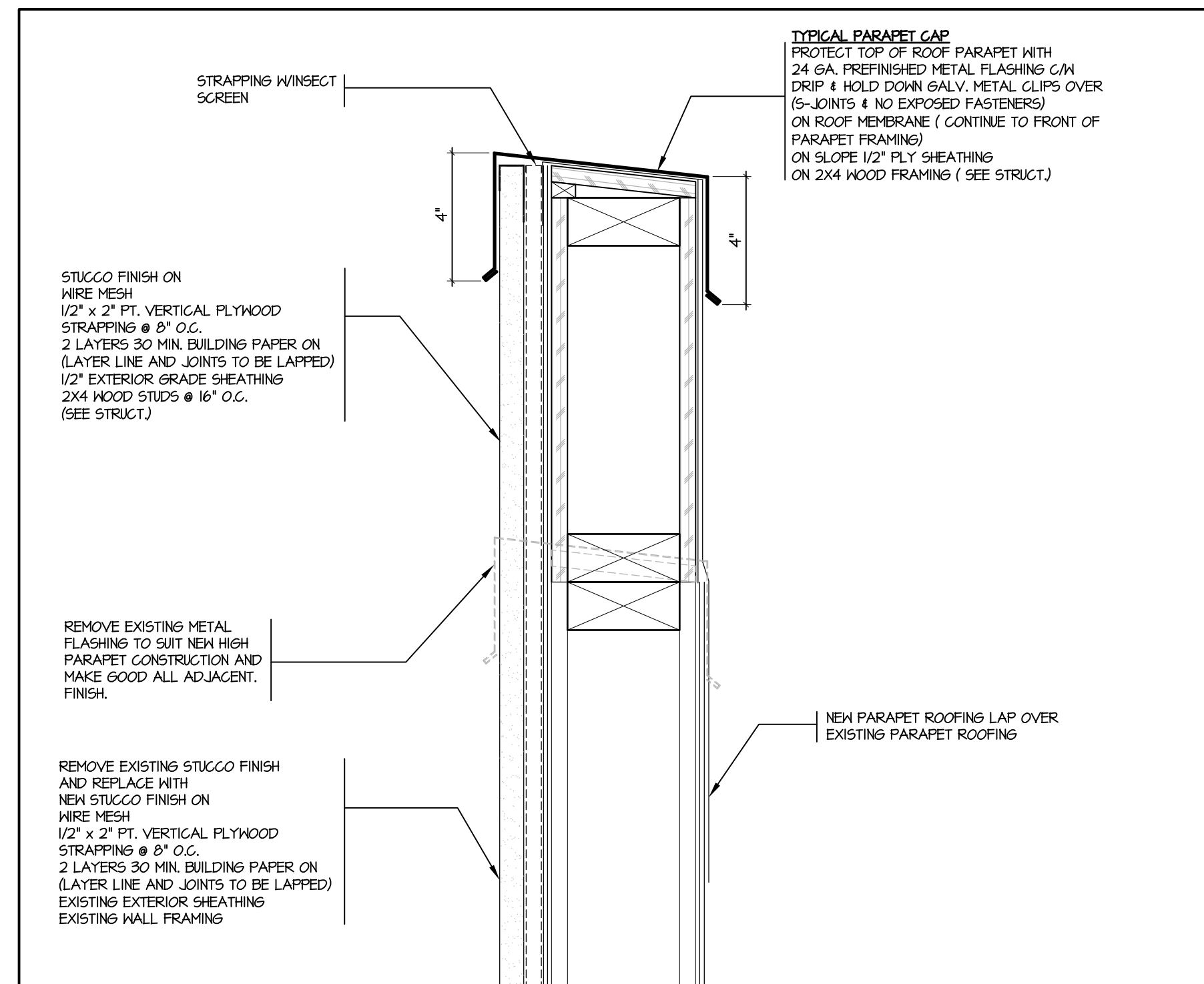
DRAWING

SECTION DETAILS

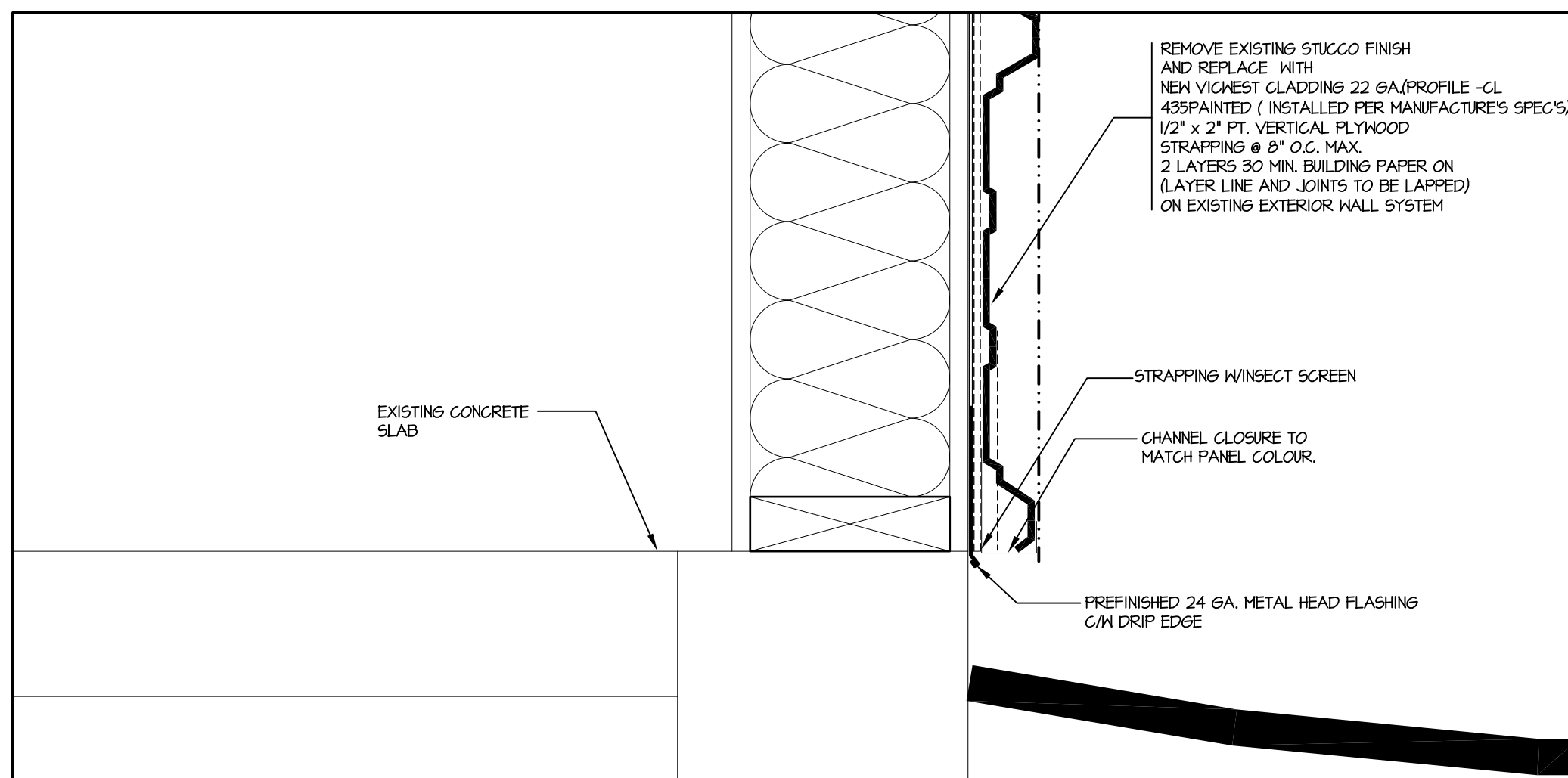
PROJECT NUMBER	DRAWING NUMBER
12-18	A12
SCALE 1" = 1'-0"	
DATE DEC 2012	REVISION



