

# 2119 50th AVENUE RED DEER, AB

## SHOPPING CENTRE - EXTERIOR RENOVATION



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NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

CONSTRUCTION MANAGER



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PROJECT  
**SHOPPING CENTRE - EXTERIOR RENOVATION**  
MUNICIPAL ADDRESS(S)  
#1, 2119 50 Ave, Red Deer, AB T4R 1Z4  
#2, 2119 50 Ave, Red Deer, AB T4R 1Z4  
#100, 2127 50 Ave, Red Deer, AB T4R 1Z4  
#101, 2127 50 Ave, Red Deer, AB T4R 1Z4

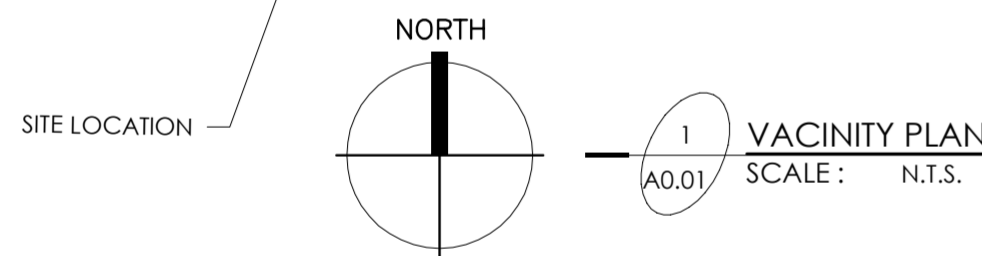
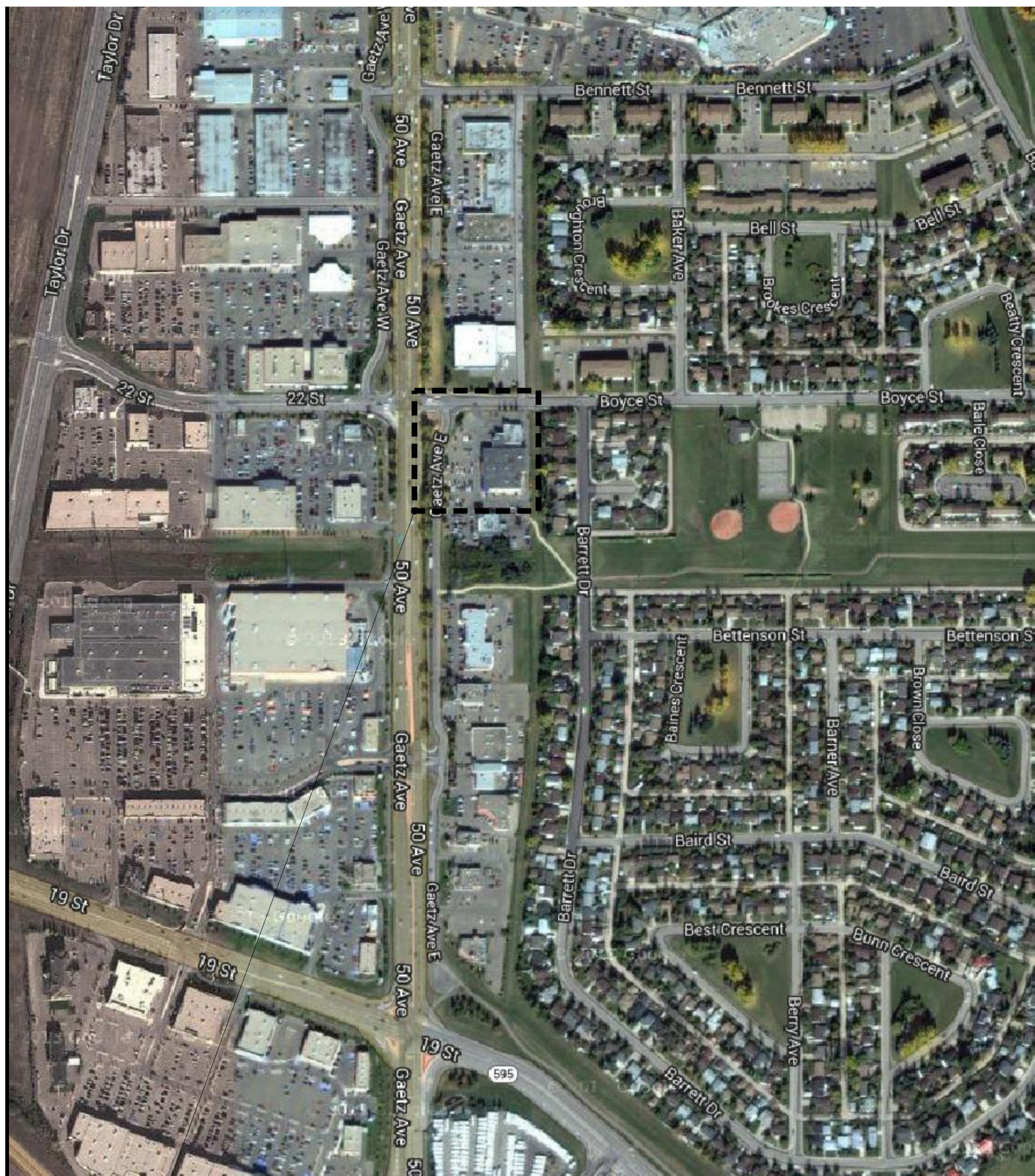
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**COVER SHEET**

DRAWING ISSUED  
ISSUED FOR CONSTRUCTION

PROJECT NO.	1203	PLOT DATE	2014-09-19
		SCALE	N.T.S.

DRAWING NO.	A0.00	REVISION	
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**GENERAL NOTES:**

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL REVIEW THE EXISTING PREMISES CAREFULLY PRIOR TO COMMENCING CONSTRUCTION; ANY SITE CONDITION OR DIMENSIONS FOUND TO BE DIFFERENT THAN THOSE SHOWN ON THE DRAWINGS, SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY PRIOR TO PROCEEDING WITH WORK.
- ALL WORK TO COMPLY WITH THE MOST CURRENT EDITION OF THE ALBERTA BUILDING CODE (2006 ABC) AND REFERENCED DOCUMENTS.
- CONSTRUCTION STANDARDS FOR MATERIAL AND WORKMANSHIP QUALITY MUST COMPLY WITH PREVAILING COMMONLY RECOGNIZED CONSTRUCTION INDUSTRY STANDARDS.
- ALL MATERIAL, EQUIPMENT, FIXTURES AND FITTINGS TO BE NEW UNLESS OTHERWISE NOTED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- CONFIRM ALL SIZES OF TENANTS EQUIPMENT AND APPLIANCES.
- ALL PENETRATIONS THROUGH FIREWALLS, ARE TO BE PACKED WITH MINERAL FIBRE INSULATION AND CALKED TO MAINTAIN INTEGRITY OF THE SEPARATION; ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN FIRESTOPPING UNLESS NOTED OTHERWISE.
- ALL PARTITIONS THAT CONTINUE TO THE U/S OF STRUCTURE ARE TO HAVE DEFLECTION TRACKS.
- CONCRETE SLABS ARE PRESUMED TO BE IRREGULAR, THE CONTRACTOR IS TO ANTICIPATE TOPPING, THOROUGHLY CLEAN EXISTING CONCRETE SLAB OF ALL ADHESIVE AND DEBRIS, FLOAT TO LEVEL FLOOR PRIOR TO INSTALLATION OF NEW FLOOR FINISHES AND WALL CONSTRUCTION, LEVELING BED TO BE 1/2" HEIGHT MAXIMUM DIFFERENCE OVER RUN OF 10'-0".

**GENERAL NOTES:**

- PROVIDE SHALL MEAN SUPPLY AND INSTALL.
- ALL EXISTING SURFACES TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION AND SHOULD BE THOROUGHLY CLEANED WHEN CONSTRUCTION COMPLETE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO FABRICATION.
- CONTRACTOR TO PROVIDE SAMPLES OF ALL FINISHES AND MATERIALS TO ARCHITECT FOR APPROVAL.

**FLOOR ASSEMBLIES**

- EXF1** EXISTING CONCRETE FLOOR SLAB  
-EXISTING CONCRETE FLOOR SLAB  
-EXISTING 6 MIL VAPOUR BARRIER  
-EXISTING COMPACTED GRANULAR BASE
- EXF2** EXISTING CONCRETE SIDEWALK  
-EXISTING CONCRETE SLAB  
-EXISTING 6 MIL VAPOUR BARRIER  
-EXISTING COMPACTED GRANULAR BASE
- F1** CONCRETE FLOOR SLAB  
-REINFORCED CONCRETE SLAB AS PER STRUCTURAL  
-6 MIL VAPOUR BARRIER  
-COMPACTED GRANULAR BASE
- F2** CONCRETE SIDEWALK  
-CONCRETE SLAB AS PER STRUCTURAL  
-6 MIL VAPOUR BARRIER  
-COMPACTED GRANULAR BASE

**ROOF ASSEMBLIES**

- BRI** EXISTING ROOF  
-EXISTING ROOF MEMBRANE  
-EXISTING PROTECTION BOARD  
-EXISTING INSULATION  
-EXISTING VAPOUR BARRIER  
-EXISTING METAL ROOF DECK

**SOFFIT ASSEMBLIES**

- S1** SOFFIT - EIFS  
-38mm EIFS  
-TROWEL APPLIED BREATHABLE MOISTURE BARRIER  
-13mm EXTERIOR FIBREGLASS MATT GYPSUM BOARD  
-92mm STEEL STUD FRAMING, AS REQUIRED  
-VENTED VOID SPACE

**EXTERIOR WALL ASSEMBLIES**

- EXW1** EXISTING EXTERIOR WALL - CONCRETE MASONRY UNIT  
-EXISTING 90mm CMU  
-EXISTING 25mm AIR SPACE  
-EXISTING 50mm RIGID INSULATION  
-EXISTING A/V BARRIER  
-EXISTING 190mm CMU  
-EXISTING STEEL STUD FRAMING  
-EXISTING 13mm GWB  
NOTE: WALL ASSEMBLY TO BE CONFIRMED ON-SITE
- W1** EXTERIOR WALL - STONE VENEER  
-25mm STONE VENEER  
-13mm MORTAR SETTING BED  
-PAPER BACKED METAL LATHE [3.4 LB]  
-100mm ADJUSTABLE Z-GIRTS @ 400 O.C.  
-50mm AIR SPACE  
-75mm RIGID INSULATION  
-A/V BARRIER MEMBRANE  
-EXISTING 190mm CMU  
-EXISTING STEEL STUD FRAMING  
-EXISTING 13mm GWB
- W1A** EXTERIOR WALL - STONE VENEER  
-25mm STONE VENEER  
-13mm MORTAR SETTING BED  
-PAPER BACKED METAL LATHE [3.4 LB]  
-125mm ADJUSTABLE Z-GIRTS @ 400 O.C.  
-50mm AIR SPACE  
-75mm RIGID INSULATION  
-A/V BARRIER MEMBRANE  
-EXISTING 190mm CMU  
-EXISTING STEEL STUD FRAMING  
-EXISTING 13mm GWB
- W2** EXTERIOR WALL - EIFS  
-38mm EIFS  
-TROWEL APPLIED BREATHABLE MOISTURE BARRIER  
-13mm EXTERIOR FIBREGLASS MATT GYPSUM BOARD  
-92mm STEEL STUD FRAMING, AS REQUIRED  
-VENTED VOID SPACE  
-89mm SEMI-RIGID INSULATION  
-A/V BARRIER MEMBRANE  
-EXISTING 190mm CMU  
-EXISTING STEEL STUD FRAMING  
-EXISTING 13mm GWB
- W3** EXTERIOR WALL - STONE VENEER  
-25mm STONE VENEER  
-13mm MORTAR SETTING BED  
-PAPER BACKED METAL LATHE [3.4 LB]  
-100mm ADJUSTABLE Z-GIRTS @ 400 O.C.  
-25mm AIR SPACE  
-75mm RIGID INSULATION  
-A/V BARRIER MEMBRANE  
-13mm FIBREGLASS FACED GYPSUM SHEATHING  
-152mm WIND BEARING STEEL STUDS @ 400 O.C.  
-13mm GWB
- W4** EXTERIOR WALL - STONE VENEER  
-25mm STONE VENEER  
-13mm MORTAR SETTING BED  
-PAPER BACKED METAL LATHE [3.4 LB]  
-100mm ADJUSTABLE Z-GIRTS @ 400 O.C.  
-25mm AIR SPACE  
-75mm RIGID INSULATION  
-A/V BARRIER MEMBRANE  
-13mm FIBREGLASS FACED GYPSUM SHEATHING  
-152mm WIND BEARING STEEL STUDS @ 400 O.C.  
-13mm GWB
- W5** EXTERIOR WALL - EIFS  
-38mm EIFS  
-TROWEL APPLIED BREATHABLE MOISTURE BARRIER  
-EXISTING SHEATHING  
-EXISTING 38 x 140 WOOD STUDS @ 400 O.C.  
-EXISTING BATT INSULATION  
-EXISTING VAPOUR BARRIER  
-EXISTING GWB
- W6** EXTERIOR WALL - EIFS  
-38mm EIFS  
-TROWEL APPLIED BREATHABLE MOISTURE BARRIER  
-13mm EXTERIOR FIBREGLASS MATT GYPSUM BOARD  
-92mm STEEL STUD FRAMING, AS REQUIRED  
-VENTED VOID SPACE  
-2 LAYERS BUILDING PAPER  
-EXISTING SHEATHING  
-EXISTING 38 x 140 WOOD STUDS @ 400 O.C.  
-EXISTING BATT INSULATION  
-EXISTING VAPOUR BARRIER  
-EXISTING GWB
- W7** EXTERIOR WALL - EIFS  
-75mm EIFS  
-TROWEL APPLIED BREATHABLE MOISTURE BARRIER  
-EXISTING 190mm CMU  
-EXISTING STEEL STUD FRAMING  
-EXISTING 13mm GWB

**CODE ANALYSIS ALBERTA BUILDING CODE 2006**

LOCAL AUTHORITY:	CITY OF RED DEER PLANNING & DEVELOPMENT Third floor, City Hall 491 4-48 Avenue, Red Deer, AB, Canada 403-342-8111
BUILDING CODE:	ALBERTA BUILDING CODE 2006
MECHANICAL CODE:	ALBERTA BUILDING CODE 2006
PLUMBING CODE:	PLUMBING CODE OF CANADA 2010
ELECTRICAL CODE:	CANADIAN ELECTRICAL CODE 2012
ACCESSIBILITY CODE:	BARRIER FREE DESIGN CODE
BUILDING OCCUPANCY CLASSIFICATION:	Group D Division - Business and personal services  Group E Division - Mercantile occupancies
TYPE OF CONSTRUCTION:	NON COMBUSTIBLE/COMBUSTIBLE
SPRINKLERED:	YES
TOTAL SQUARE FOOTAGE:	29,113 SF (2,705M)
3.2.2 - REQUIRED FIRE RESISTANCE RATING:	ROOFS N/A EXPOSED BUILDING FACE SEE SPATIAL SEPARATION AND EXPOSURE PROTECTION BELOW
FIRE SEPARATIONS	
BETWEEN SUITES - 3.3.1.1.(1) (SUPERCEDED BY 3.3.1.1)	
BETWEEN SUITES - 3.3.1.1.(1)	BETWEEN GROUPS E AND A2 2 HR. FS BETWEEN GROUPS A2 AND D 2 HR. FS BETWEEN GROUPS D AND E NIL
BETWEEN MAJOR OCCUPANCIES - 3.1.3.1. (SUPERCEDED BY 3.3.1.1)	BETWEEN GROUPS E AND A2 2 HR. FS BETWEEN GROUPS A2 AND D 2 HR. FS BETWEEN GROUPS D AND E NIL
SERVICE ROOMS - MECHANICAL - 3.6.2.1(7)	1 HR. FS
SERVICE ROOMS - ELECTRICAL - 3.6.2.1(6)	1 HR. FS

SPATIAL SEPARATION & EXPOSURE PROTECTION - 3.2.3.  
AREA OF EXPOSED BUILDING FACE - 3.2.3.2.(1) & (2)  
THE F.R.R. OF FIRE SEPARATIONS FOR COMPARTMENTALIZATION IS A MIN. 45 MINS.

BUILDING	LOCATION	AREA OF EXPOSING FACE	AREA OF UNPROTECTED OPENINGS	% UNPROTECTED OPENINGS ALLOWED	5 UNPROTECTED OPENINGS PROVIDED
		NORTH WALL WEST WALL SOUTH WALL EAST WALL			
	ACCESS TO ABOVE GRADE STOREYS - 3.2.5.1	FIRE FIGHTER ACCESS IS PROVIDE ON THE WALL REQUIRED TO FACE A STREET BY ONE UNOBSERVED WINDOW CONFORMING TO 3.2.5.1.(2) PER 15M OF WALL			
	ACCESS ROUTES - 3.2.5.4 & 3.2.5.5	THE FIRE FIGHTER ACCESS ROUTE IS WITHIN 3 AND 15 METRES OF THE BUILDING FACE HAVING THE PRINCIPAL ENTRANCE AND FIRE FIGHTER ACCESS OPENINGS MEASURED HORIZONTALLY FROM THE BUILDING FACE.			
	ROOF ACCESS - 3.6.4.7.	ACCESS IS PROVIDED BY FIXED VERTICAL LADDER AND ROOF HATCH			

**ABBREVIATIONS**

A.C.T.	ACOUSTICAL CEILING TILE
A.F.F.	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
APPROX.	APPROXIMATE
ALUM.	ALUMINUM
A.B.	ANCHOR BOLT
ACQUST.	ACOUSTICAL
ASPH.	ASPHALT
BLK'G	BLOCKING
BD.	BOARD
BLDG.	BUILDING
BM.	BEAM
BOT.	BOTTOM
CONTR.	CONTRACTOR
CLG.	CEILING
CONC.	CONCRETE
CONT.	CONTINUOUS
C.J.	CONTROL JOINT
COL.	COLUMN
C.M.	CONSTRUCTION MANAGER
C.M.U.	CONCRETE MASONRY UNIT
CLR.	CLEAR
c/w	COMPLETE WITH
CIR.	CENTER
DN.	DOWN
DIA.	DIAMETER
DWG.	DRAWING
DS.	DOWNSPOUT
DR.	DOOR
DTL/DET.	DETAIL
E.W.C.	ELECTRIC WATER COOLER
EXIST.	EXISTING
EXP.	EXPANSION
ELEC.	ELECTRICAL
EQUIP.	EQUIPMENT
EA.	EACH
ELEV.	ELEVATION
EQ.	EQUAL
EX	EXISTING
FD	FLOOR DRAIN
FDN.	FOUNDATION
F.L.	FLOW LINE
FLR.	FLOOR
FURR	FURRING
FTG.	FOOTING
FIN.	FINISH(ED)
F.R.T.	FIRE RESISTANT TREATED
GA.	GAUZE
GALV.	GALVANIZED
GC.	GENERAL CONTRACTOR
GD.	GUTTER DRAIN
GL.	GLASS
GYP.	GYPSUM
GRD.	GRADE
G.W.B.	GYPSUM WALL BOARD
HDWD	HARDWOOD
HT.	HEIGHT
HC.	HOLLOW CORE
HORIZ.	HORIZONTAL
H.M.	HOLLOW METAL
H.P.	HIGH POINT
I.D.C.	INSIDE DIMENSION CLEAR
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
JAN.	JANITOR
LAV.	LAVATORY
L.P.	LOW POINT
MFR.	MANUFACTURER
MAX.	MAXIMUM
MIL.	METAL
MIN.	MINIMUM
MECH.	MECHANICAL
MISC.	MISCELLANEOUS
MTD.	MOUNTED
M.O.	MASONRY OPENING
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.D.	OUTSIDE DIAMETER
O.R.D.	OVERFLOW ROOF DRAIN
OHL.	OVERHEAD
OPP.	OPPOSITE
O.C.	ON CENTER
OPN'G	OPENING
PLAM.	PLASTIC LAMINATE
PL.	PLATE
PLYWD.	PLYWOOD
PR	PAIR
RAD.	RADIUS
REQ'D	REQUIRED
REINF.	REINFORCED
RESL.	RESILIENT
RM.	ROOM
R.O.	ROUGH OPENING
RWL	RAINWATER LEADER
SFRM.	SPRAY APPLIED FIRE RESISTIVE MATERIAL
STL.	STEEL
SUSP. CLG.	SUSPENDED CEILING
SIM.	SIMILAR
S.O.G.	SLAB ON GRADE
SPECS.	SPECIFICATIONS
SQ.	SQUARE
STD.	STANDARD
STRUCT.	STRUCTURAL
T.O.M.	TOP OF MASONRY
T.O.S.	TOP OF STEEL
TPC	TOP OF PRE CAST DOUBLE T
TTS	TOP OF CONCRETE TOPPING SLAB
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITION TILE
WC	WATER CLOSET
W/	WITH
WD.	WOOD



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MUNICIPAL ADDRESS(S)  
#1, 2119 50 Ave, Red Deer, AB T4R 1Z4  
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DRAWING TITLE