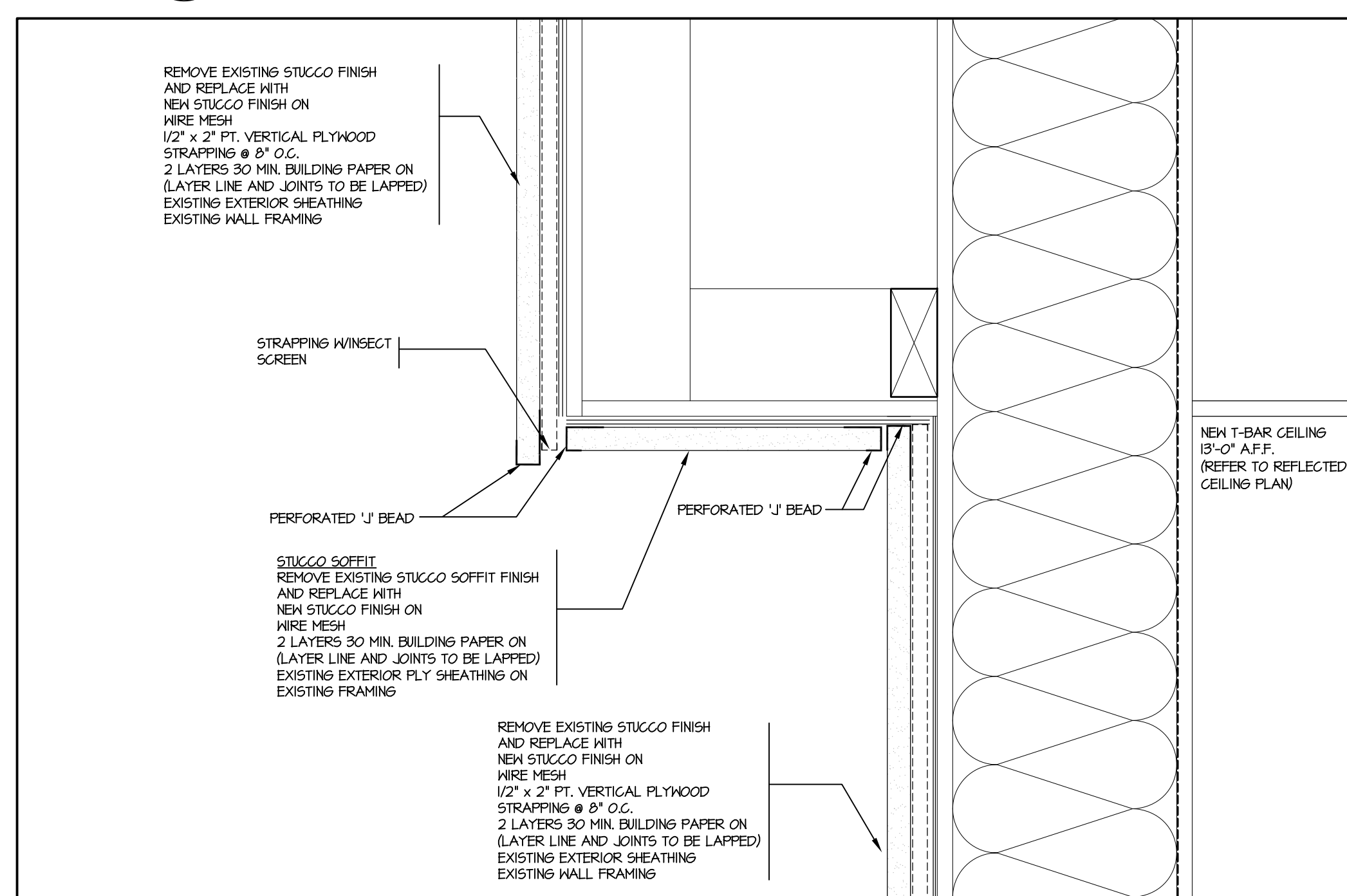
5 SECTION DETAIL
A10 SCALE: 3" = 1'-0"



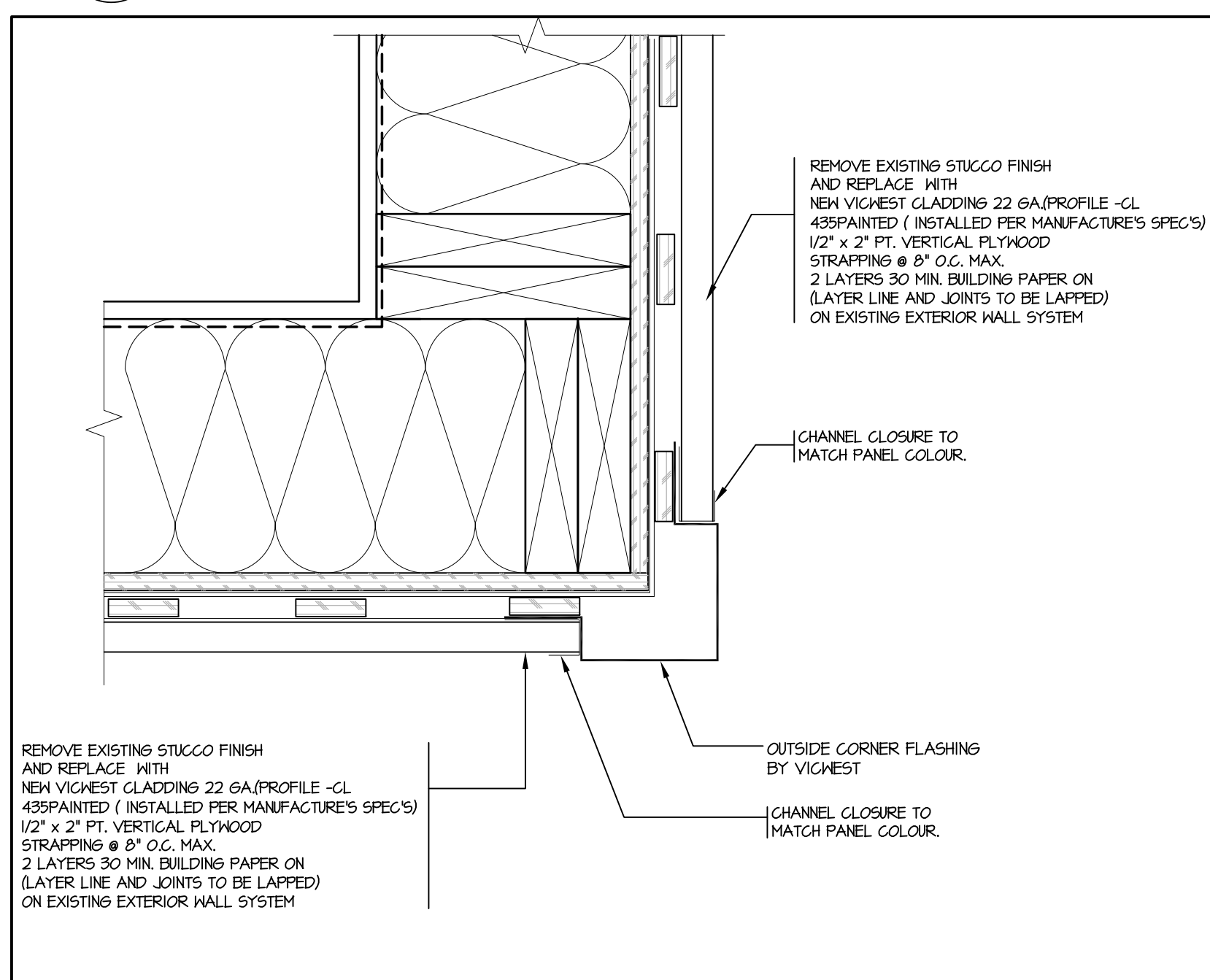
8 SECTION DETAIL
A11 SCALE: 3" = 1'-0"



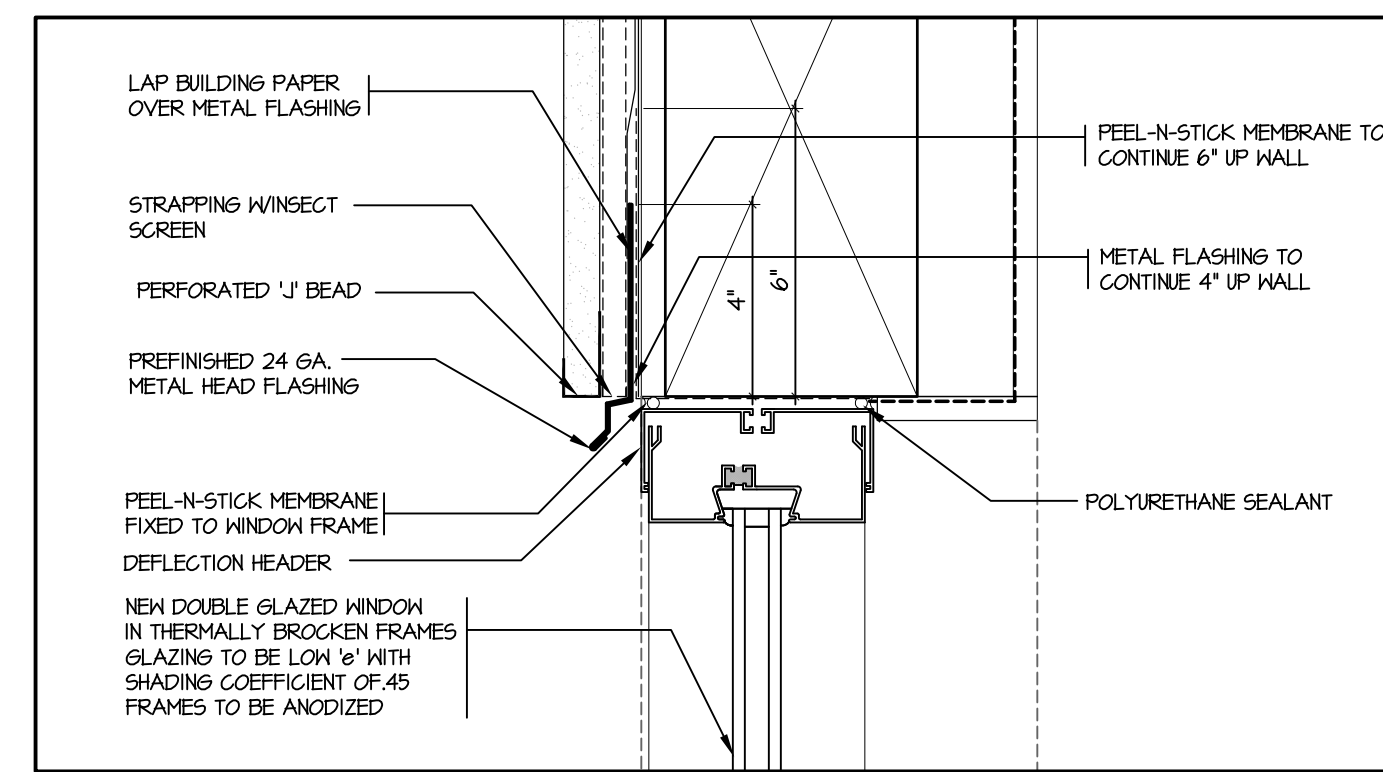
6 SECTION DETAIL
A10 SCALE: 3" = 1'-0"



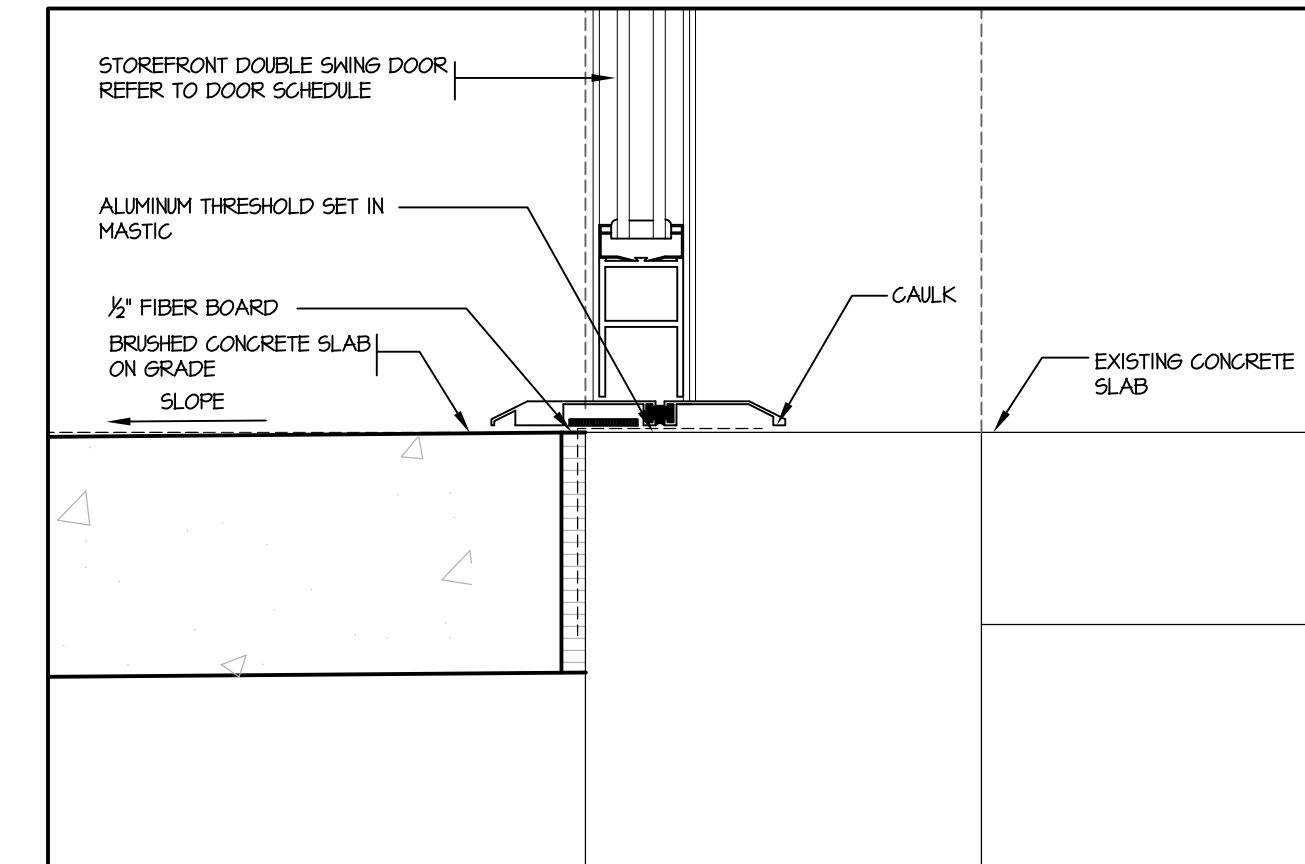
9 SECTION DETAIL
A11 SCALE: 3" = 1'-0"