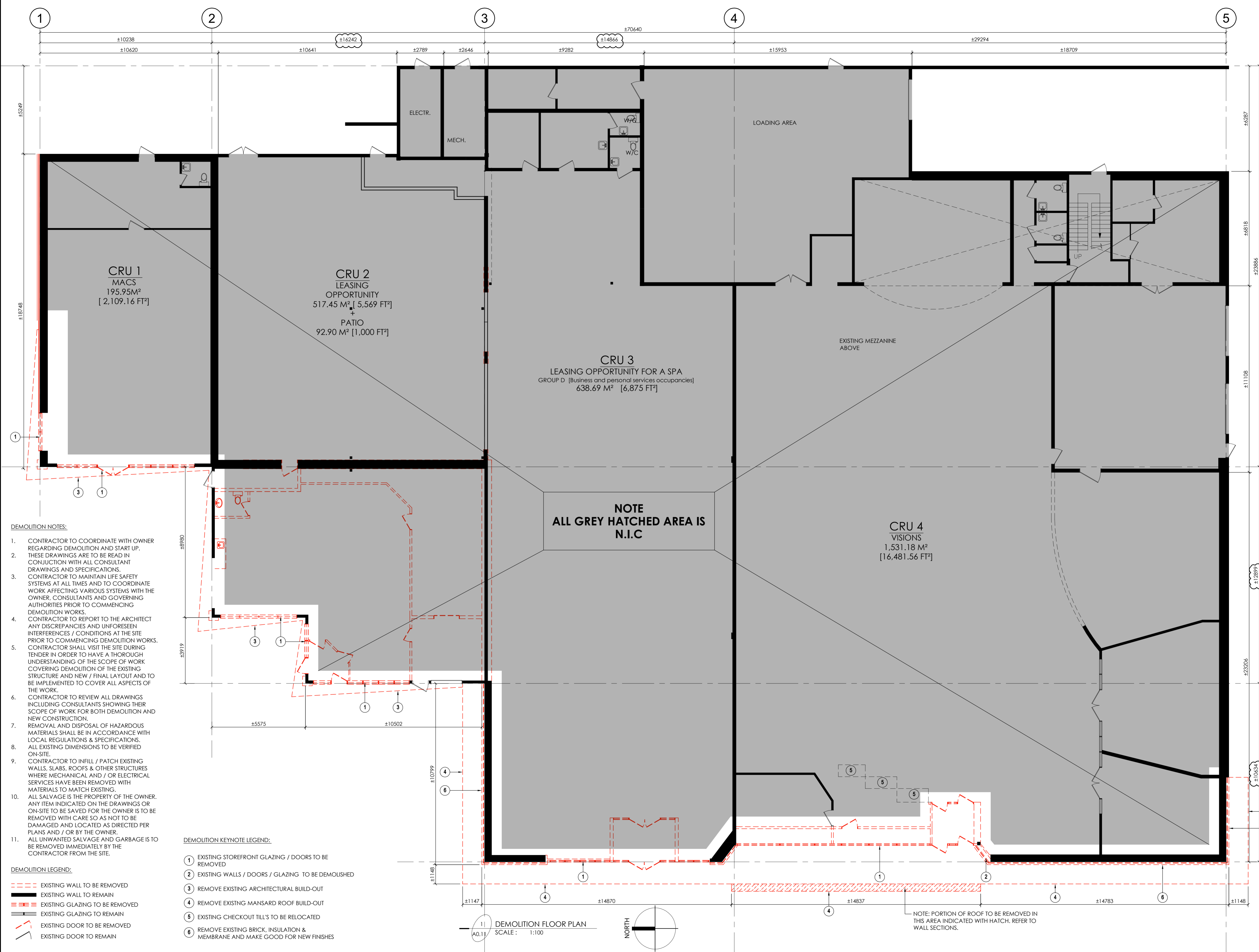
**GENERAL INFORMATION AND BUILDING CODE ANALYSIS**

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	1203	PLOT DATE	2014-09-19
DRAWING NO.	A0-01	SCALE	AS NOTED
		REVISION	






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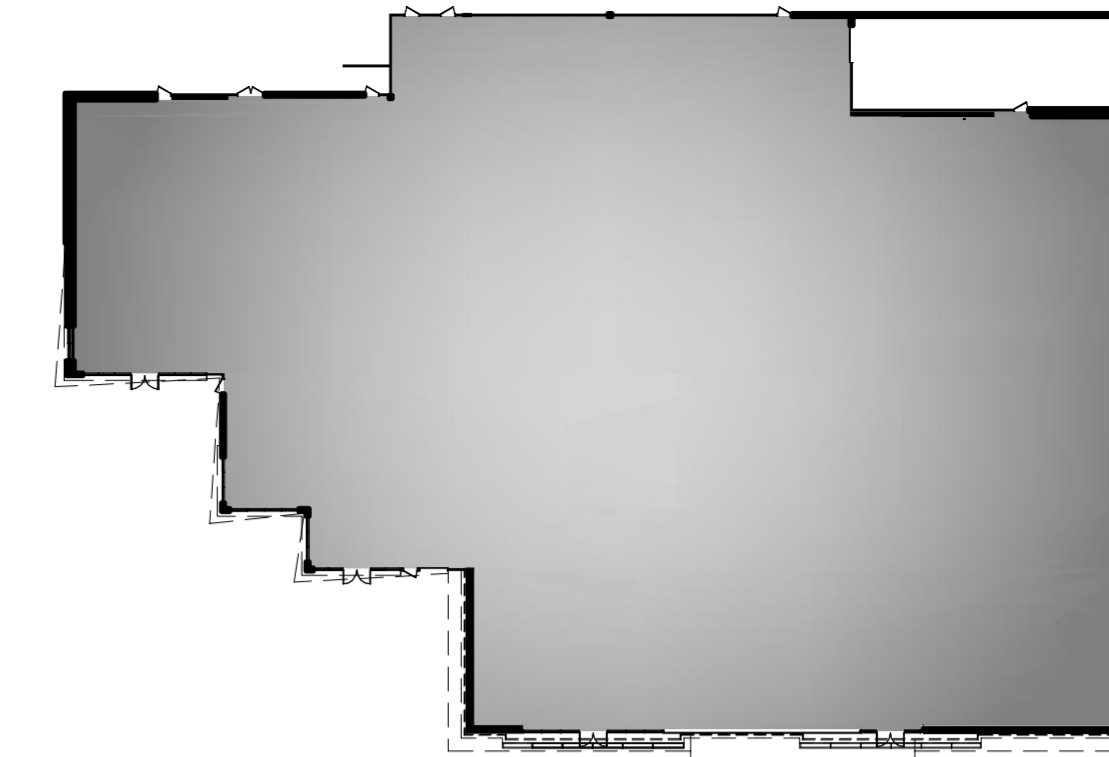
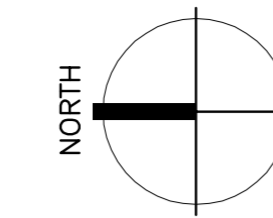
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**DEMOLITION FLOOR PLAN**

**DRAWING ISSUED**  
 ISSUED FOR CONSTRUCTION

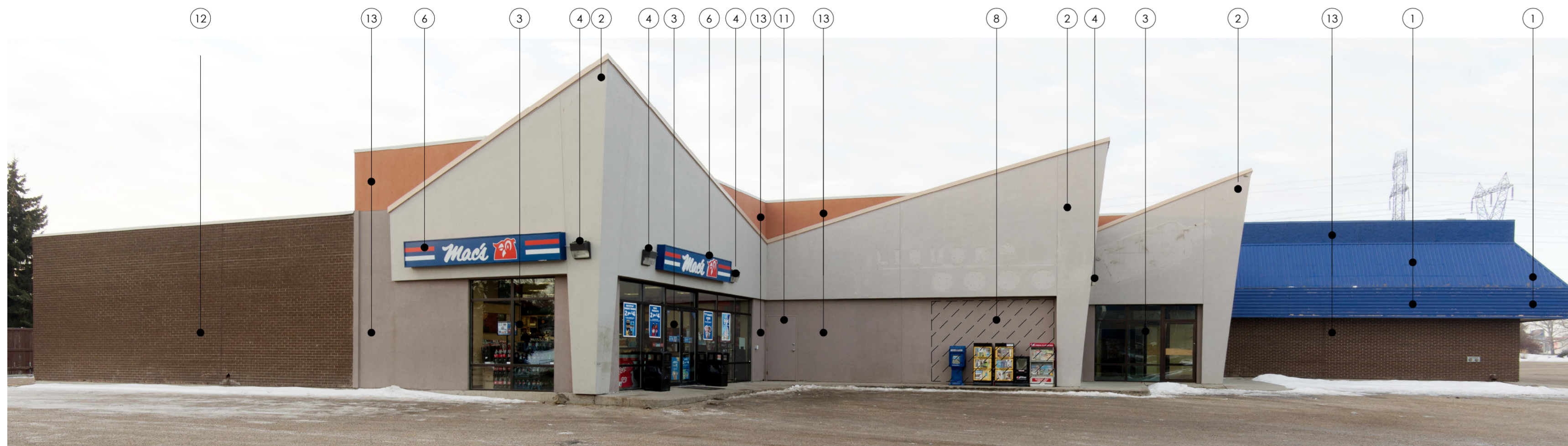
PROJECT NO. 1203	PLOT DATE 2014-09-19
DRAWING NO. A0.10	SCALE AS NOTED

REVISION





2 VIEW  
SCALE: N.T.S.



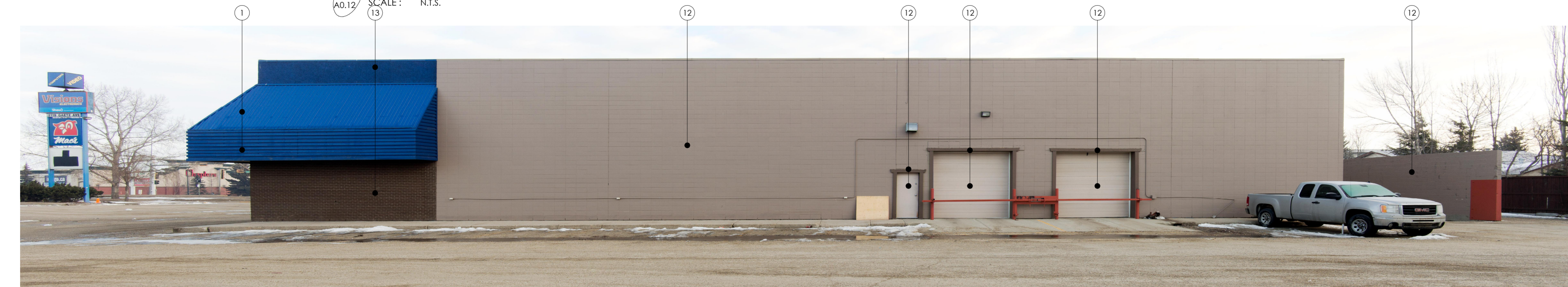
- 1 REMOVE/DEMOLISH MANSARD ROOF BUILDOUT
- 2 REMOVE/DEMOLISH ARCHITECTURAL BUILDOUT
- 3 REMOVE/DEMOLISH REPLACE GLAZING AND ALUMINUM STOREFRONT AND ENTRANCE - SEE ELEVATIONS AND DOOR/WINDOW SCHEDULE
- 4 REMOVE EXTERIOR LIGHT FIXTURE - CLIENT TO PROVIDE SALVAGE OR DEMOLISH INSTRUCTIONS
- 5 REMOVE SIGNAGE - CLIENT TO PROVIDE SALVAGE OR DEMOLISH INSTRUCTION
- 6 REMOVE/REINSTALL SIGNAGE
- 7 RELOCATE
- 8 DEMO PORTION OF WALL FOR STOREFRONT GLAZING
- 9 REMOVE AND REPLACE
- 10 DEMO PORTION OF WALL
- 11 REMOVE AND REPLACE WITH NEW DOOR SEE DOOR SCHEDULE
- 12 REPAINT EXISTING STRUCTURE
- 13 REMOVE EXTERIOR LAYER OF EXISTING FINISH SUCH AS BRICK / STUCCO

1 DEMO KEY PLAN INDICATING VIEWS  
SCALE: N.T.S.

3 VIEW  
SCALE: N.T.S.



4 VIEW  
SCALE: N.T.S.



5 VIEW  
SCALE: N.T.S.

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DRAWING TITLE

**DEMOLITION KEY PLAN WITH VIEWS**

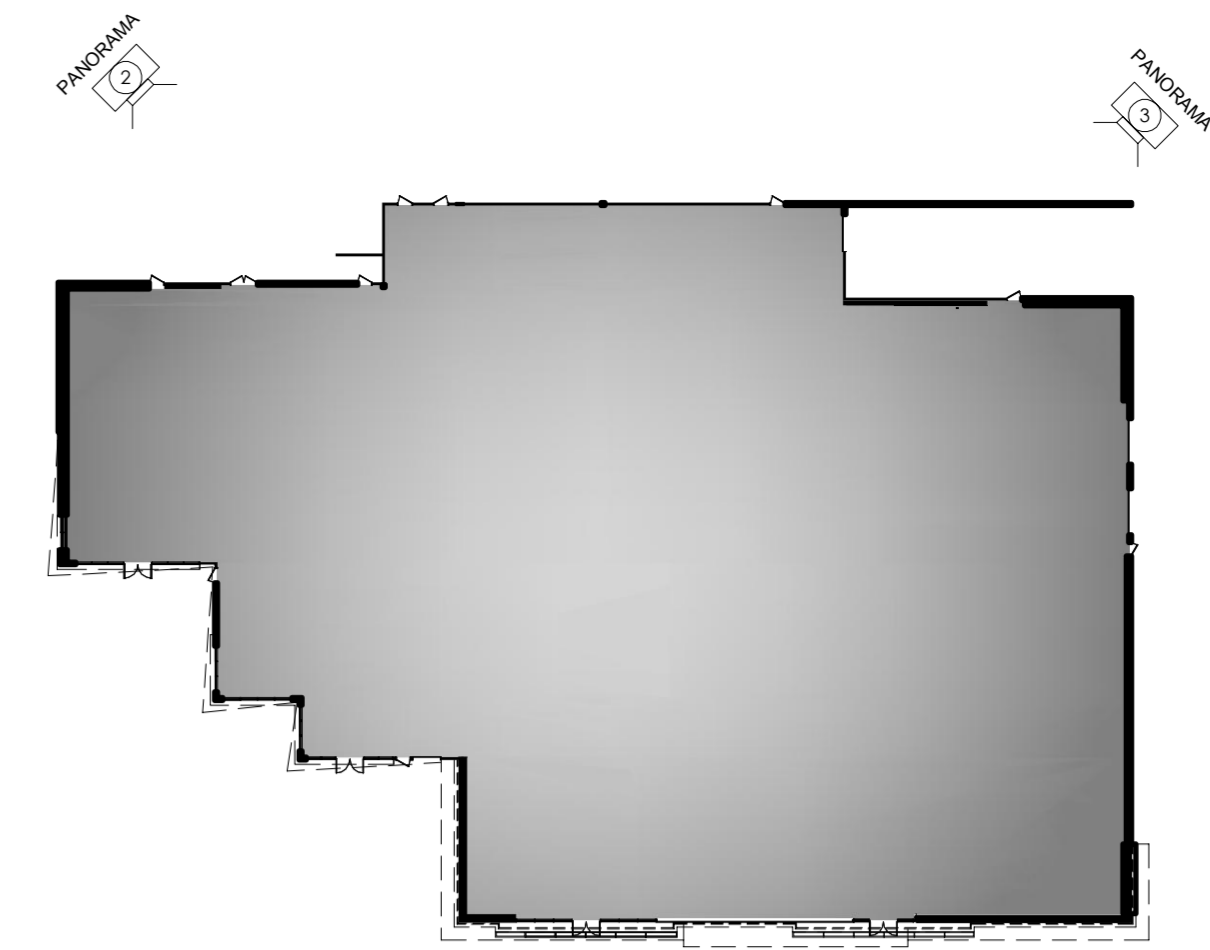
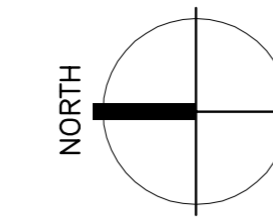
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DRAWING NO. **A0.11** REVISION



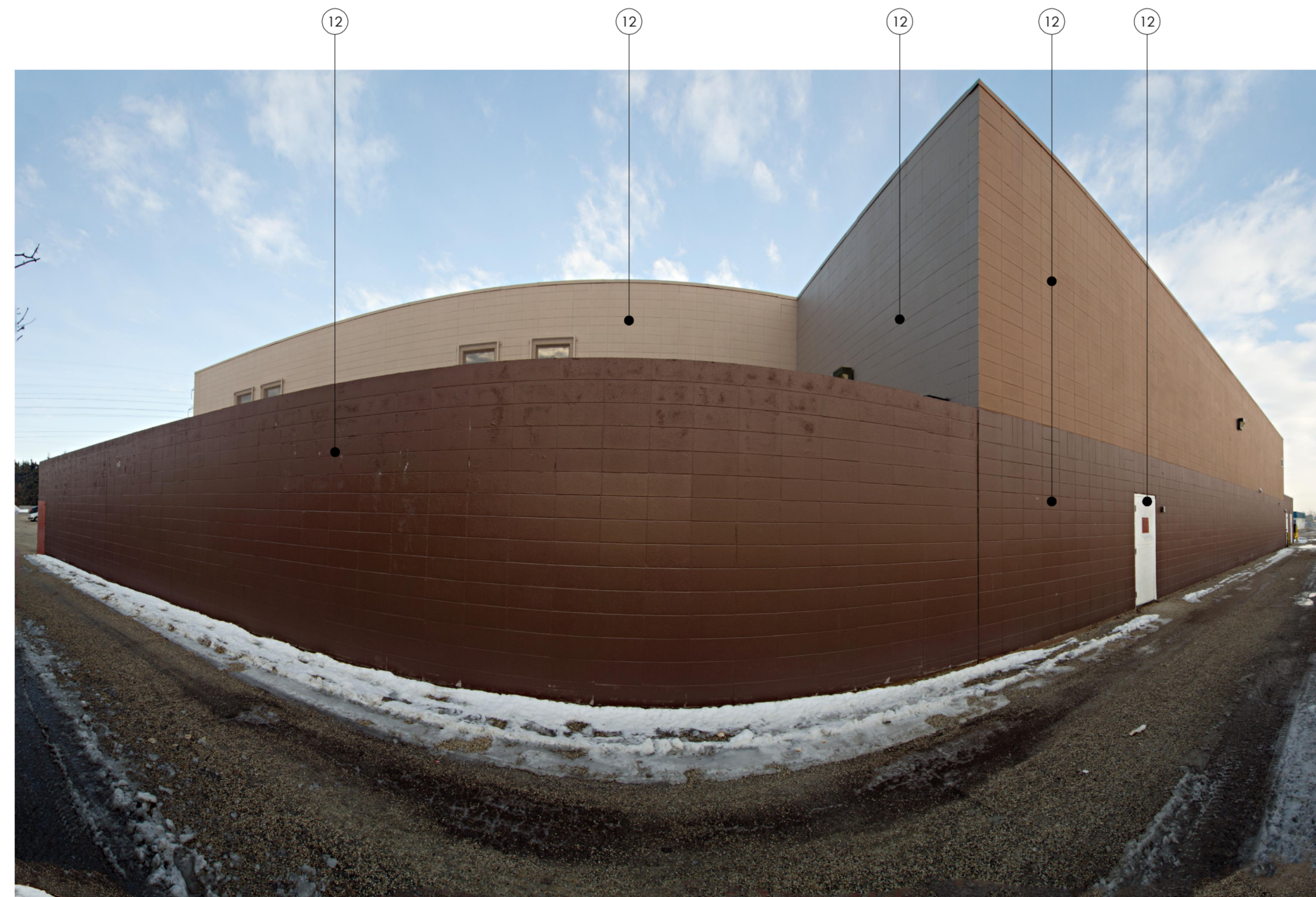


1 DEMO KEY PLAN INDICATING VIEWS  
 A0.12 SCALE: N.T.S.



2 VIEW  
 A0.12 SCALE: N.T.S.

- 1 REMOVE/DEMOLISH MANSARD ROOF BUILDOUT
- 2 REMOVE/DEMOLISH ARCHITECTURAL BUILDOUT
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- 10 DEMO PORTION OF WALL
- 11 REMOVE AND REPLACE WITH NEW DOOR SEE DOOR SCHEDULE
- 12 REPAINT EXISTING STRUCTURE
- 13 REMOVE EXTERIOR LAYER OF EXISTING FINISH SUCH AS BRICK / STUCCO



3 VIEW  
 A0.12 SCALE: N.T.S.

SEAL

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SEAL

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
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4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-14	DEVELOPMENT PERMIT	ML/KC	CK

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PROJECT  
**SHOPPING CENTRE - EXTERIOR RENOVATION**  
 MUNICIPAL ADDRESS(S)  
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4  
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE  
**DEMOLITION KEY PLAN WITH VIEWS**

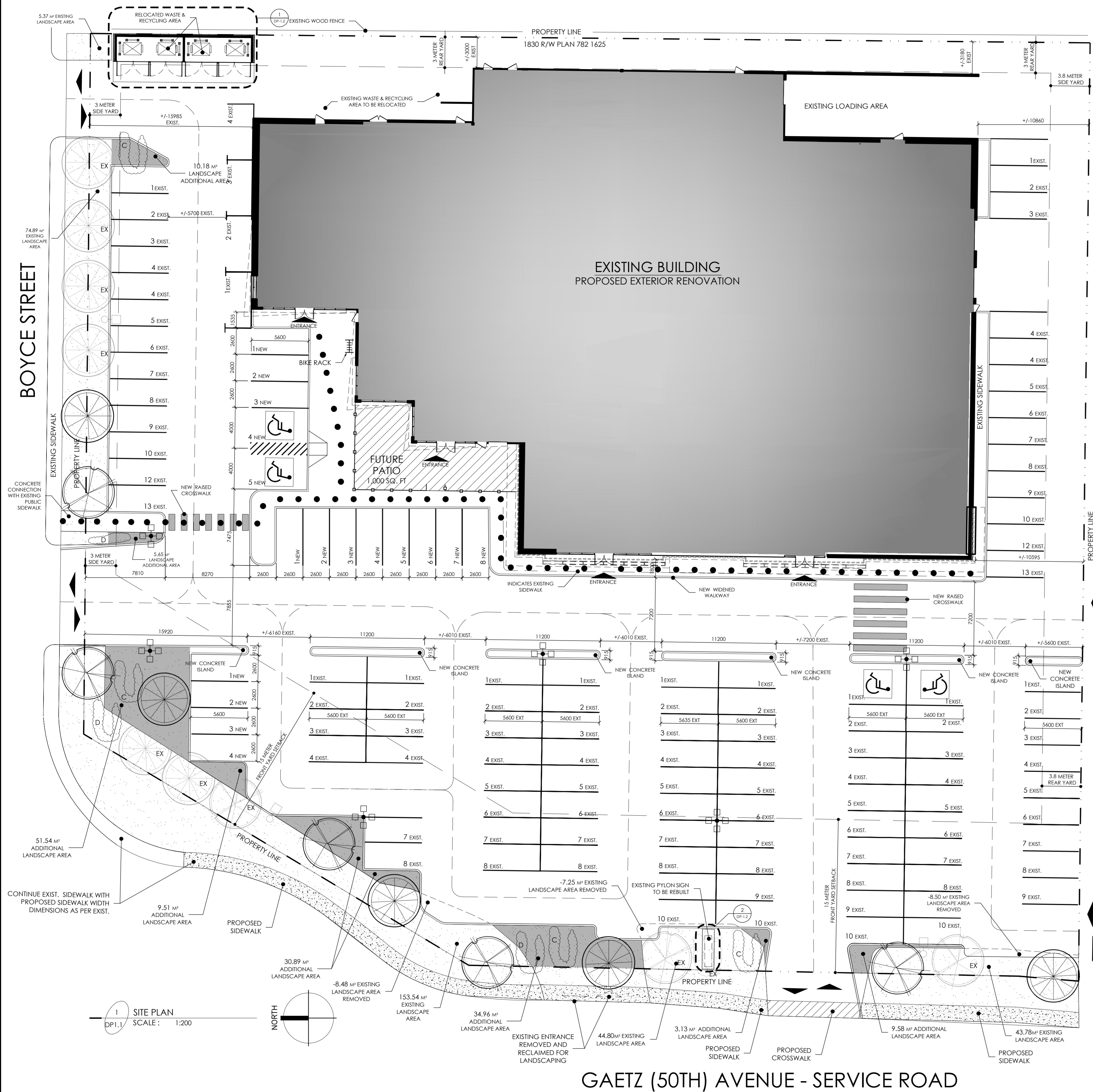
DRAWING ISSUED  
 ISSUED FOR CONSTRUCTION

PROJECT NO. 1203	PLOT DATE 2014-09-19
SCALE AS NOTED	

DRAWING NO. **A0.12** REVISION



# LANDSCAPED LANE



## CITY OF RED DEER LAND USE BYLAW 3357/2006

LEGAL DESCRIPTION: LOT 11, BLOCK 1, PLAN 832 2478  
 PARCEL ADDRESS: 101 2127 50 AVENUE  
 MUNICIPAL ADDRESS: 24 2119 50th AVENUE, RED DEER, ALBERTA  
 ZONING: C-4 - COMMERCIAL (MAJOR ARTERIAL) DISTRICT  
 USE: MERCHANDISE SALES AND/OR RENTAL  
 SITE AREA: 8483.01 M<sup>2</sup>  
 FLOOR AREA: 2,704.57 M<sup>2</sup>

### 5.6 (2) C4 COMMERCIAL (MAJOR ARTERIAL) DISTRICT REGULATIONS

REGULATIONS	REQUIREMENTS	EXISTING	PROPOSED	TOTAL	RELAXATION/REQUIRED
FLOOR AREA	ONE THIRD OF SITE AREA: 8483.01 M <sup>2</sup> / 3 = 2,827.68 M <sup>2</sup>	2,687.05 M <sup>2</sup>	2,704.57 M <sup>2</sup> (17.52 M <sup>2</sup> ADDITION)	2,704.57 M <sup>2</sup>	-
BUILDING HEIGHT MAXIMUM	THREE STOREYS - MAXIMUM	ONE STOREY	EXISTING ONE STOREY	-	-
FRONT YARD MINIMUM	15.0 m	40.1 m	EXISTING TO REMAIN	-	-
SIDE YARD NORTH MINIMUM	3.0 M WHEN IT ABUTS A STREET	16 M	EXISTING TO REMAIN	-	-
SIDE YARD SOUTH MINIMUM	3.8 M ON ONE SIDE WHEN THERE IS NO CONSTRUCTED LANE	10.8 M	EXISTING TO REMAIN	-	-
REAR YARD MINIMUM	3.0 m	3.0 M	EXISTING TO REMAIN	-	-
PARKING REQUIREMENTS TABLE 3.1	5.1 PER 93.0 M <sup>2</sup> (GROSS FLOOR AREA); (2,704.57 M <sup>2</sup> / 93.0 M <sup>2</sup> ) x 5.1 = 149 STALLS	119 STALLS	13 STALLS	132 STALLS	17 STALLS * SEE NOTE 2
BARRIER FREE PARKING STALLS	3 STALLS REQUIRED AS PER ABC 3.8.2.2.	2 STALLS	2 STALLS	4 STALLS	-
LOADING SPACES MINIMUM	1	1 EXISTING	EXISTING TO REMAIN	-	-
SITE AREA	MINIMUM 1393 M <sup>2</sup> MAXIMUM 4.0 Hg	8483.1 M <sup>2</sup>	EXISTING TO REMAIN	-	-
FRONTAGE	MINIMUM 103.7 M	-	-	-	-

### (3.6) LANDSCAPING REGULATIONS

REGULATIONS	REQUIREMENTS	EXISTING	PROPOSED	TOTAL	RELAXATION/REQUIRED
LANDSCAPED AREA MINIMUM	40% OF MINIMUM FRONT YARD: 1560.56 M <sup>2</sup> X .40 = 624.22 M <sup>2</sup>	322.38 M <sup>2</sup>	155.44 M <sup>2</sup>	477.82 M <sup>2</sup>	-146.4M <sup>2</sup> * SEE NOTE 1
LANDSCAPING REGULATIONS	MAIN ENTRY AREA: ONE TREE PER 40 M <sup>2</sup> OF LANDSCAPE AREA = 15 TREES (8 CONIFEROUS & 7 DECIDUOUS)	9 TREES (6 CONIFEROUS 3 DECIDUOUS)	-	-	-
MAIN ENTRY AREA (WEST SIDE): TREES	ONE TREE PER 40 M <sup>2</sup> OF LANDSCAPE AREA = 9 TREES (5 CONIFEROUS & 4 DECIDUOUS)	5 TREES (2 CONIFEROUS 3 DECIDUOUS)	4 TREES (3 CONIFEROUS 1 DECIDUOUS)	9 TREES (5 CONIFEROUS 4 DECIDUOUS)	-
MAIN ENTRY AREA (WEST SIDE): SHRUBS	TWO SHRUBS PER 40 M <sup>2</sup> OF LANDSCAPE AREA = 19 SHRUBS (10 CONIFEROUS & 9 DECIDUOUS)	9 SHRUBS (CONIFEROUS)	10 SHRUBS (9 DECIDUOUS 1 CONIFEROUS)	19 SHRUBS (9 DECIDUOUS 10 CONIFEROUS)	-
ALL OTHER AREAS (NORTH SIDE): TREES	ONE TREE PER 60 M <sup>2</sup> OF LANDSCAPE AREA = 2 TREES (1 CONIFEROUS & 1 DECIDUOUS)	4 TREES (4 CONIFEROUS)	2 TREES (1 CONIFEROUS 1 DECIDUOUS)	6 TREES (1 DECIDUOUS 5 CONIFEROUS)	-
ALL OTHER AREAS (NORTH SIDE): SHRUBS	ONE SHRUB PER 30 M <sup>2</sup> OF LANDSCAPE AREA = 3 SHRUBS (2 CONIFEROUS & 1 DECIDUOUS)	0 SHRUBS	18 SHRUBS (9 DECIDUOUS 9 CONIFEROUS)	18 SHRUBS (9 DECIDUOUS 9 CONIFEROUS)	-
TOTAL		9 TREES 9 SHRUBS	6 TREES 28 SHRUBS	15 TREES 37 SHRUBS	-

NOTES:  
 1. TOTAL LANDSCAPING AREA IS 914.4 M<sup>2</sup> TOTAL WHEN INCLUDING LANDSCAPING BETWEEN PROPERTY LINE AND ROADS.  
 2. ALL EXISTING PARKING STALLS ARE TO REMAIN AS INDICATED AS "EXIST." THE BUILDING AREA IS ONLY BEING INCREASED BY 17.52 M<sup>2</sup> WHICH AMOUNTS TO AN INCREASE OF 1 STALL IN THE NUMBER OF REQUIRED PARKING STALLS. INCLUDED IN THE EXISTING PARKING PROVIDED ARE THE 11 STALLS ALONG THE SOUTH SIDE OF THE PROPERTY LINE THAT ARE SHARED WITH ADJACENT SITE.

**LEGEND:**

- EXISTING CONIFEROUS TREE
- PROPOSED CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- PROPOSED DECIDUOUS TREE
- EXISTING SHRUBS (9)
- PROPOSED GROUP CONIFEROUS SHRUBS (TYP. CONTAINS OF 9 INDIVIDUAL SHRUBS)
- EXISTING GRASS
- PROPOSED GROUP DECIDUOUS SHRUBS (TYP. CONTAINS OF 9 INDIVIDUAL SHRUBS)
- EXISTING TO REMAIN
- EXISTING LIGHT STANDARD
- ADDITIONAL LANDSCAPE AREA
- PROPOSED LIGHT STANDARD
- PEDESTRIAN CONNECTION



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2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

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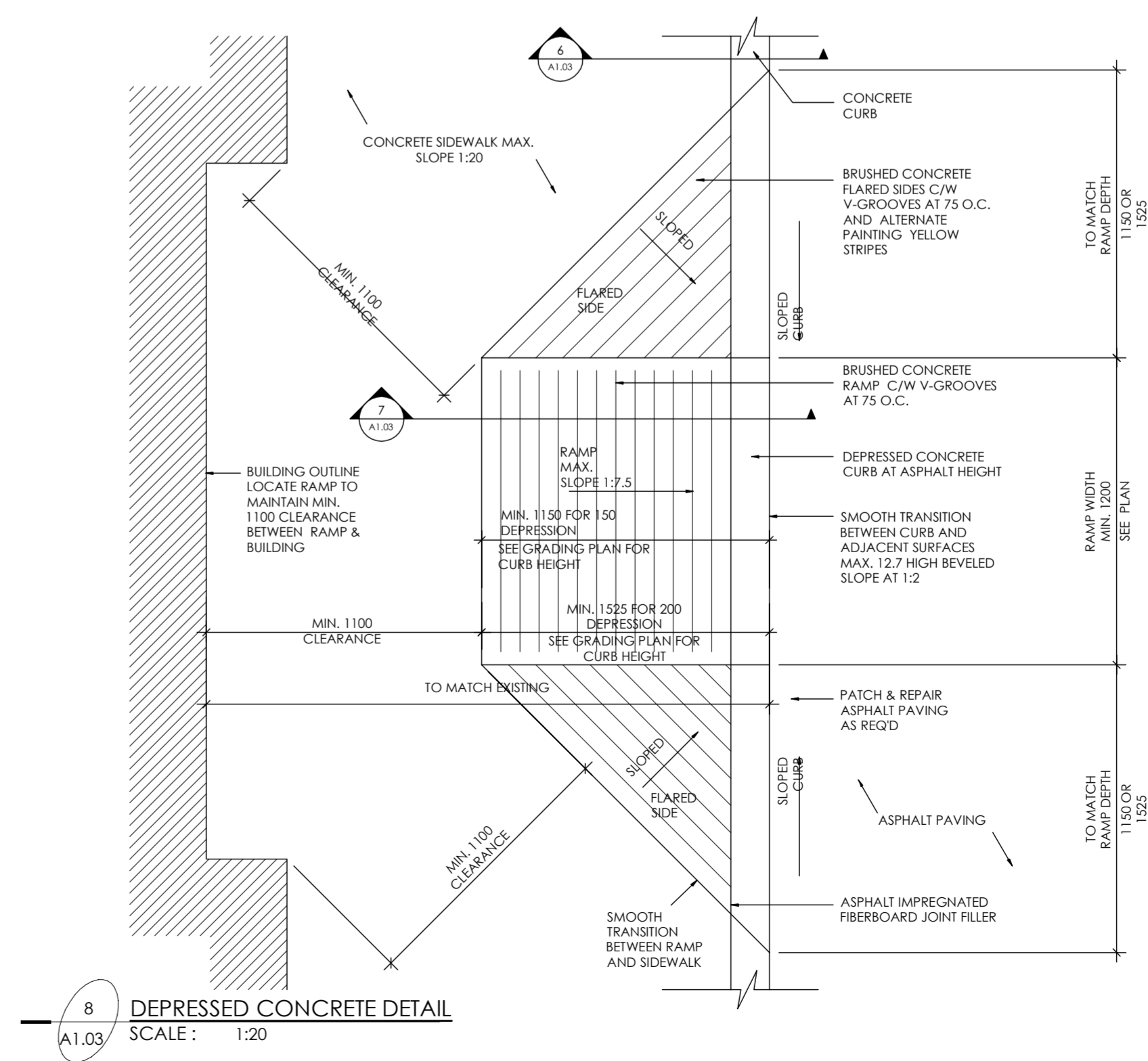
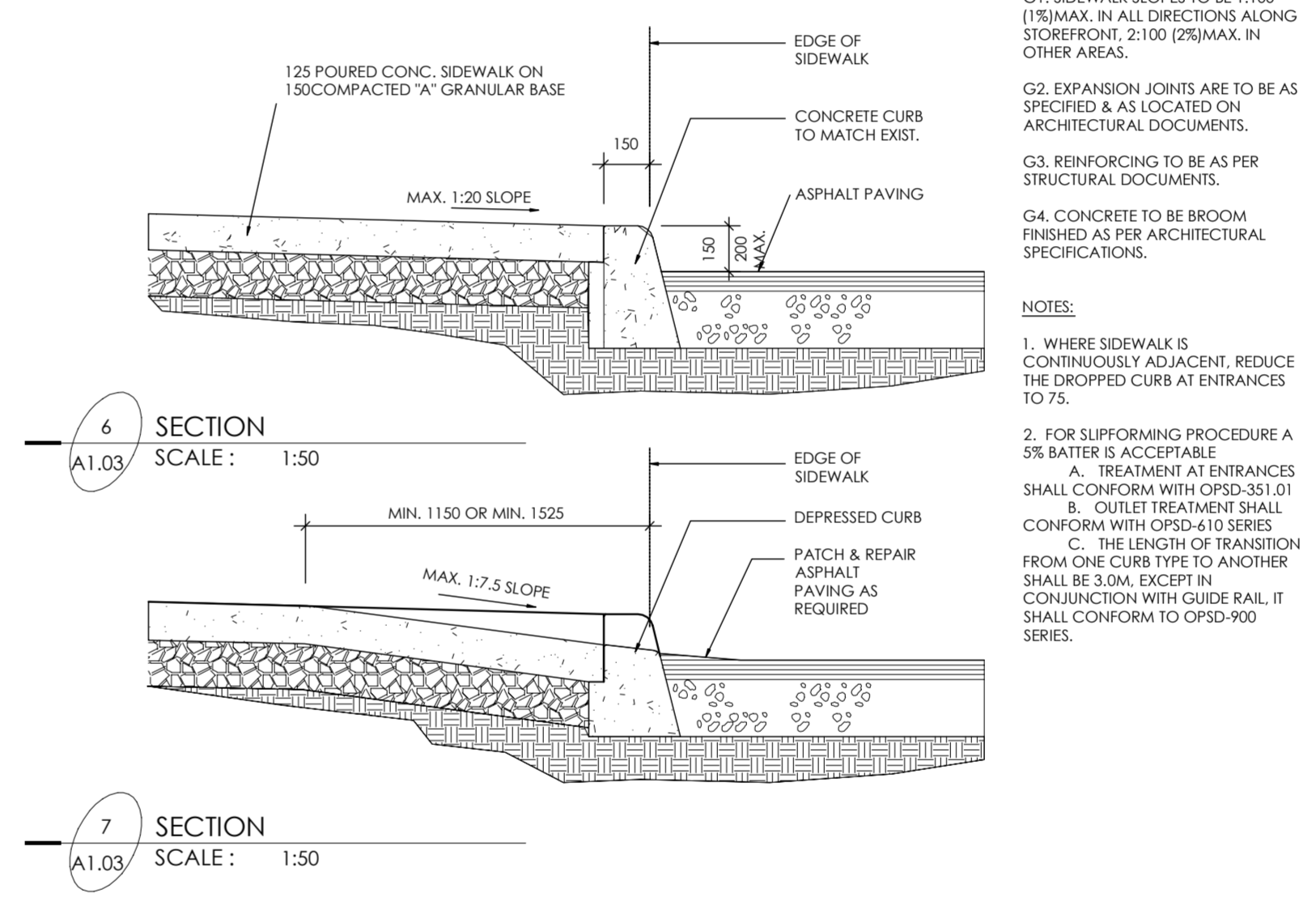
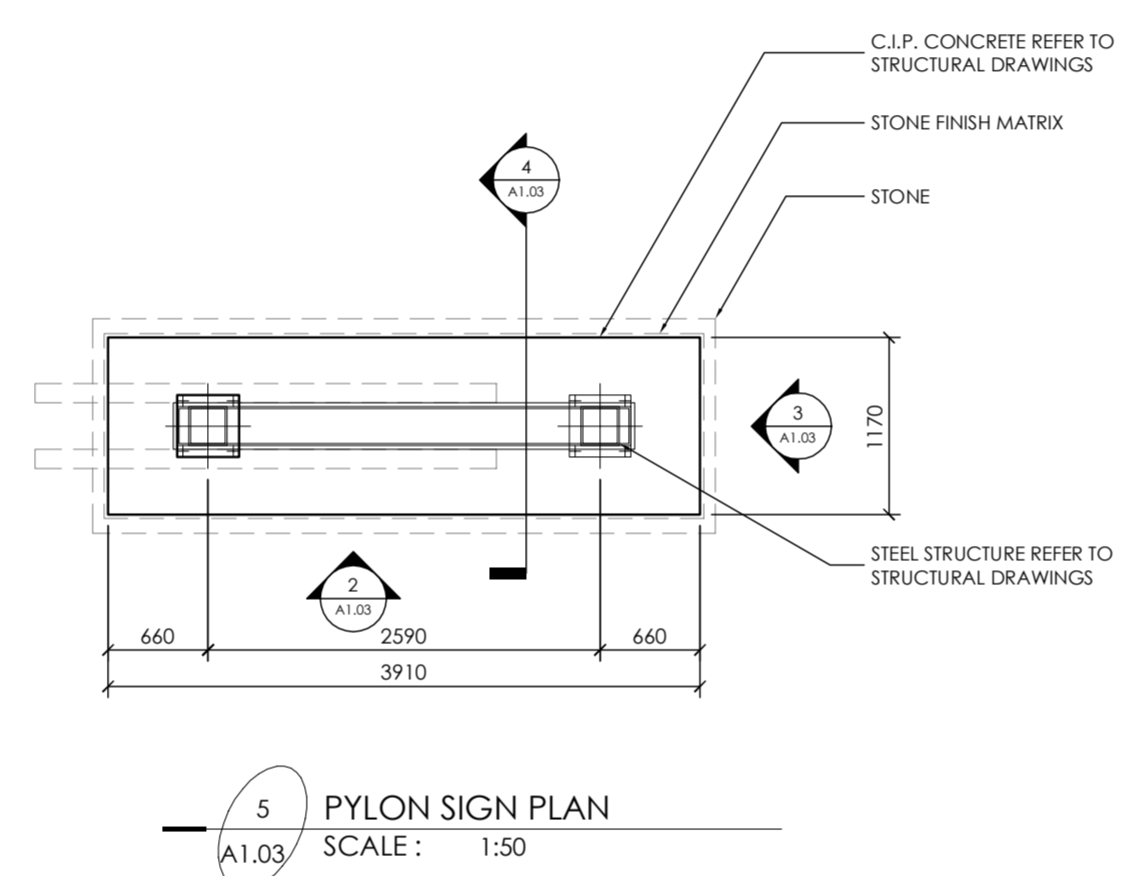
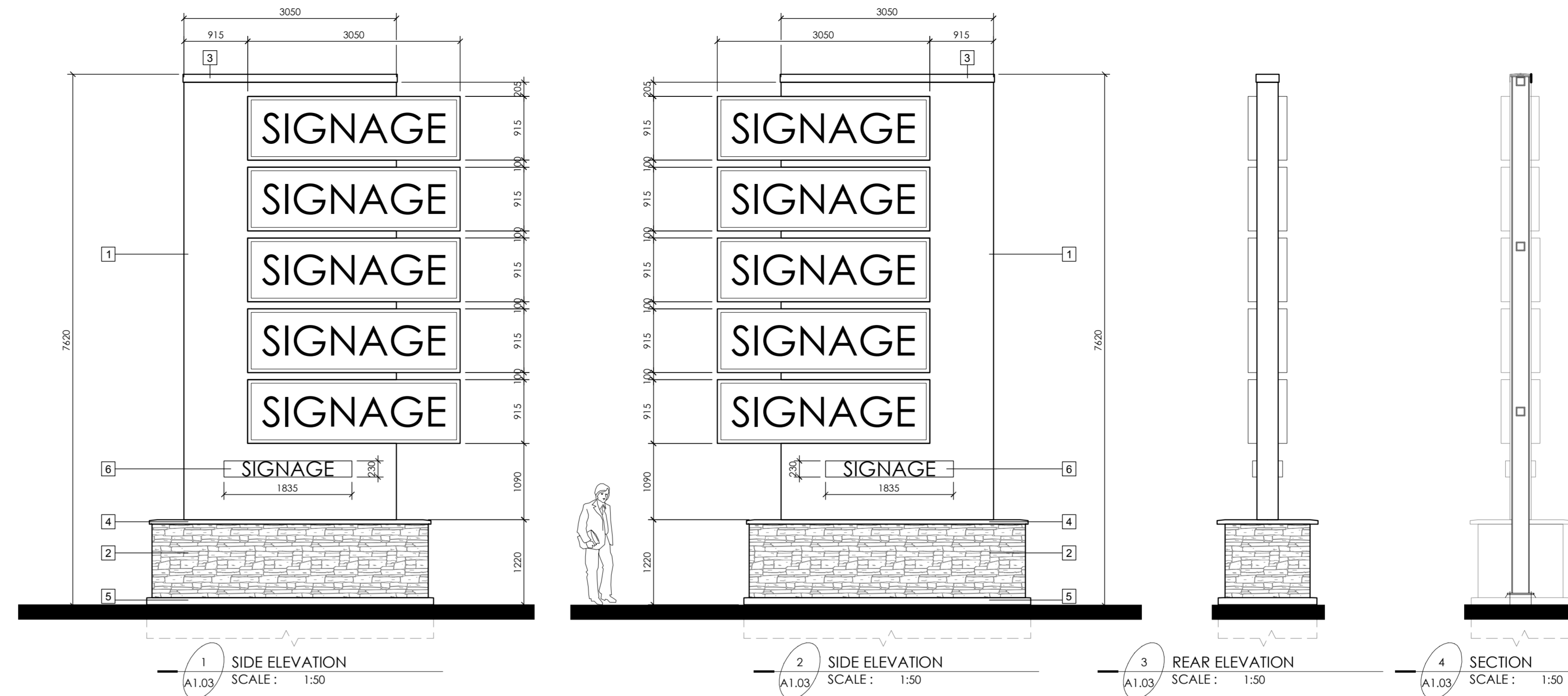
**DRAWING TITLE**  
**SITE PLAN**