7 PLAN DETAIL @90° CORNER
A10 SCALE: 3" = 1'-0"



10 SECTION DETAIL
A11 SCALE: 3" = 1'-0"



11 SECTION DETAIL
A11 SCALE: 3" = 1'-0"

DATE	ISSUE	REV
APR. 2/13	ISSUED FOR CONSTRUCTION	
JAN. 11/13	ISSUED FOR TENDER	
DEC. 17/12	ISSUED FOR BUILDING PERMIT	
JULY 16/12	ISSUED FOR PPA	-

CONSULTANT

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
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DRAWN BY: J5 APPROVED: P.J.L.

PROJECT
**EXISTING BUILDING
ALTERATION FOR VISIONS**

5756 IMPERIAL STREET
BURNABY, BC

DRAWING

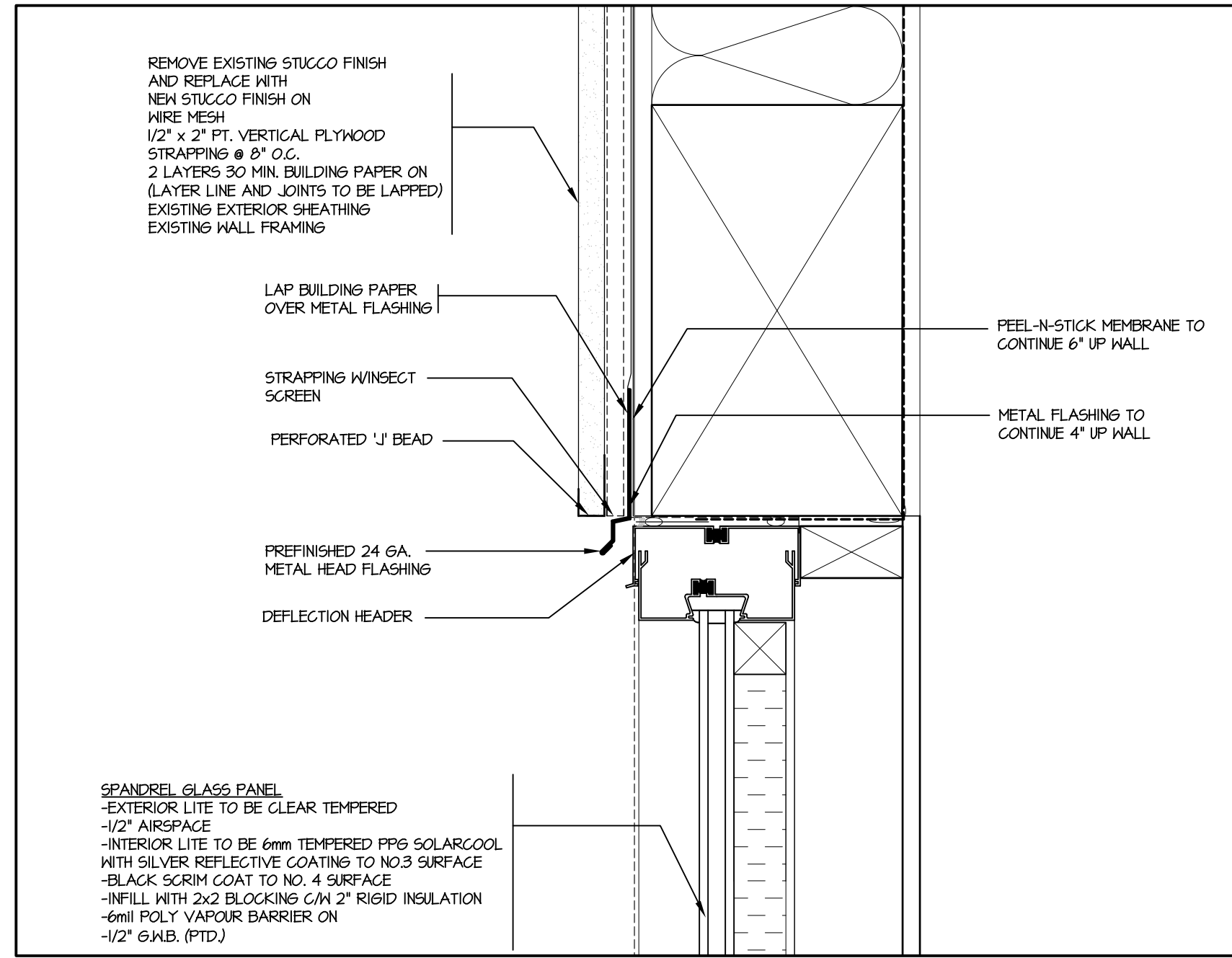
SECTION DETAILS

PROJECT NUMBER: 12-18 DRAWING NUMBER: A13

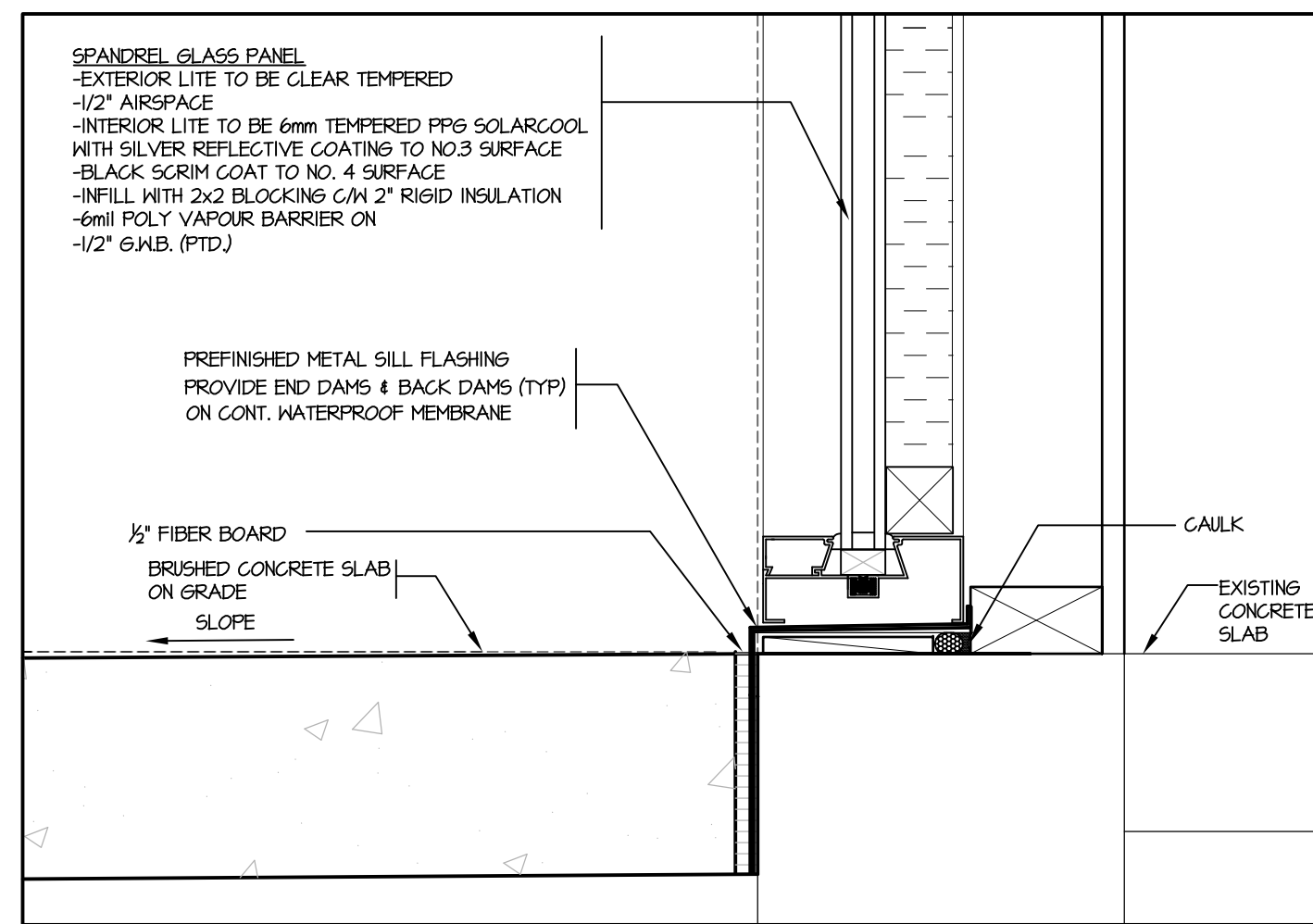
SCALE: 1" = 1'-0"