**DRAWING ISSUED**  
 ISSUED FOR CONSTRUCTION

**PROJECT NO.** 1203  
**PLOT DATE** 2014-09-19  
**SCALE** AS NOTED

**DRAWING NO.** A1.01  
**REVISION**





**GENERAL NOTES:**  
 G1. SIDEWALK SLOPES TO BE 1:100 (1%) MAX. IN ALL DIRECTIONS ALONG STOREFRONT, 2:100 (2%) MAX. IN OTHER AREAS.  
 G2. EXPANSION JOINTS ARE TO BE AS SPECIFIED & AS LOCATED ON ARCHITECTURAL DOCUMENTS.  
 G3. REINFORCING TO BE AS PER STRUCTURAL DOCUMENTS.  
 G4. CONCRETE TO BE BROOM FINISHED AS PER ARCHITECTURAL SPECIFICATIONS.

**NOTES:**  
 1. WHERE SIDEWALK IS CONTINUOUSLY ADJACENT, REDUCE THE DROPPED CURB AT ENTRANCES TO 75.  
 2. FOR SUPPORTING PROCEDURE A 5% BATTER IS ACCEPTABLE  
 A. TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD-351.01  
 B. OUTLET TREATMENT SHALL CONFORM WITH OPSD-410 SERIES  
 C. THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD-900 SERIES.

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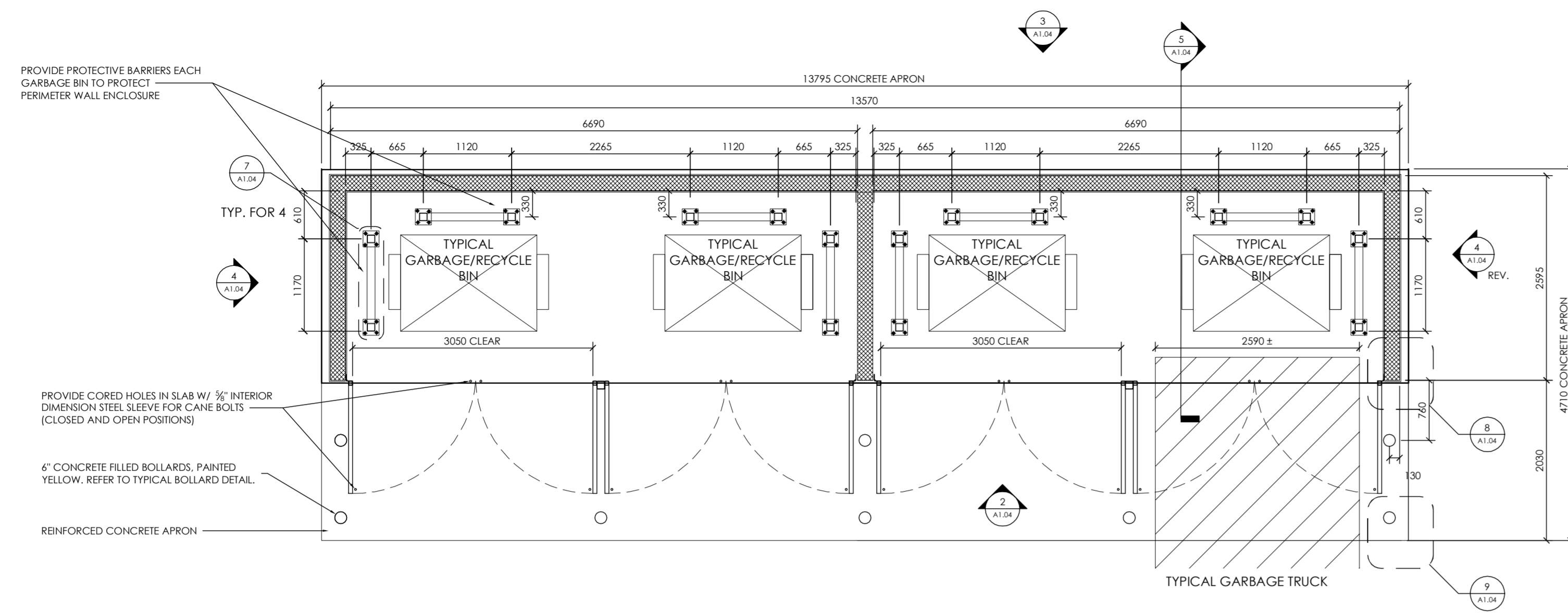
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**SITE PLAN DETAILS**

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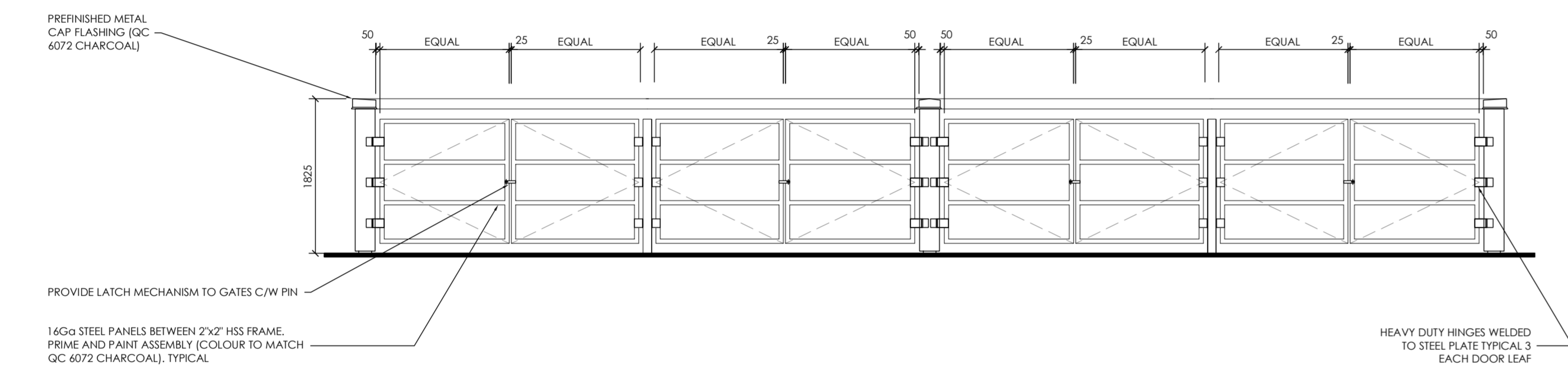
PROJECT NO. 1203  
 PLOT DATE 2014-09-19  
 SCALE AS NOTED

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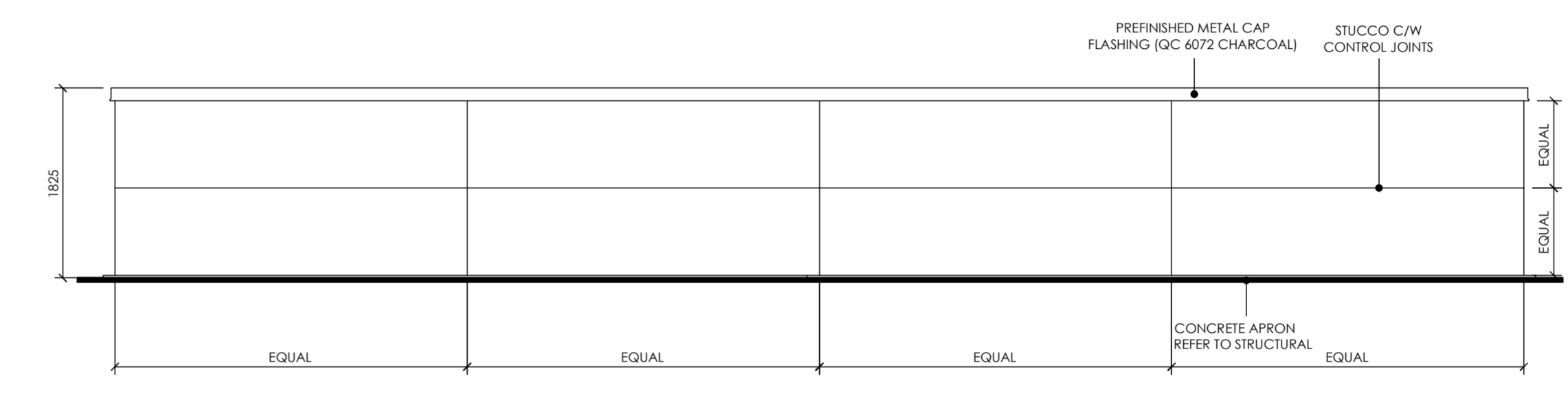




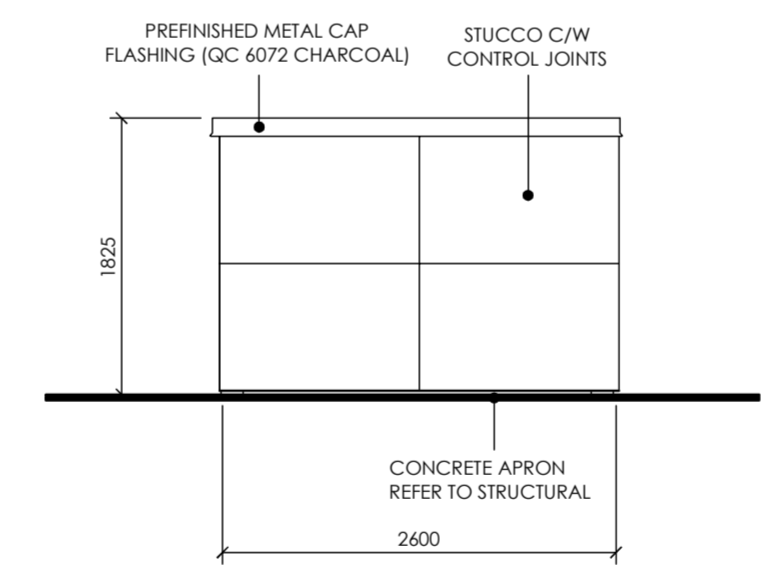
**1 FOUR COMPARTMENT GARBAGE ENCLOSURE PLAN**  
 A1-04 SCALE: 1:50



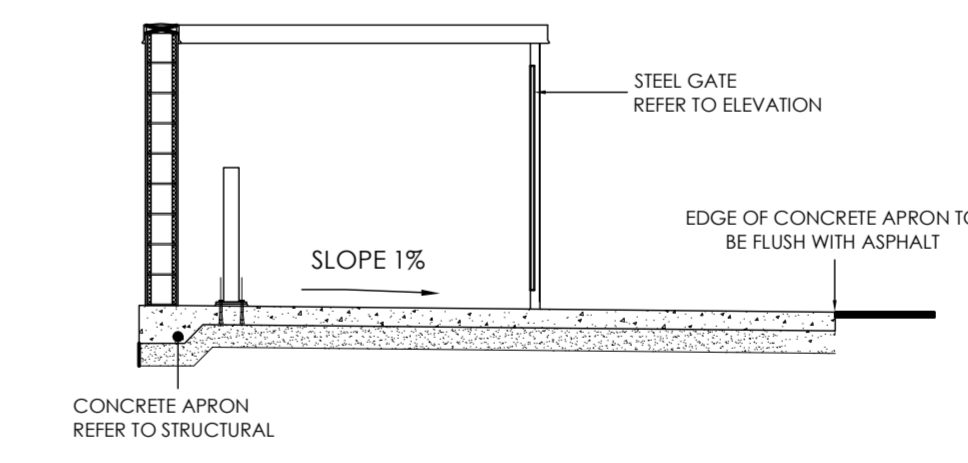
**2 FOUR COMPARTMENT GARBAGE ENCLOSURE ELEVATION**  
 A1-04 SCALE: 1:50



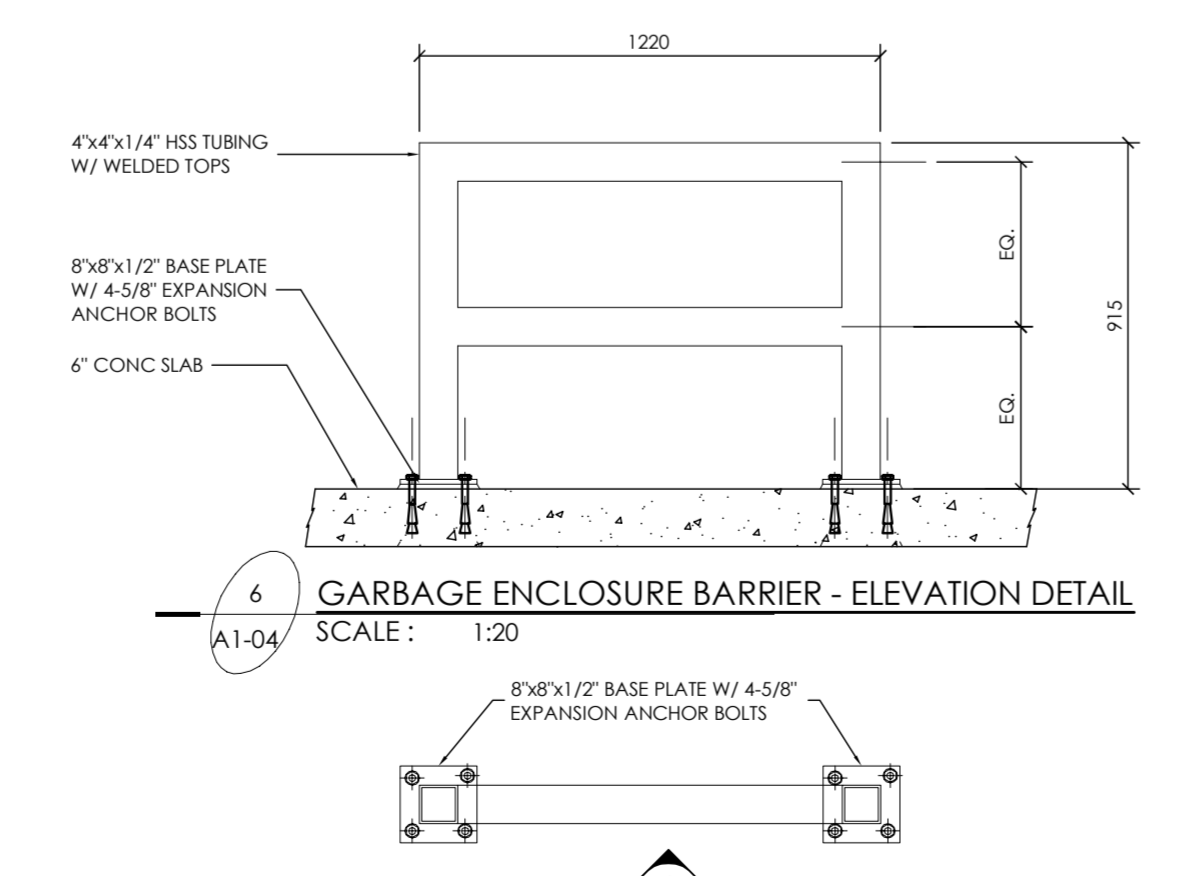
**3 FOUR COMPARTMENT GARBAGE ENCLOSURE ELEVATION**  
 A1-04 SCALE: 1:50



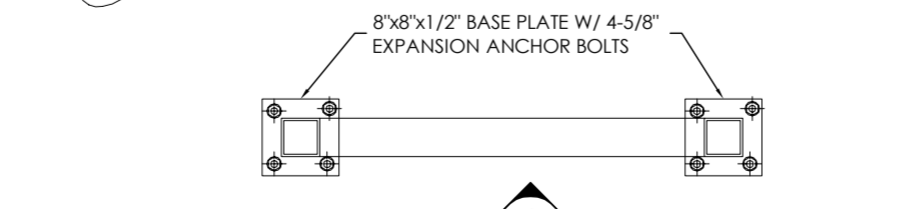
**4 SIDE ELEVATION**  
 A1-04 SCALE: 1:50



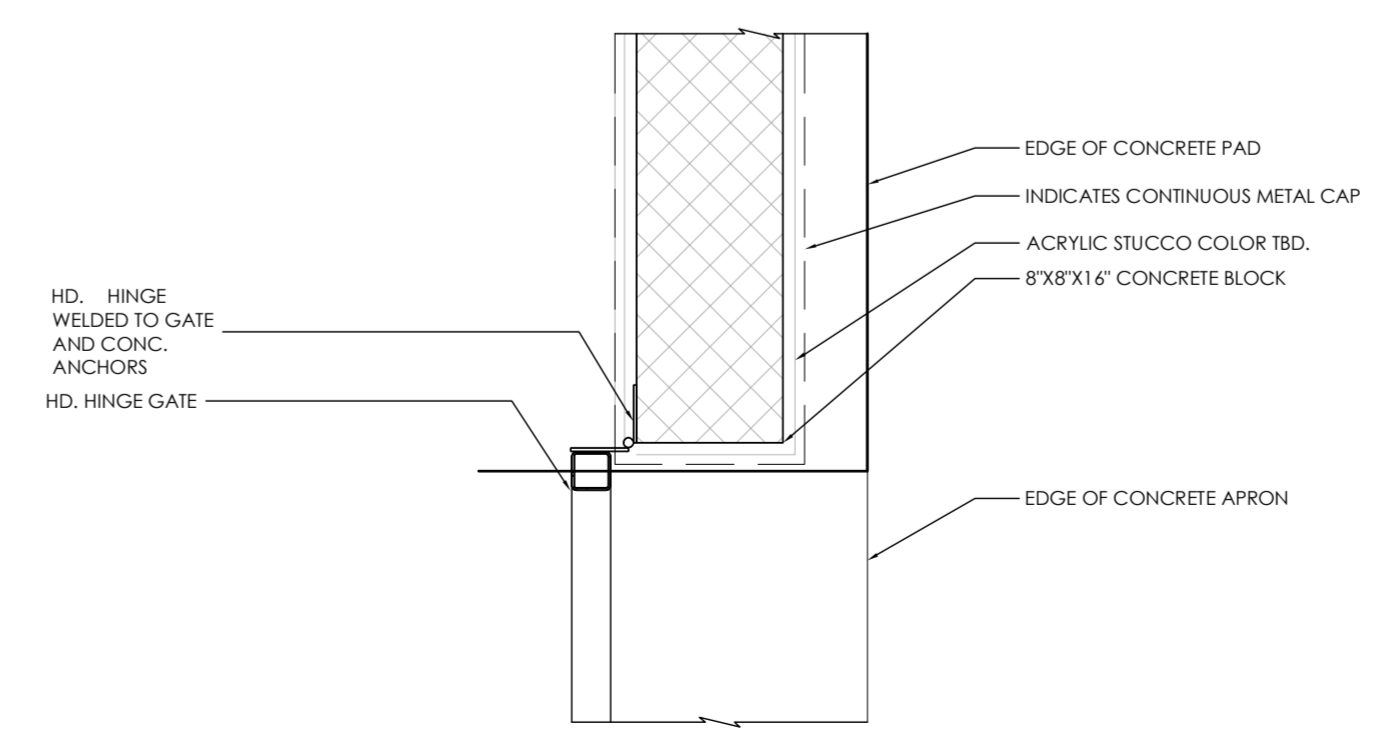
**5 GARBAGE ENCLOSURE SECTION**  
 A1-04 SCALE: 1:50



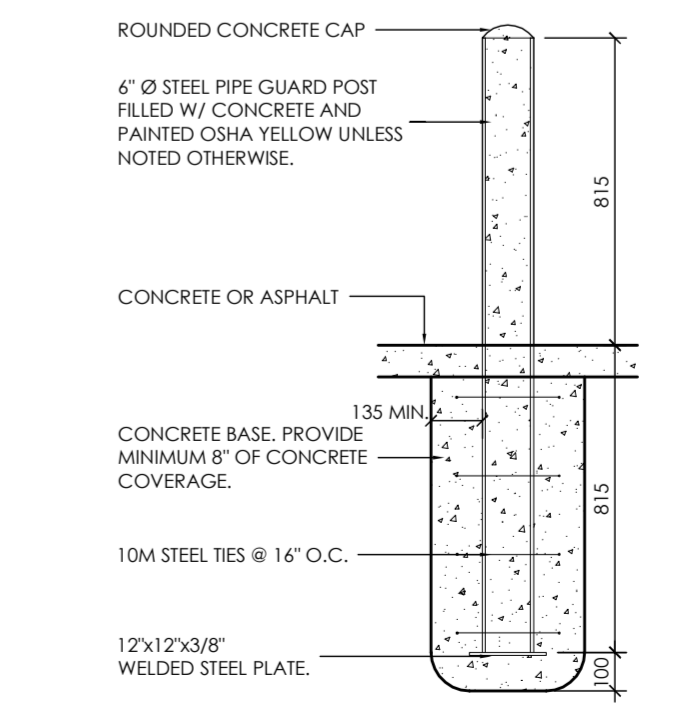
**6 GARBAGE ENCLOSURE BARRIER - ELEVATION DETAIL**  
 A1-04 SCALE: 1:20



**7 GARBAGE ENCLOSURE BARRIER - PLAN DETAIL**  
 A1-04 SCALE: 1:20



**8 DETAIL**  
 A1-04 SCALE: 1:10



**9 CAST IN PLACE BOLLARD DETAIL**  
 A1-04 SCALE: 1:20

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DRAWING TITLE  
**SITE PLAN DETAILS GARBAGE ENCLOSURE DETAILS**

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PROJECT NO. 1203	PLOT DATE 2014-09-19
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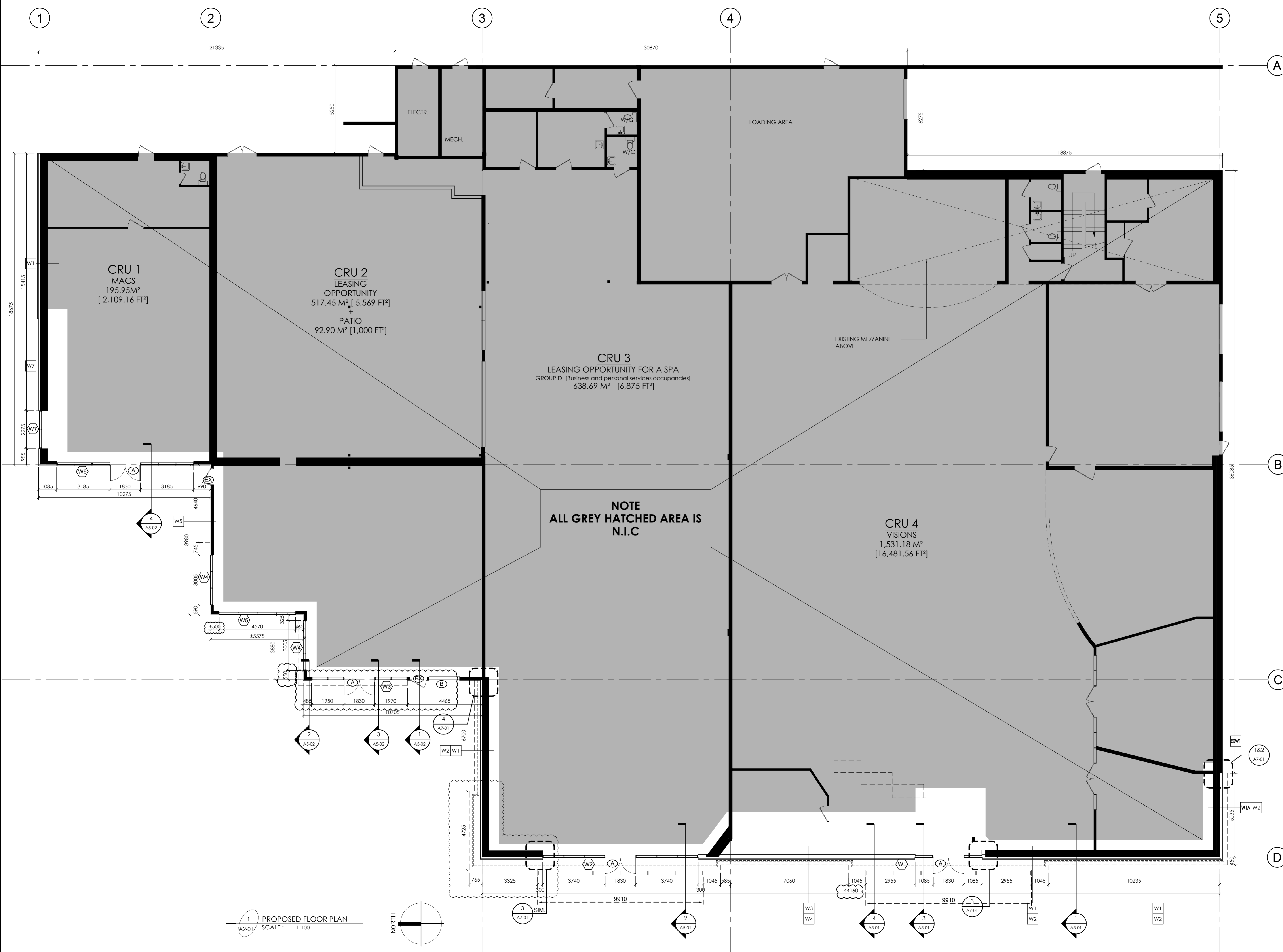
**MAIN FLOOR PLAN**

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PROJECT NO.	PLOT DATE
1203	2014-09-19
DRAWING NO.	SCALE
A2-01	AS NOTED

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1 PROPOSED FLOOR PLAN  
 SCALE: 1:100



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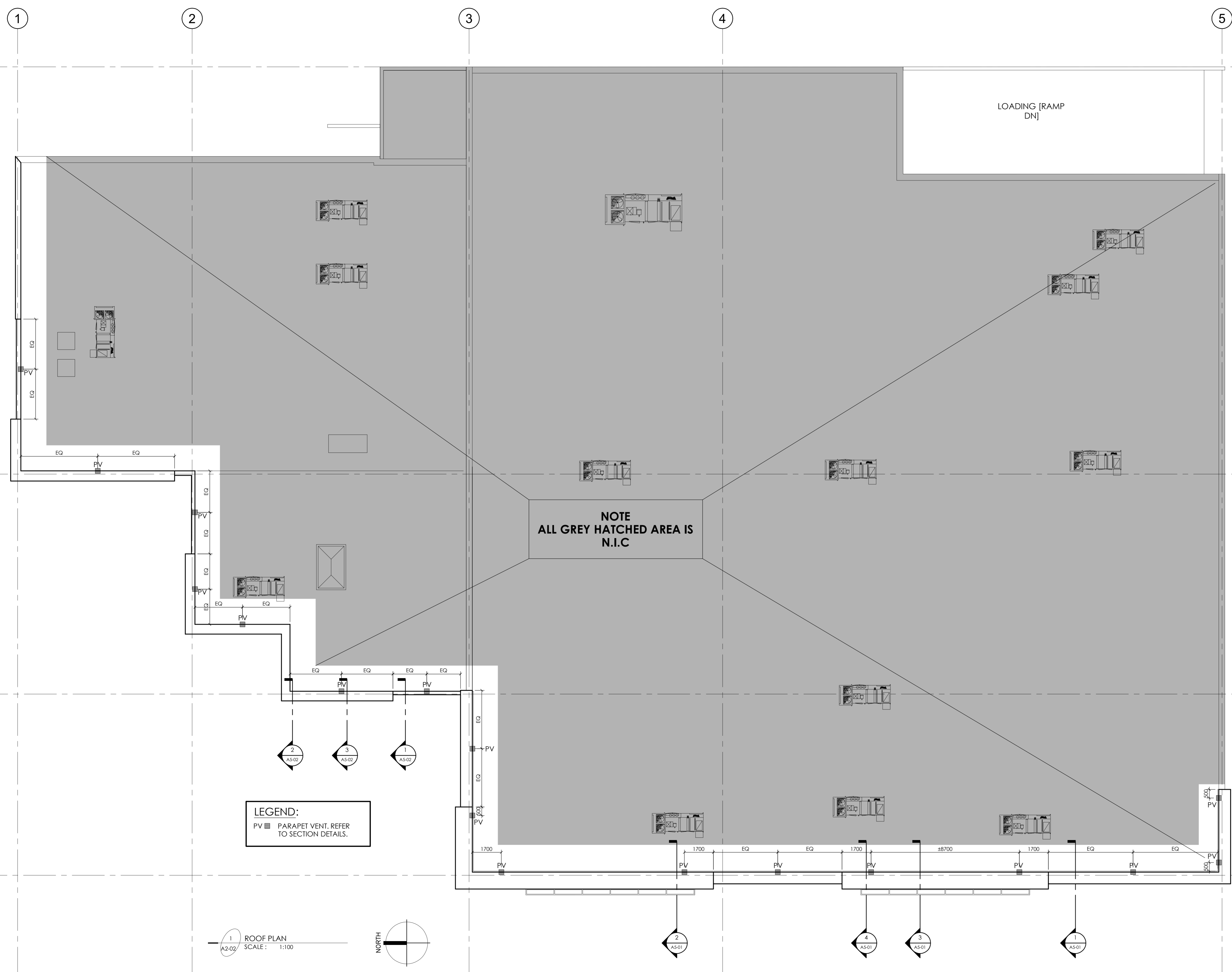
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DRAWING TITLE  
**ROOF PLAN**

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PROJECT NO. 1203	PLOT DATE 2014-09-19
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DRAWING NO. A2-02	REVISION



**LEGEND:**  
PV ■ PARAPET VENT. REFER TO SECTION DETAILS.

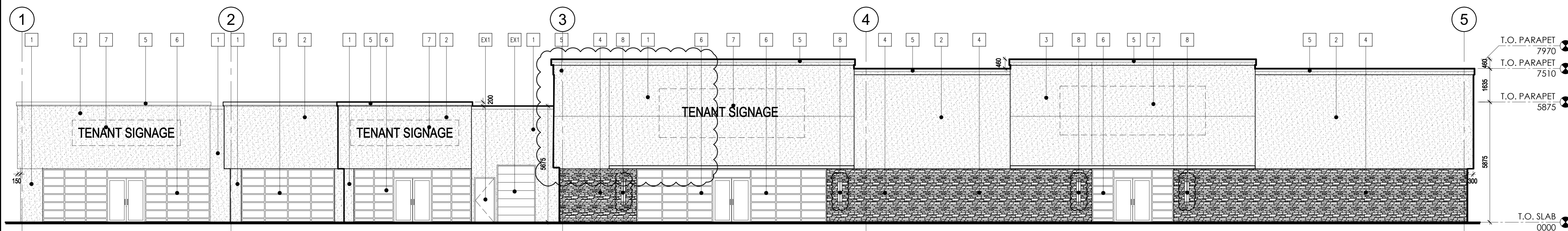
1 ROOF PLAN  
A2-02 SCALE: 1:100



**NOTE**  
ALL GREY HATCHED AREA IS N.I.C.

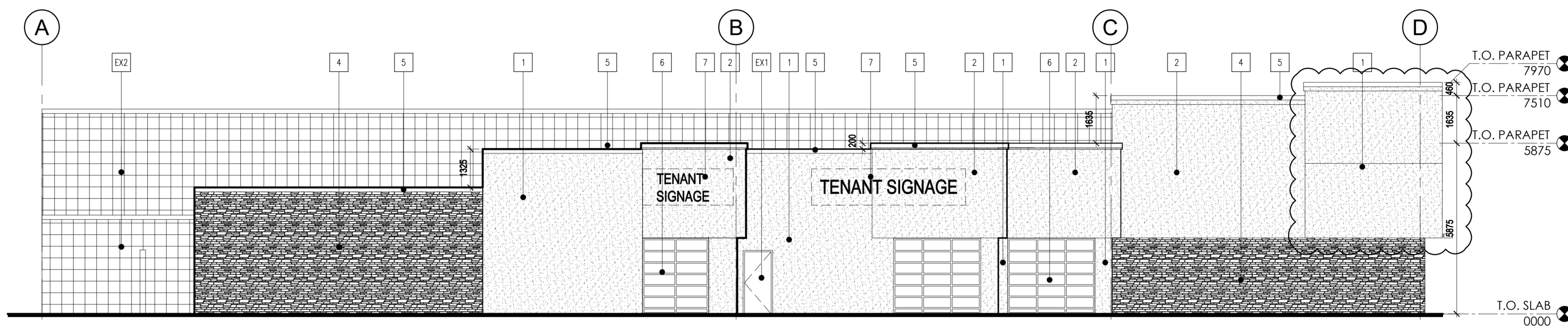
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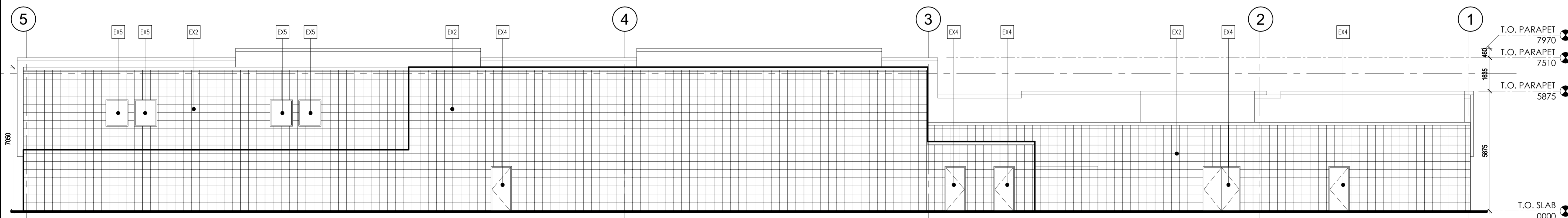


1 PROPOSED WEST ELEVATION  
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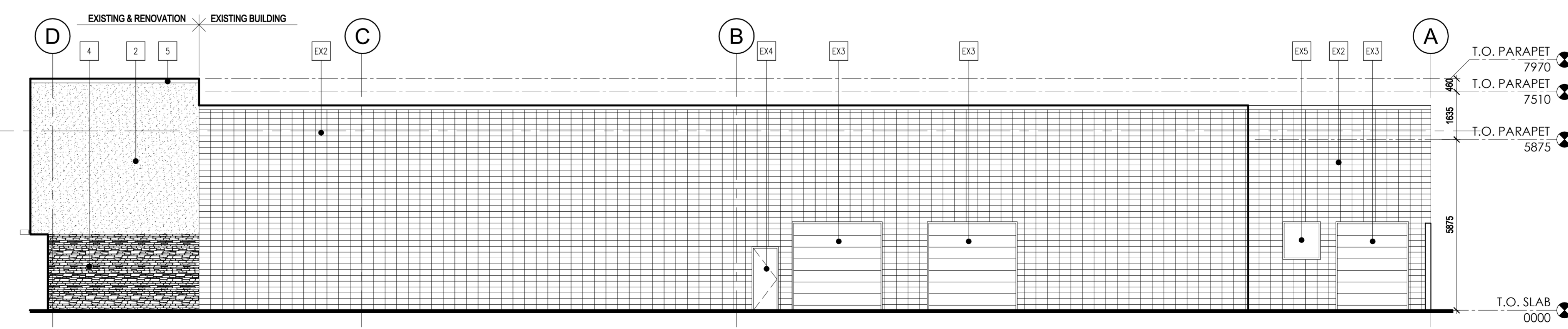
- MATERIALS LEGEND:**
- PROPOSED**
- 1 STUCCO - COLOUR #1
  - 2 STUCCO - COLOUR #2
  - 3 STUCCO - COLOUR #3 (JET BLUE SIGNAGE)
  - 4 CULTURED STONE (BLACK)
  - 5 PREFINISHED METAL FLASHING
  - 6 CLEAR ANODIZED ALUMINIUM STOREFRONT SYSTEM
  - 7 FUTURE TENANT SIGNAGE, NOT INCLUDED IN SUBJECT APPLICATION
  - 8 WALL MOUNTED EXTERIOR LIGHTING
- EXISTING**
- EX1 EXISTING METAL DOOR TO BE PAINTED TO MATCH COLOUR OF SURROUNDING EXTERIOR FINISH
  - EX2 EXISTING CONCRETE BLOCK - TO BE PAINTED
  - EX3 EXISTING OVERHEAD DOOR
  - EX4 EXISTING DOOR
  - EX5 EXISTING WINDOW



2 PROPOSED NORTH ELEVATION  
 (A3.01) SCALE: 1:100



3 EXISTING EAST ELEVATION  
 (A3.01) SCALE: 1:100



4 PROPOSED SOUTH ELEVATION  
 (A3.01) SCALE: 1:100

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NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW



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**PROJECT**

**SHOPPING CENTRE - EXTERIOR RENOVATION**  
 MUNICIPAL ADDRESS(S)  
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4  
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

**DRAWING TITLE**

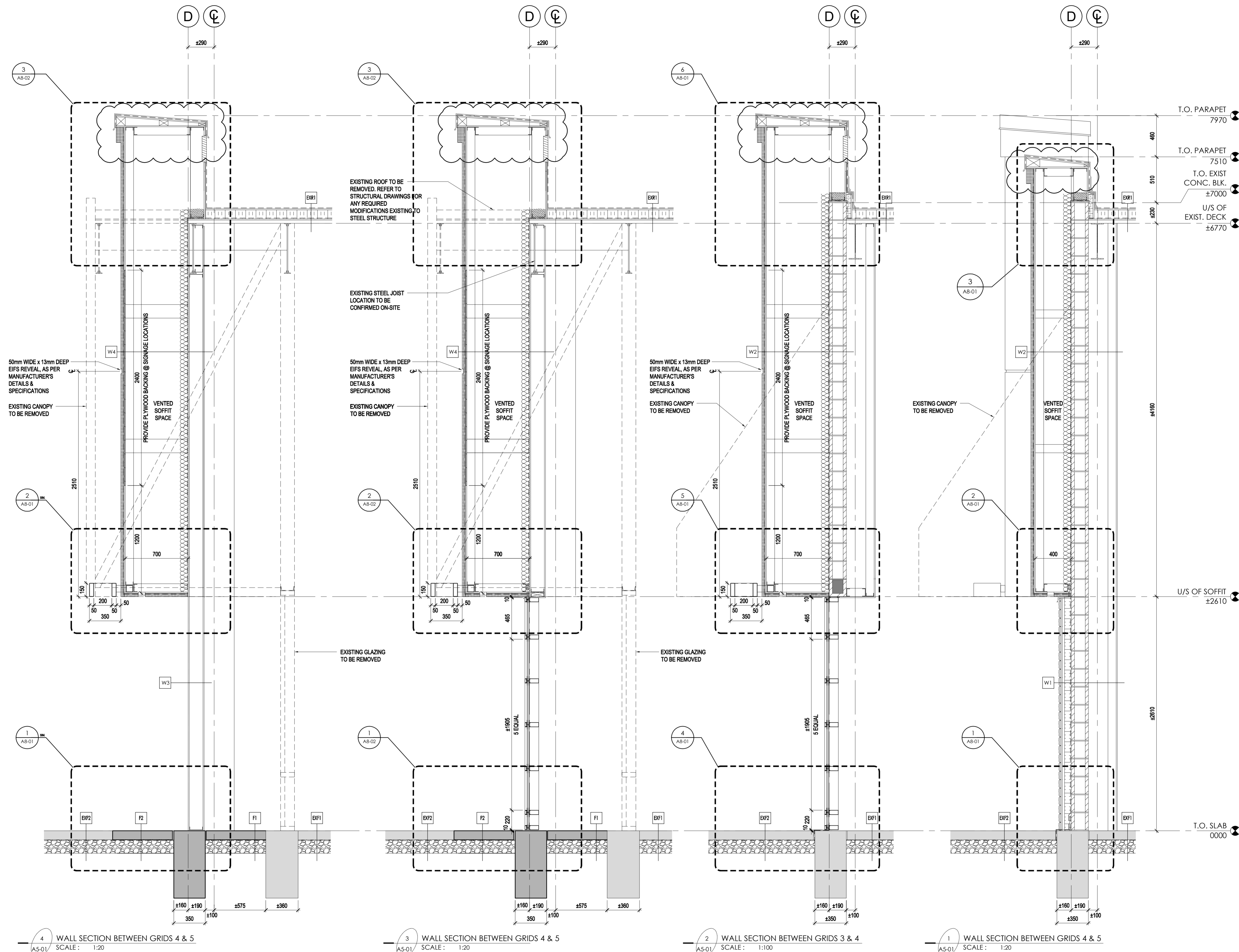
**ELEVATIONS**

**DRAWING ISSUED**

ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	2014-09-19
1203	SCALE	AS NOTED
DRAWING NO.	REVISION	
A3.01		