DATE: DEC 2012

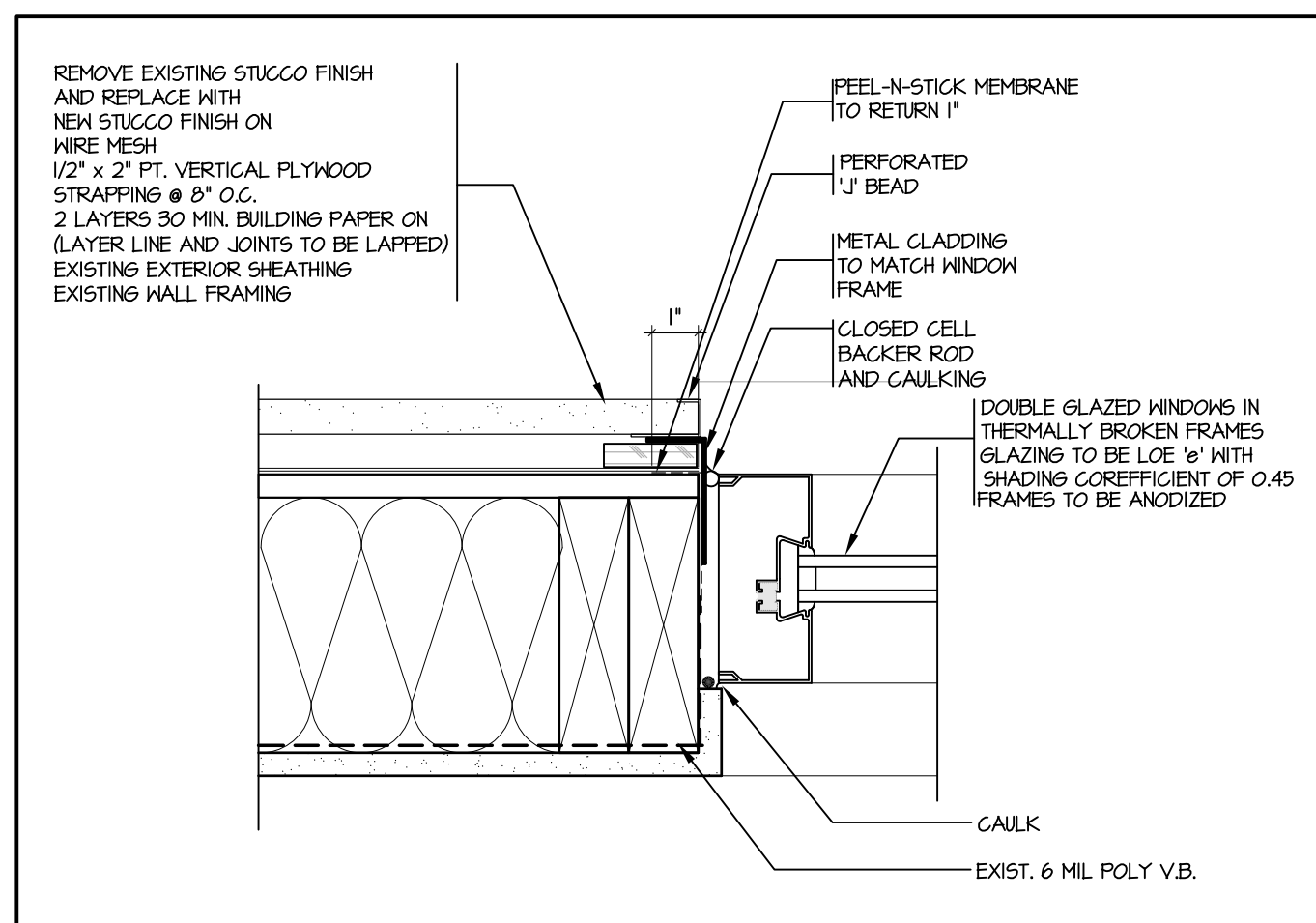
REVISION



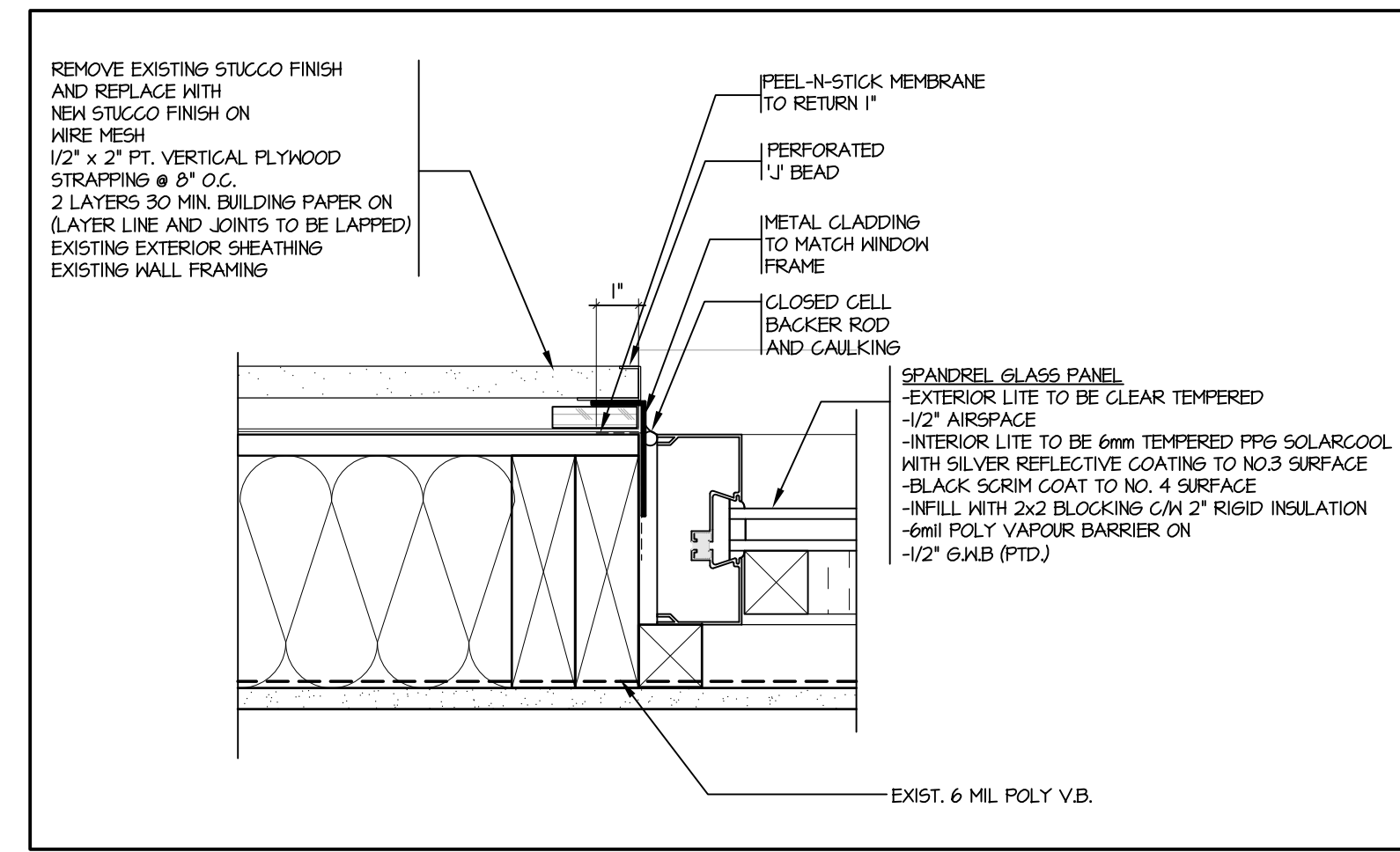
12 SECTION DETAIL
All SCALE: 3" = 1'-0"



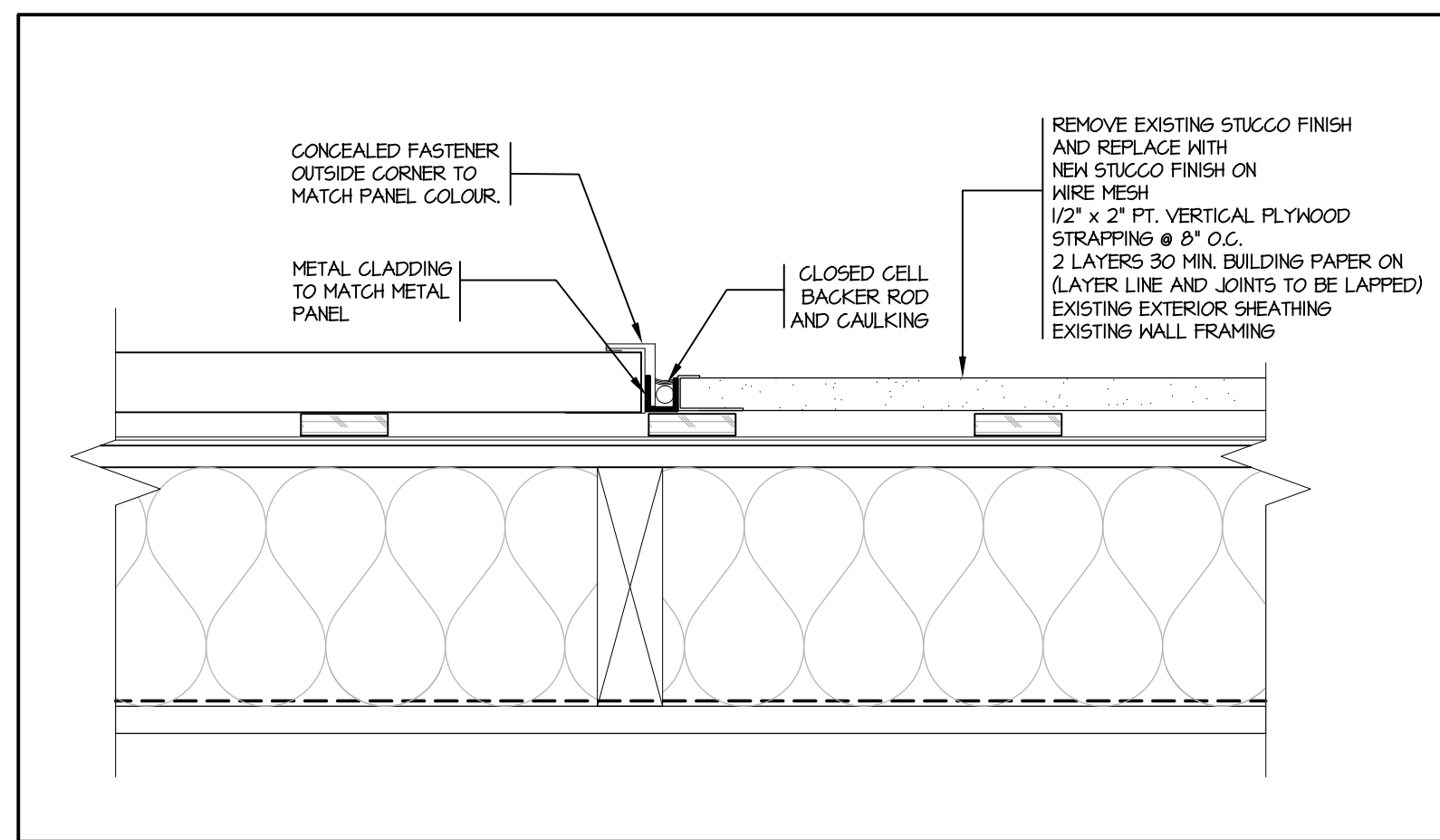
13 SECTION DETAIL
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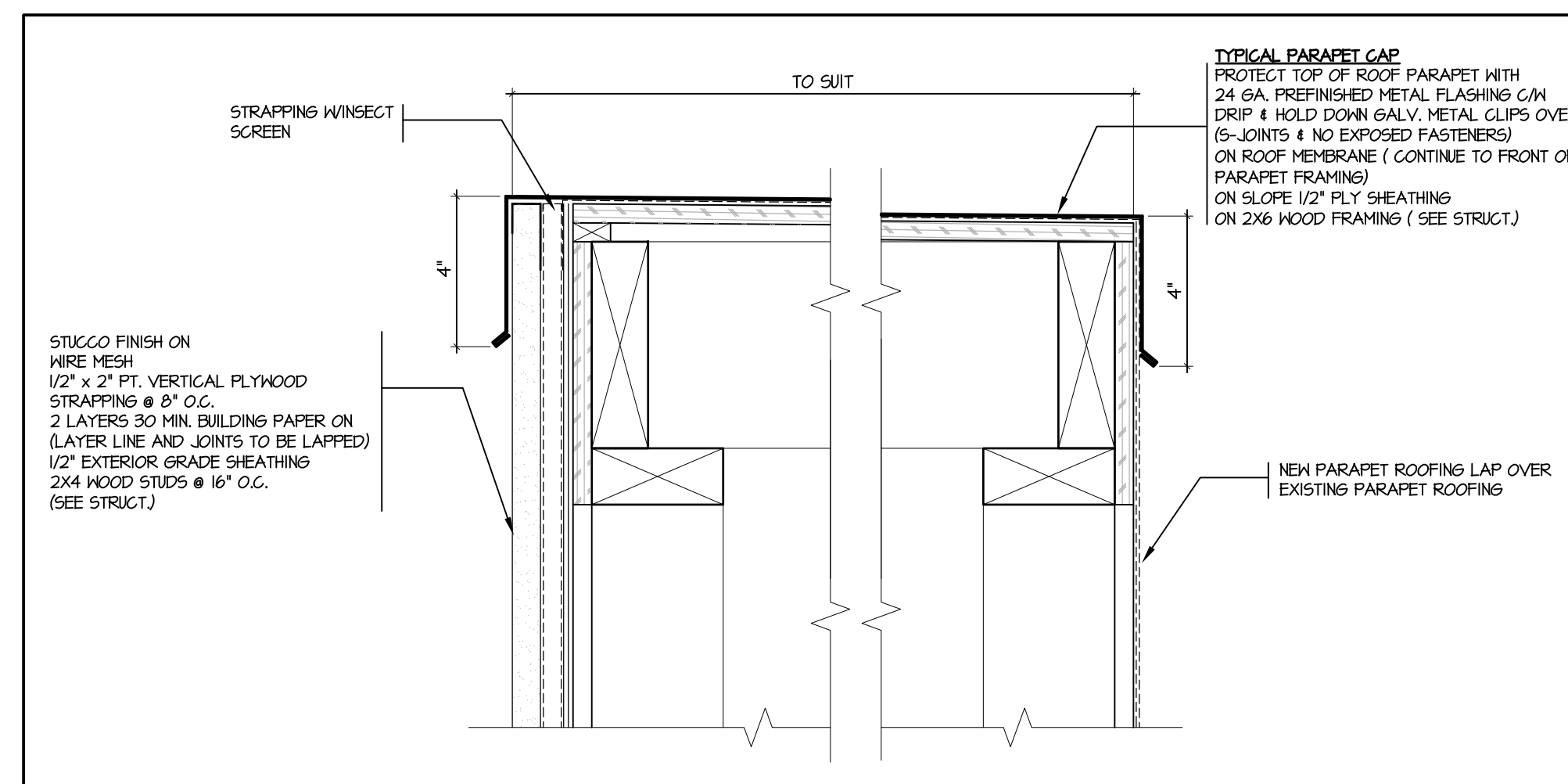
14 SECTION DETAIL
All SCALE: 3" = 1'-0"