4 WALL SECTION BETWEEN GRIDS 4 & 5  
 SCALE: 1:20

3 WALL SECTION BETWEEN GRIDS 4 & 5  
 SCALE: 1:20

2 WALL SECTION BETWEEN GRIDS 3 & 4  
 SCALE: 1:100

1 WALL SECTION BETWEEN GRIDS 4 & 5  
 SCALE: 1:20

SEAL

T.O. PARAPET 7970  
 T.O. PARAPET 7510  
 T.O. EXIST CONC. BLK. ±7000  
 U/S OF EXIST. DECK ±6770


CONSULTANT

SEAL

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

NO. YY-MM-DD REVISION / DRAWING ISSUE DRAWN REVIEW

CONSTRUCTION MANAGER



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PROJECT

**SHOPPING CENTRE - EXTERIOR RENOVATION**  
 MUNICIPAL ADDRESS(S)  
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 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4  
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

**WALL SECTIONS**

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

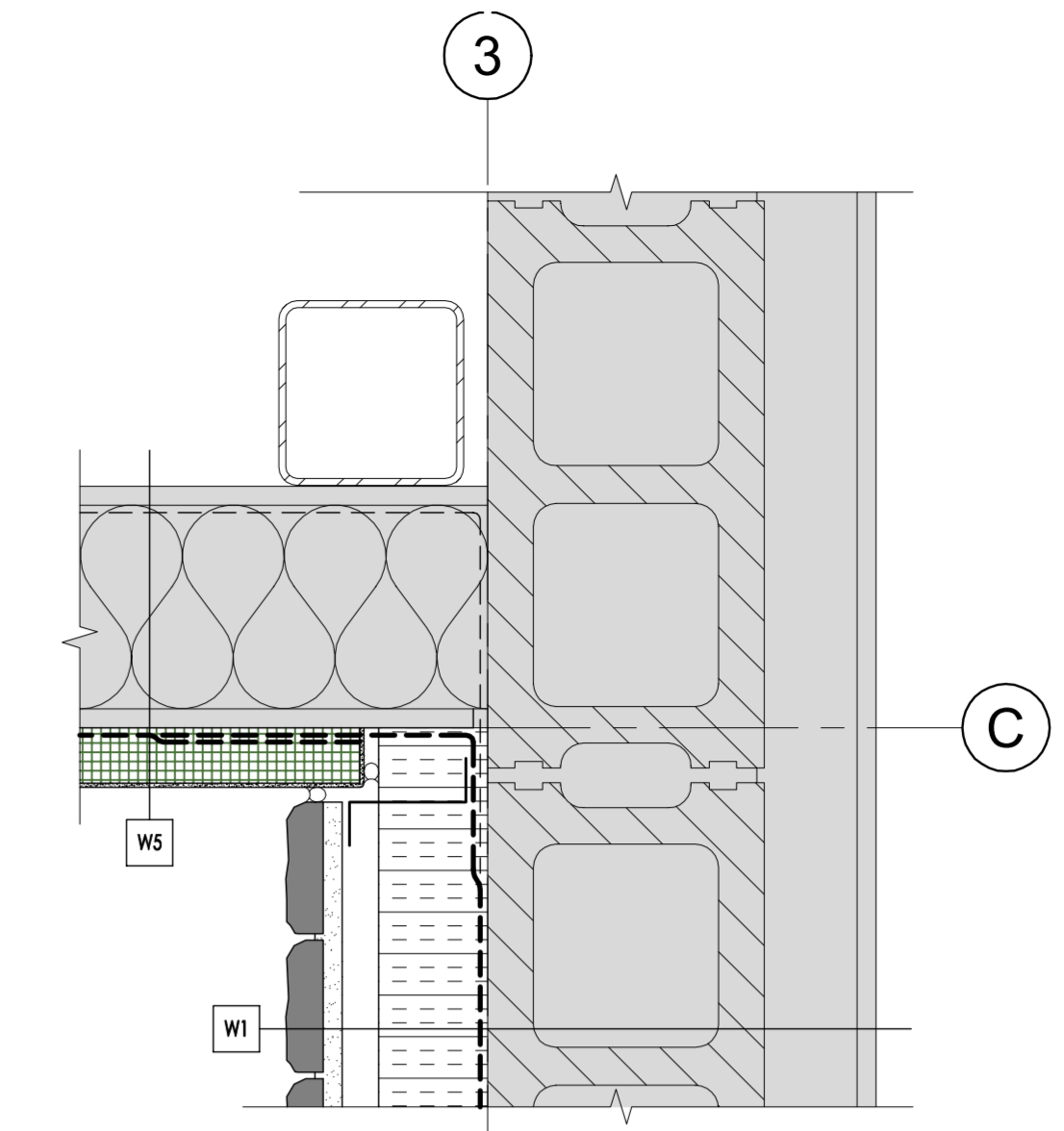
PROJECT NO.	PLOT DATE
1203	2014-09-19
DRAWING NO.	SCALE
A5-01	AS NOTED

REVISION

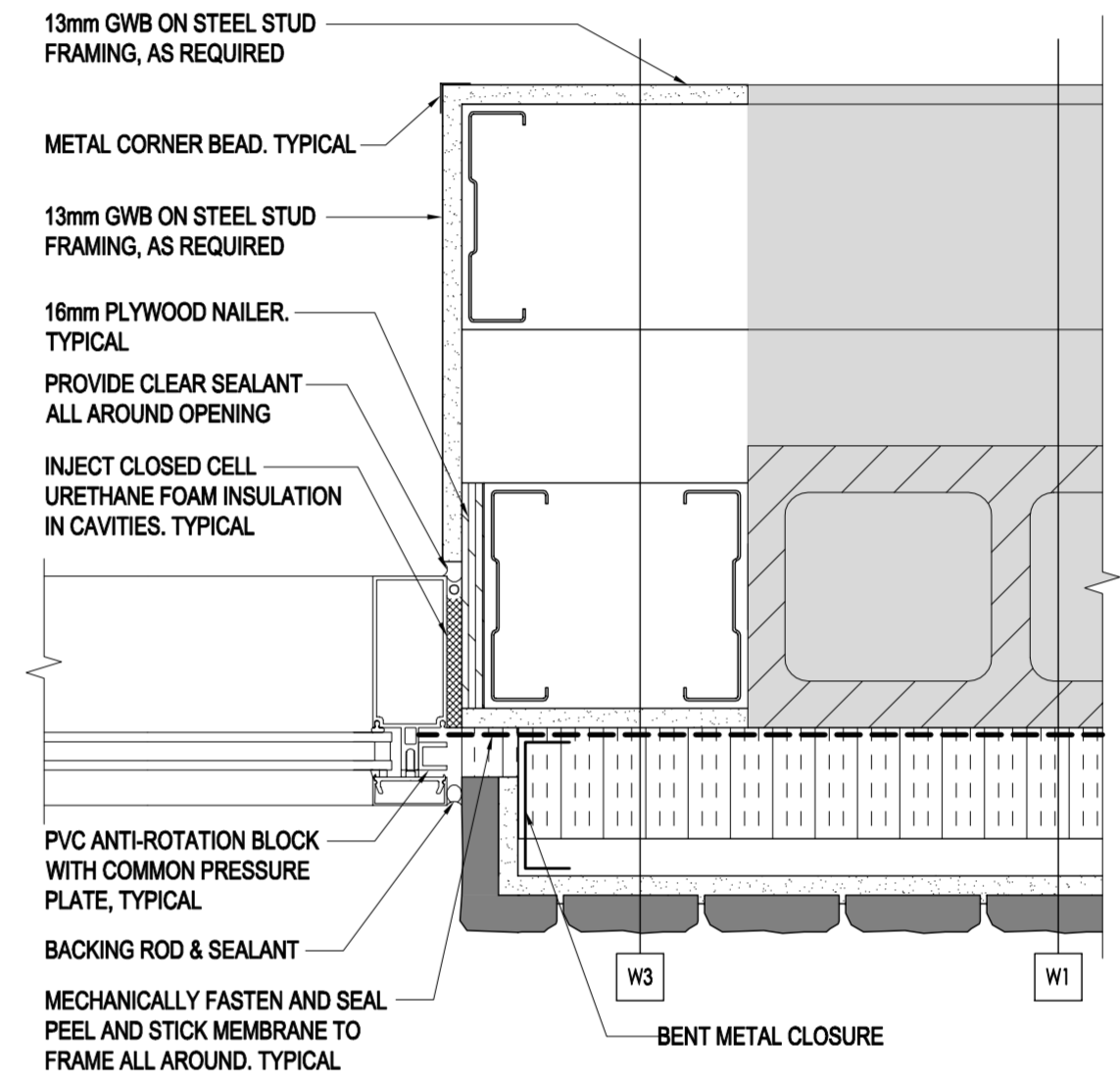




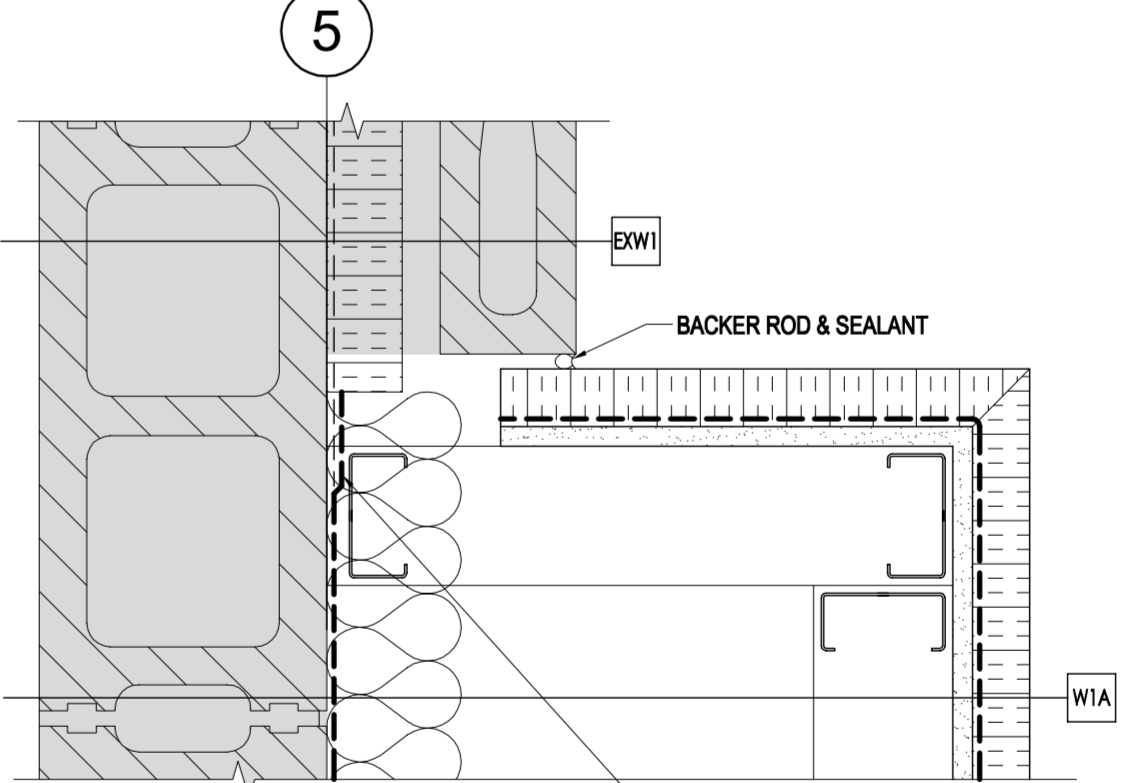




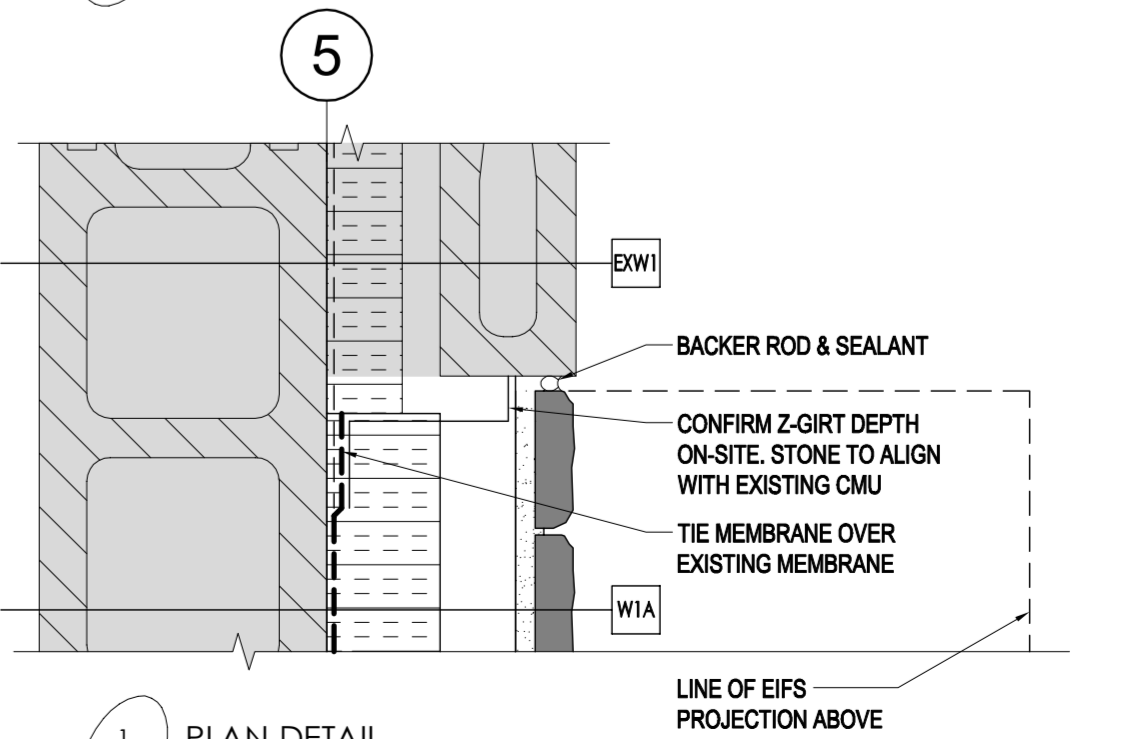
4 PLAN DETAIL  
 A7-01 SCALE: 1:5



3 PLAN DETAIL  
 A7-01 SCALE: 1:5



2 PLAN DETAIL  
 A7-01 SCALE: 1:5



1 PLAN DETAIL  
 A7-01 SCALE: 1:5

SEAL

CONSULTANT

SEAL

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

CONSTRUCTION MANAGER



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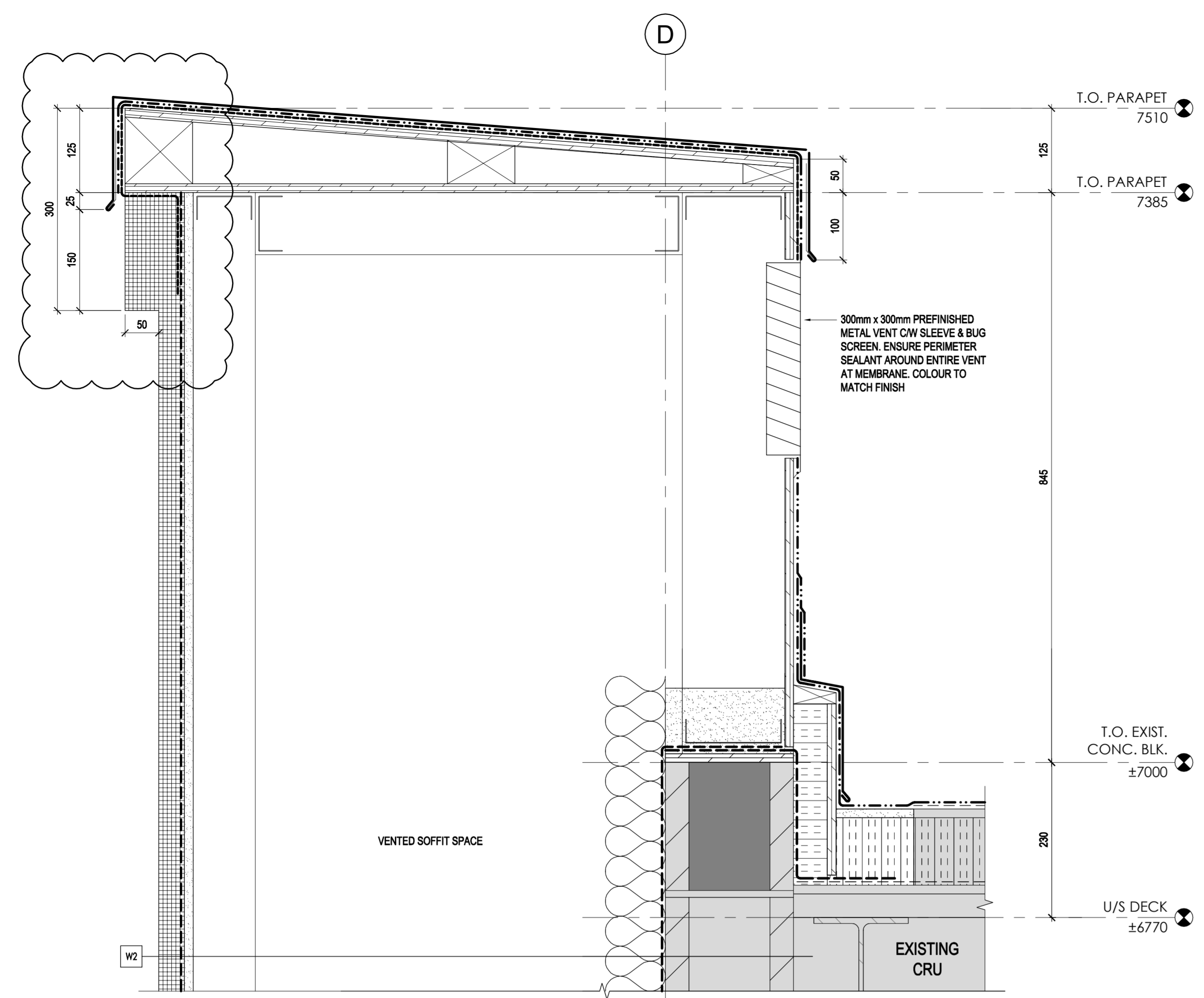
PROJECT  
**SHOPPING CENTRE - EXTERIOR RENOVATION**  
 MUNICIPAL ADDRESS(S)  
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4  
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE  
**PLAN DETAILS**