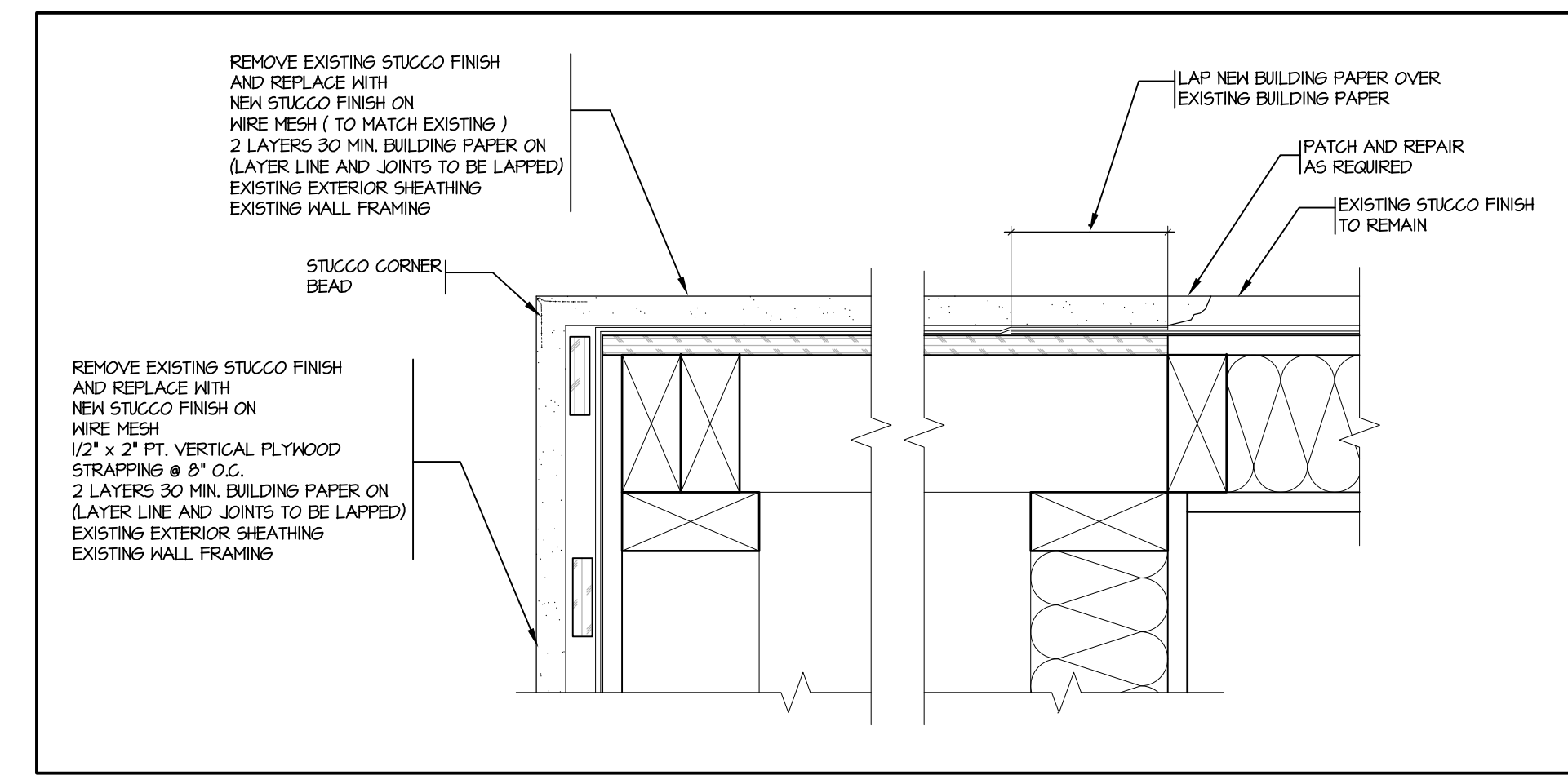
15 SECTION DETAIL
All SCALE: 3" = 1'-0"