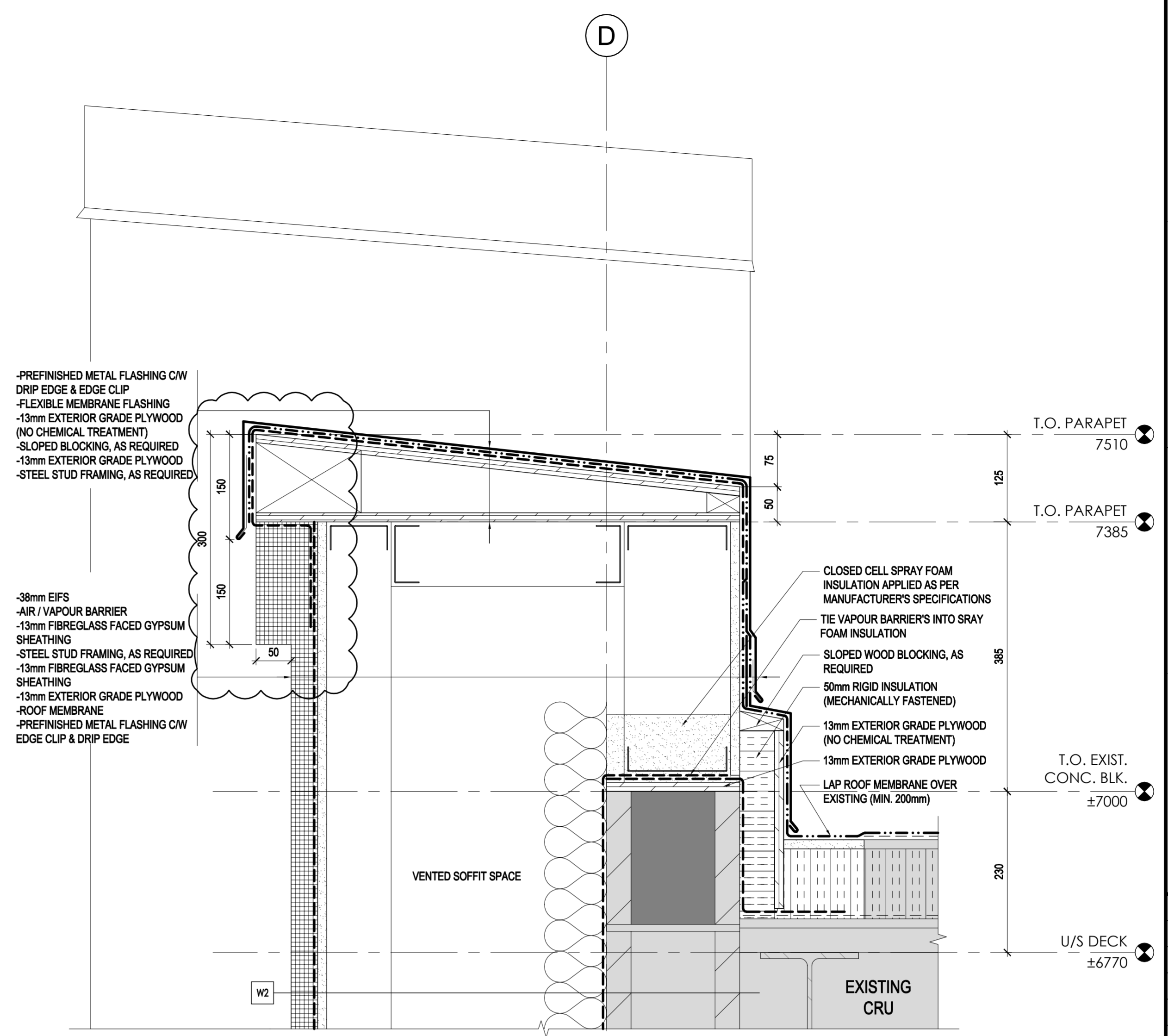
DRAWING ISSUED  
 ISSUED FOR CONSTRUCTION

PROJECT NO. 1203	PLOT DATE 2014-09-19
DRAWING NO. A7-01	SCALE AS NOTED
REVISION	

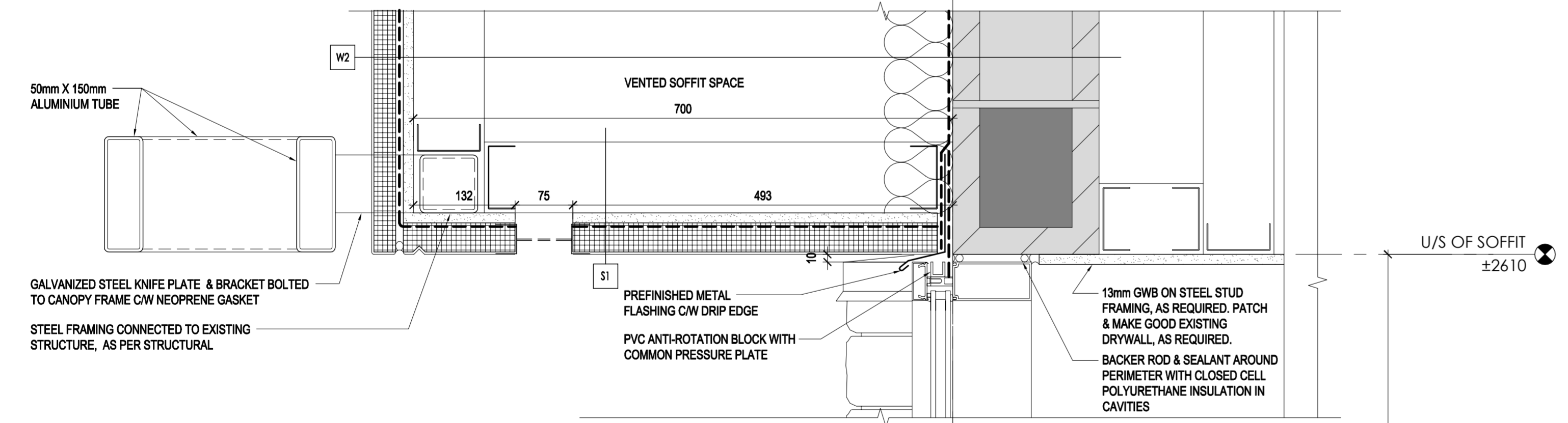




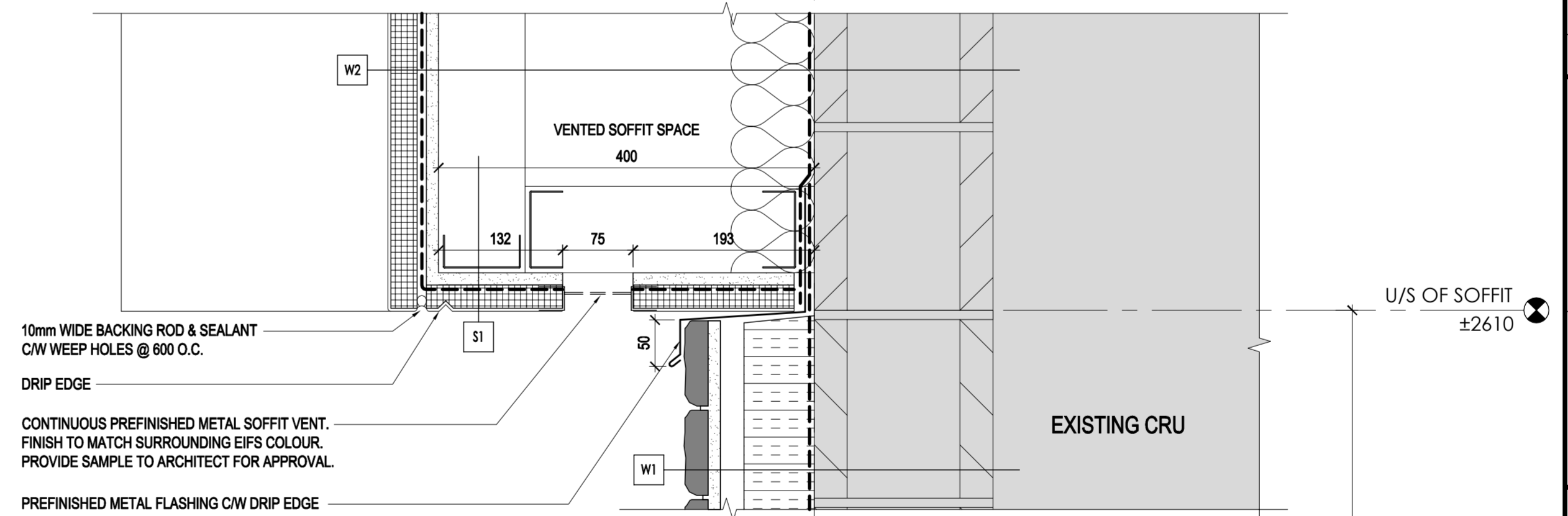
6 SECTION DETAIL  
 A8-01 SCALE: 1:5  
 NOTE: REFER TO TYPICAL NOTES ON DETAIL 3/A8-01



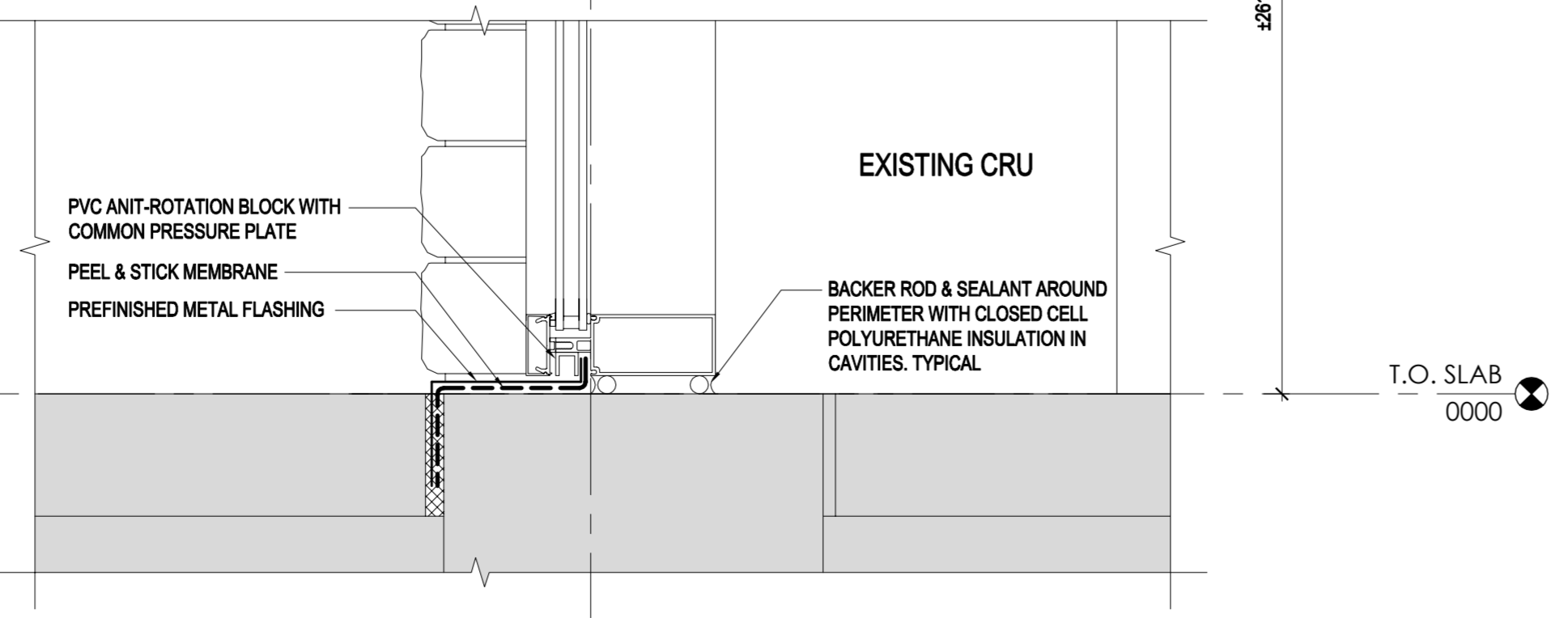
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 A8-01 SCALE: 1:5



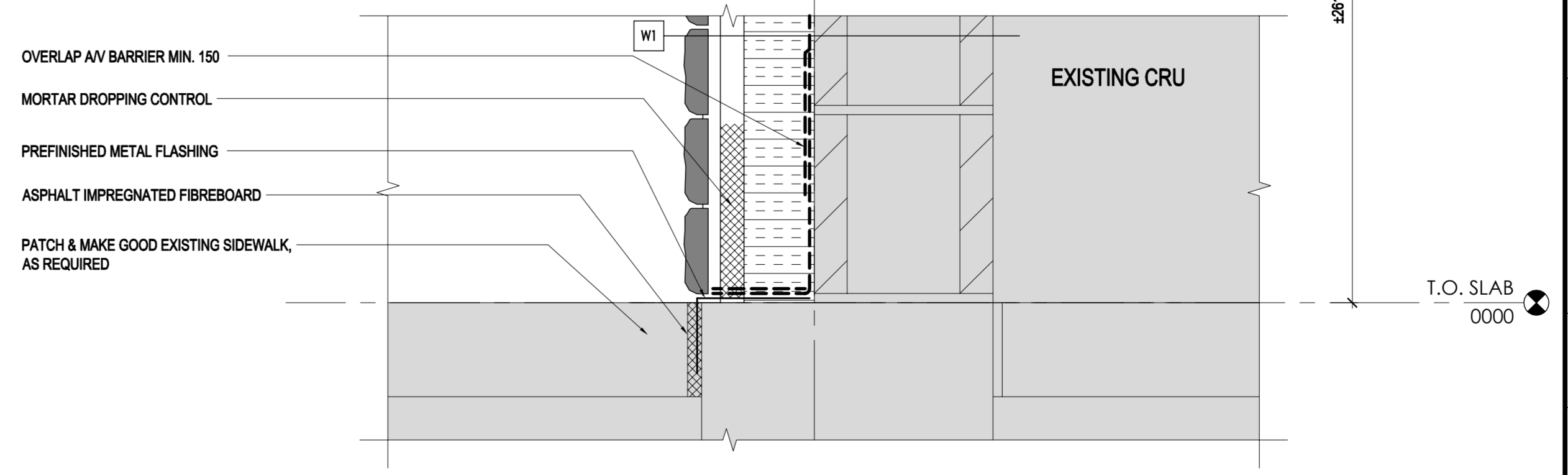
5 SECTION DETAIL  
 A8-01 SCALE: 1:5  
 NOTE: REFER TO TYPICAL NOTES ON DETAIL 2/A8-01



2 SECTION DETAIL  
 A8-01 SCALE: 1:5



4 SECTION DETAIL  
 A8-01 SCALE: 1:5



1 SECTION DETAIL  
 A8-01 SCALE: 1:5

SEAL

CONSULTANT

SEAL

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
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NO. YY-MM-DD REVISION / DRAWING ISSUE DRAWN REVIEW

CONSTRUCTION MANAGER



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PROJECT  
**SHOPPING CENTRE - EXTERIOR RENOVATION**  
 MUNICIPAL ADDRESS(S)  
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4  
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE  
**SECTION DETAILS**

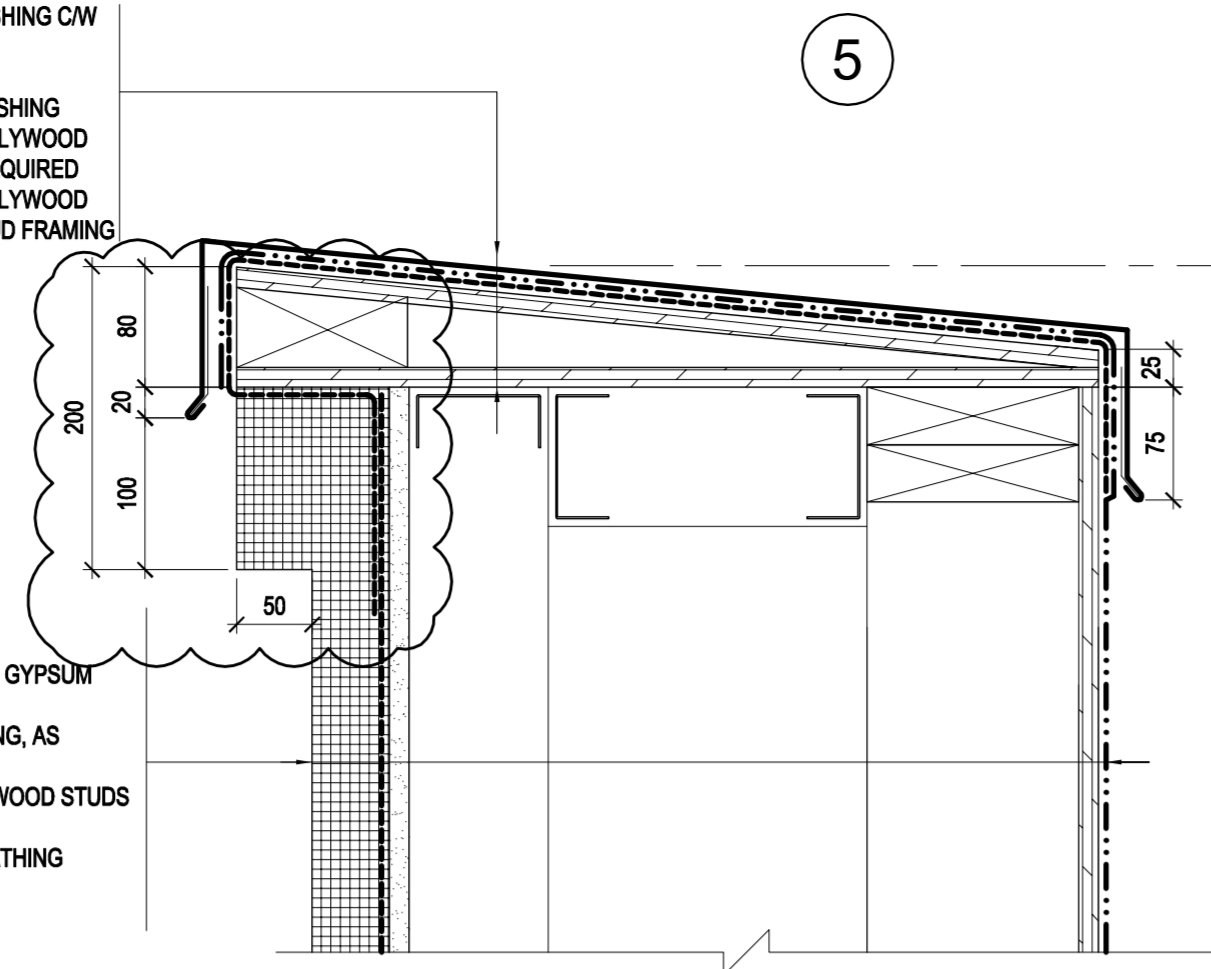
DRAWING ISSUED  
 ISSUED FOR CONSTRUCTION

PROJECT NO. 1203	PLOT DATE 2014-09-19
DRAWING NO. A8-01	SCALE AS NOTED
REVISION	



- PREFINISHED METAL FLASHING CW DRIP EDGE & EDGE CLIPS
- ROOF MEMBRANE
- FLEXIBLE MEMBRANE FLASHING
- 13mm EXTERIOR GRADE PLYWOOD
- SLOPED BLOCKING, AS REQUIRED
- 13mm EXTERIOR GRADE PLYWOOD
- 38mm X 140mm WOOD STUD FRAMING

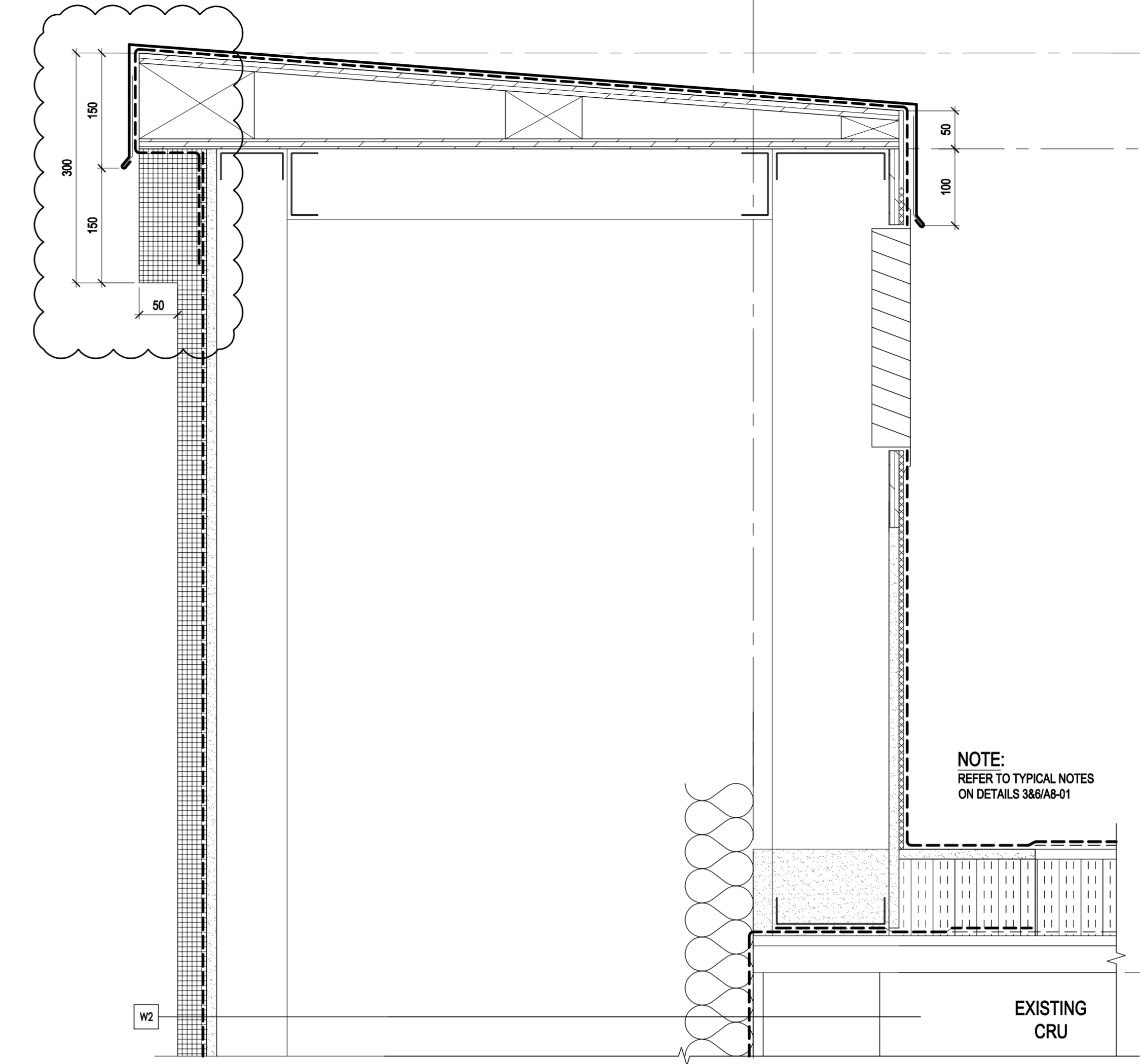
- 38mm EIFS
- AIR / VAPOUR BARRIER
- 13mm FIBREGLASS FACED GYPSUM SHEATHING
- 92mm STEEL STUD FRAMING, AS REQUIRED
- EXISTING 38mm X 140mm WOOD STUDS @ 400 O.C.
- EXISTING PLYWOOD SHEATHING (CONFIRM ON-SITE)
- ROOF MEMBRANE