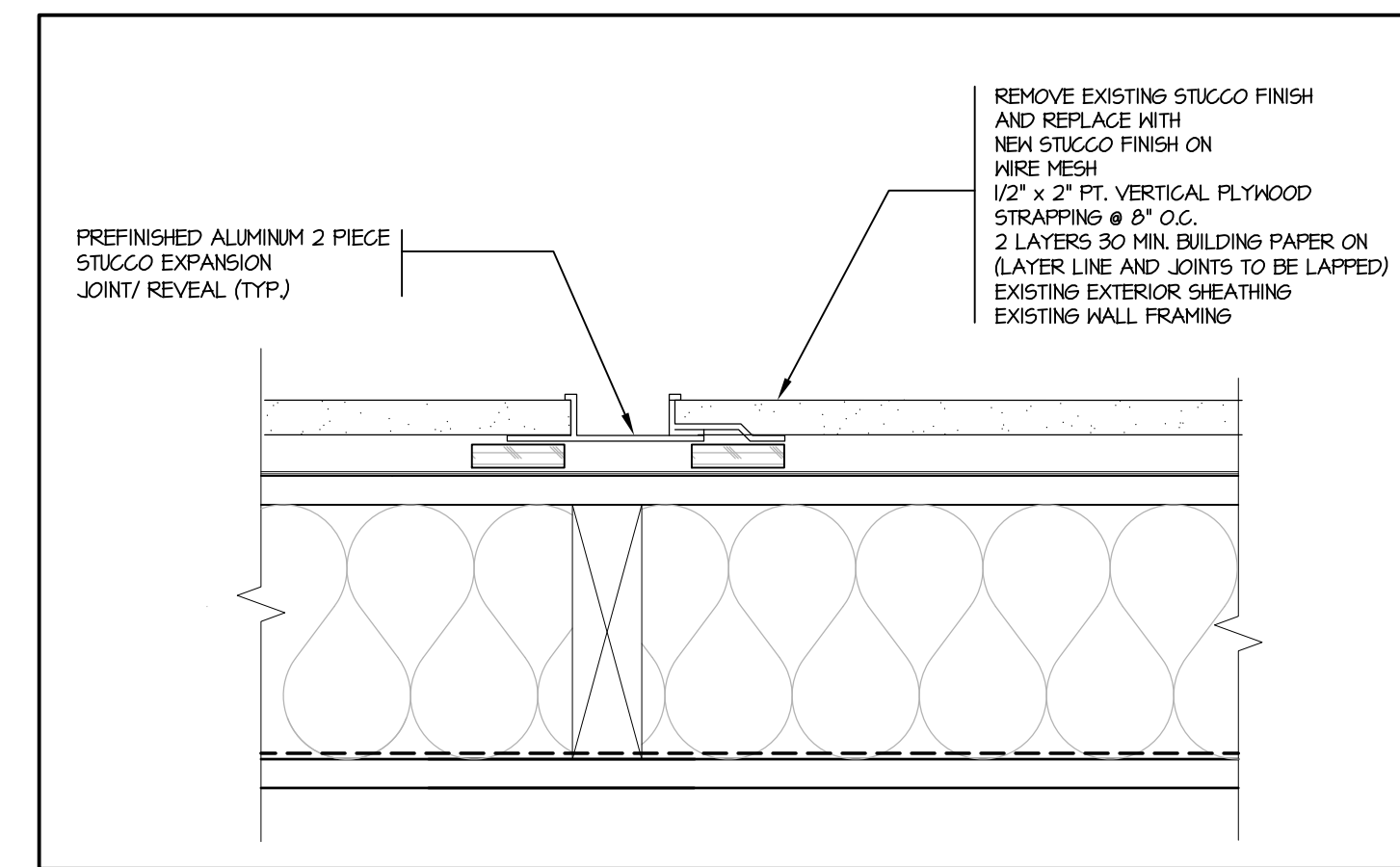
16 PLAN DETAIL @ STUCCO JOINT/METAL CLADDING
A2 SCALE: 3" = 1'-0"



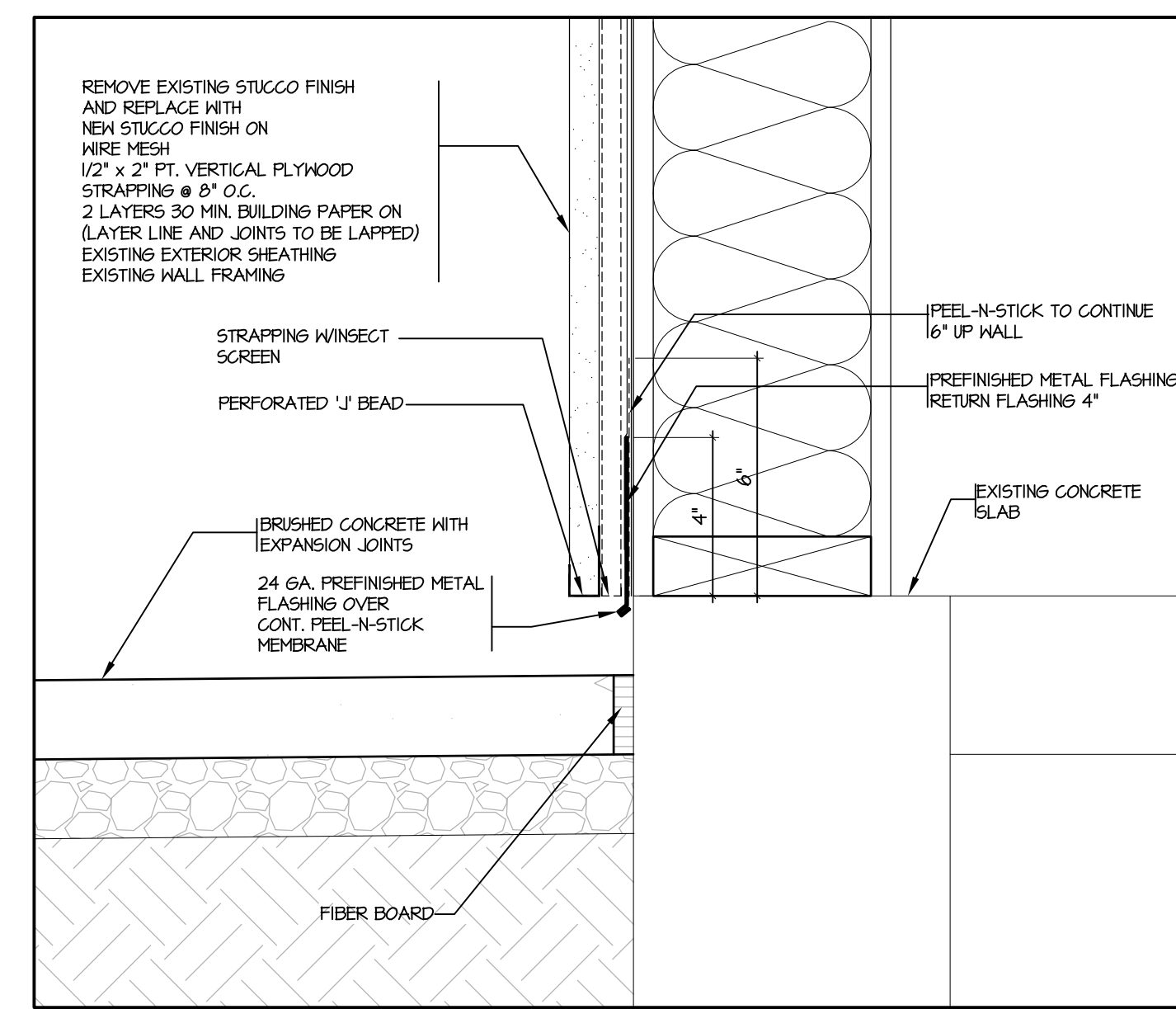
17 SECTION DETAIL
A4 SCALE: 3" = 1'-0"



18 PLAN DETAIL NEW STUCCO @ EXISTING STUCCO
A2 SCALE: 3" = 1'-0"



19 PLAN DETAIL @ STUCCO EXPANSION JOINT
A5 SCALE: 3" = 1'-0"



20 DETAIL @ BOTTOM OF NEW STUCCO
A5 SCALE: 3" = 1'-0"

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PROJECT
**EXISTING BUILDING
ALTERATION FOR VISIONS**

5756 IMPERIAL STREET
BURNABY, BC

DRAWING

SECTION DETAILS

PROJECT NUMBER	DRAWING NUMBER
12-18	A14
SCALE 1" = 1'-0"	
DATE DEC 2012	REVISION