8 SECTION DETAIL  
 SCALE: 1:5

T.O. PARAPET  
 5875

D



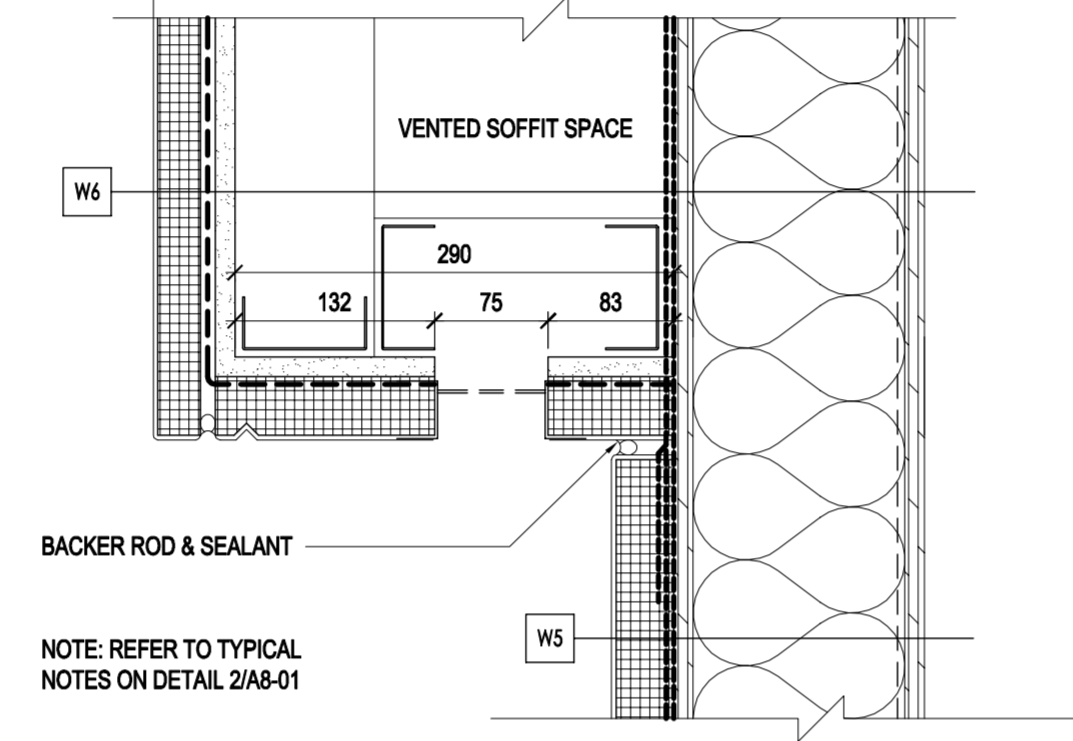
3 SECTION DETAIL  
 SCALE: 1:5

T.O. PARAPET  
 7510  
 T.O. PARAPET  
 7385

U/S DECK  
 ±6770

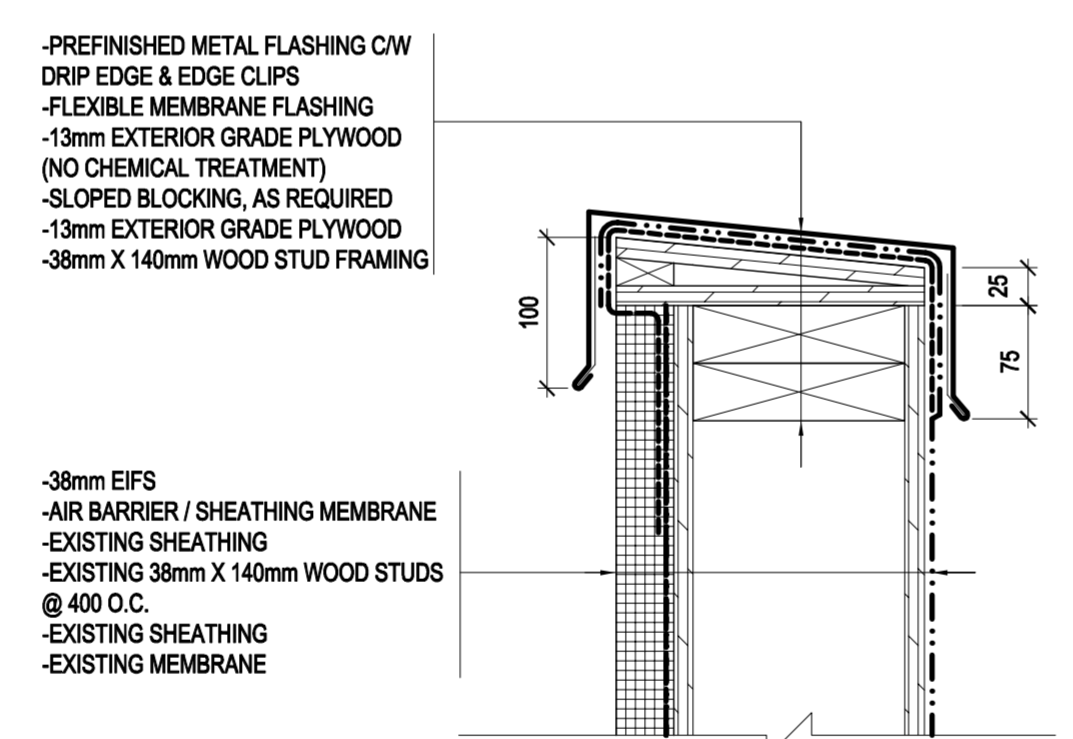
NOTE:  
 REFER TO TYPICAL NOTES  
 ON DETAILS 3&8/A8-01

EXISTING  
 CRU



7 SECTION DETAIL  
 SCALE: 1:5

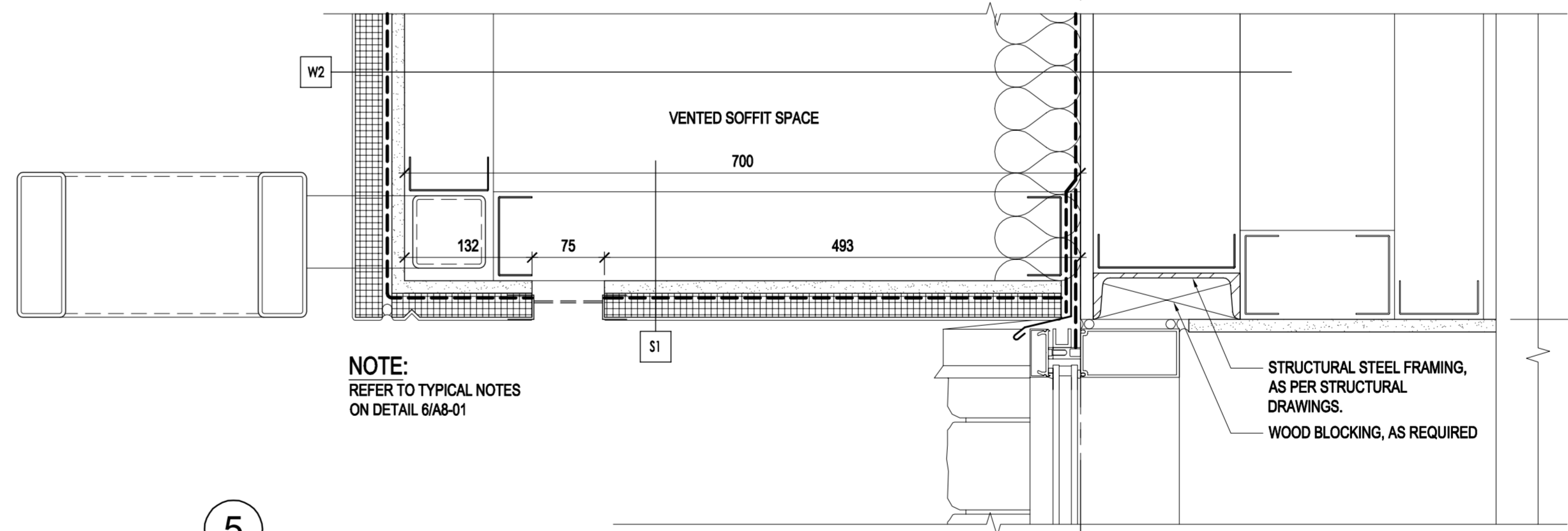
NOTE: REFER TO TYPICAL  
 NOTES ON DETAIL 2/A8-01



6 SECTION DETAIL  
 SCALE: 1:5

- PREFINISHED METAL FLASHING CW DRIP EDGE & EDGE CLIPS
- FLEXIBLE MEMBRANE FLASHING
- 13mm EXTERIOR GRADE PLYWOOD (NO CHEMICAL TREATMENT)
- SLOPED BLOCKING, AS REQUIRED
- 13mm EXTERIOR GRADE PLYWOOD
- 38mm X 140mm WOOD STUD FRAMING

- 38mm EIFS
- AIR BARRIER / SHEATHING MEMBRANE
- EXISTING SHEATHING
- EXISTING 38mm X 140mm WOOD STUDS @ 400 O.C.
- EXISTING SHEATHING
- EXISTING MEMBRANE



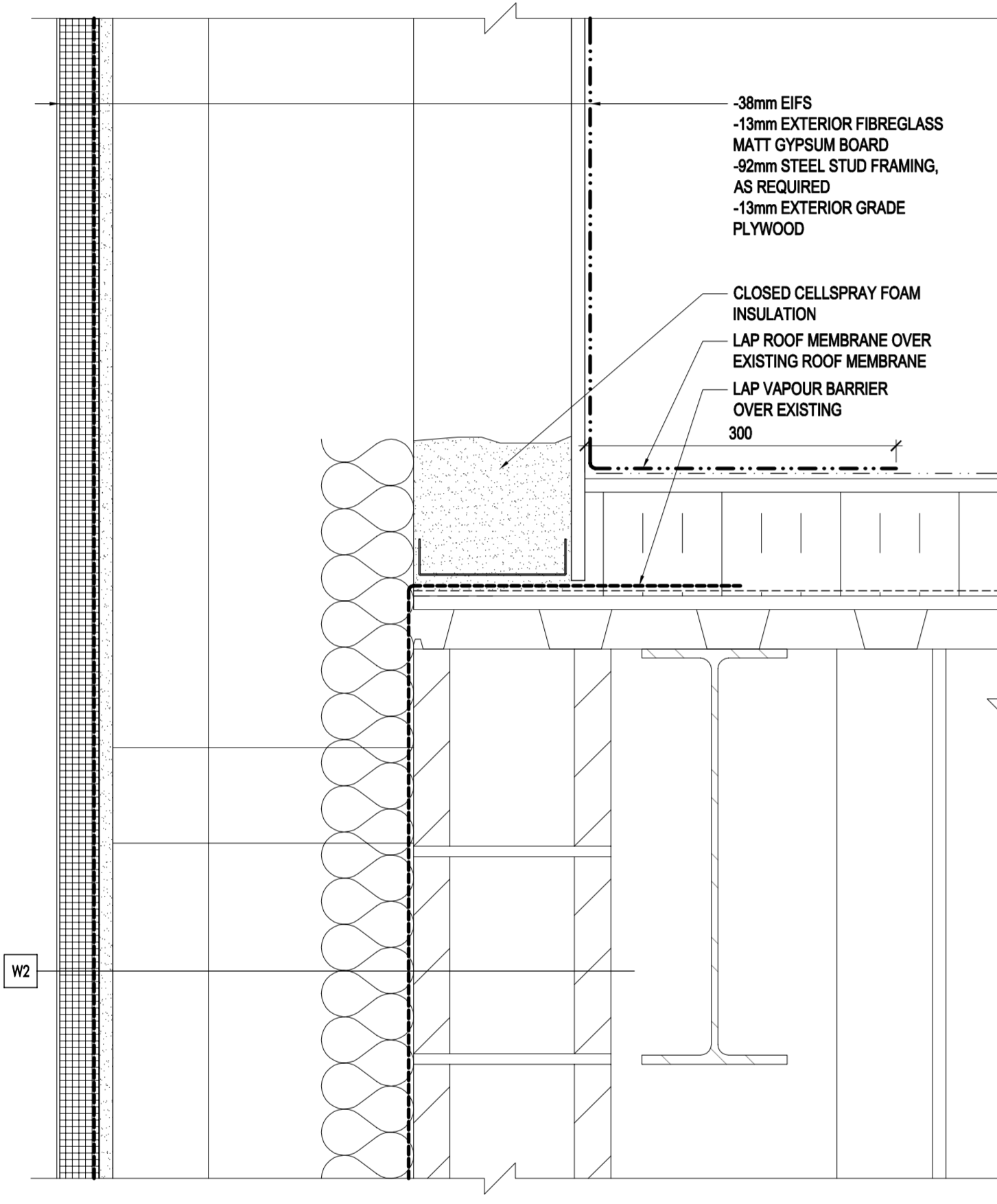
2 SECTION DETAIL  
 SCALE: 1:5

NOTE:  
 REFER TO TYPICAL NOTES  
 ON DETAIL 6/A8-01

NOTE: REFER TO TYPICAL  
 NOTES ON DETAIL 5/A8-01

STRUCTURAL STEEL FRAMING,  
 AS PER STRUCTURAL  
 DRAWINGS.  
 WOOD BLOCKING, AS REQUIRED

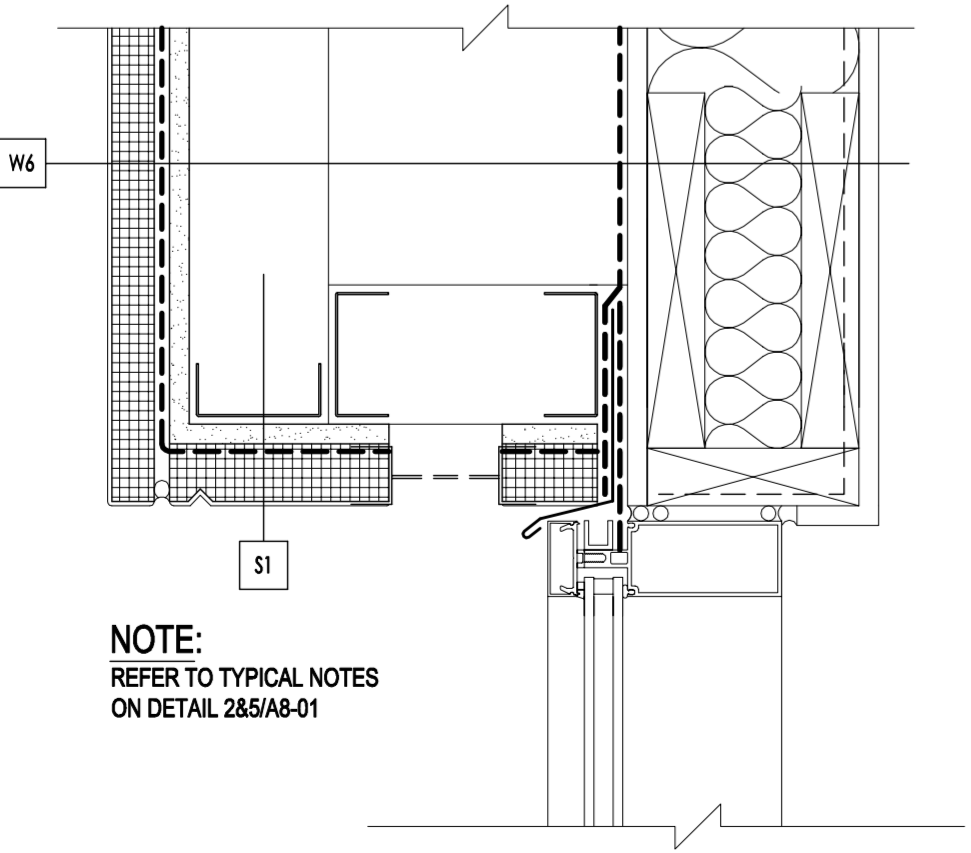
U/S OF SOFFIT  
 ±2610



10 SECTION DETAIL  
 SCALE: 1:5

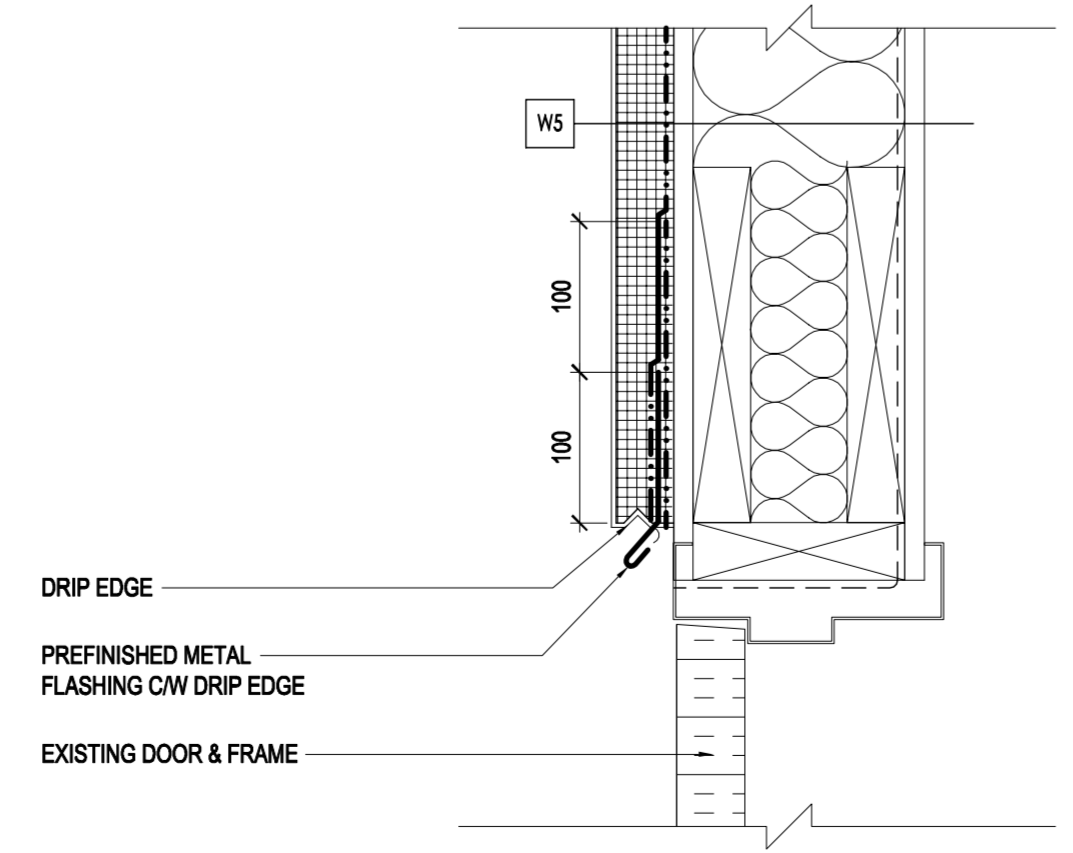
- 38mm EIFS
- 13mm EXTERIOR FIBREGLASS MATT GYPSUM BOARD
- 92mm STEEL STUD FRAMING, AS REQUIRED
- 13mm EXTERIOR GRADE PLYWOOD

- CLOSED CELLSPRAY FOAM INSULATION
- LAP ROOF MEMBRANE OVER EXISTING ROOF MEMBRANE
- LAP VAPOUR BARRIER OVER EXISTING



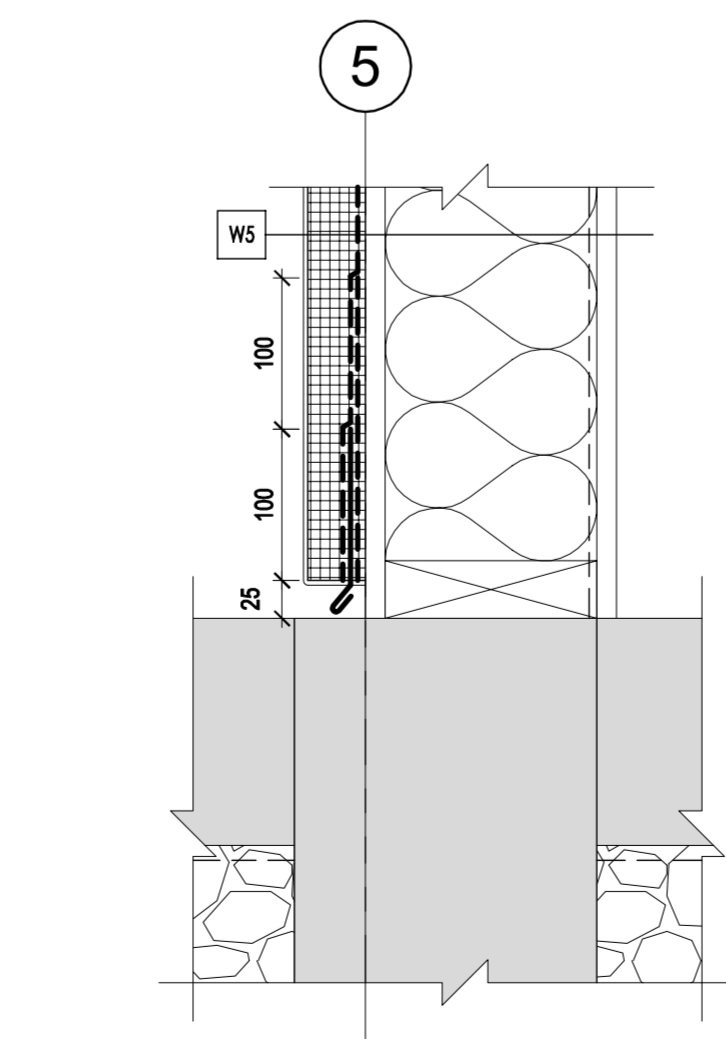
9 SECTION DETAIL  
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NOTE:  
 REFER TO TYPICAL NOTES  
 ON DETAIL 2&5/A8-01

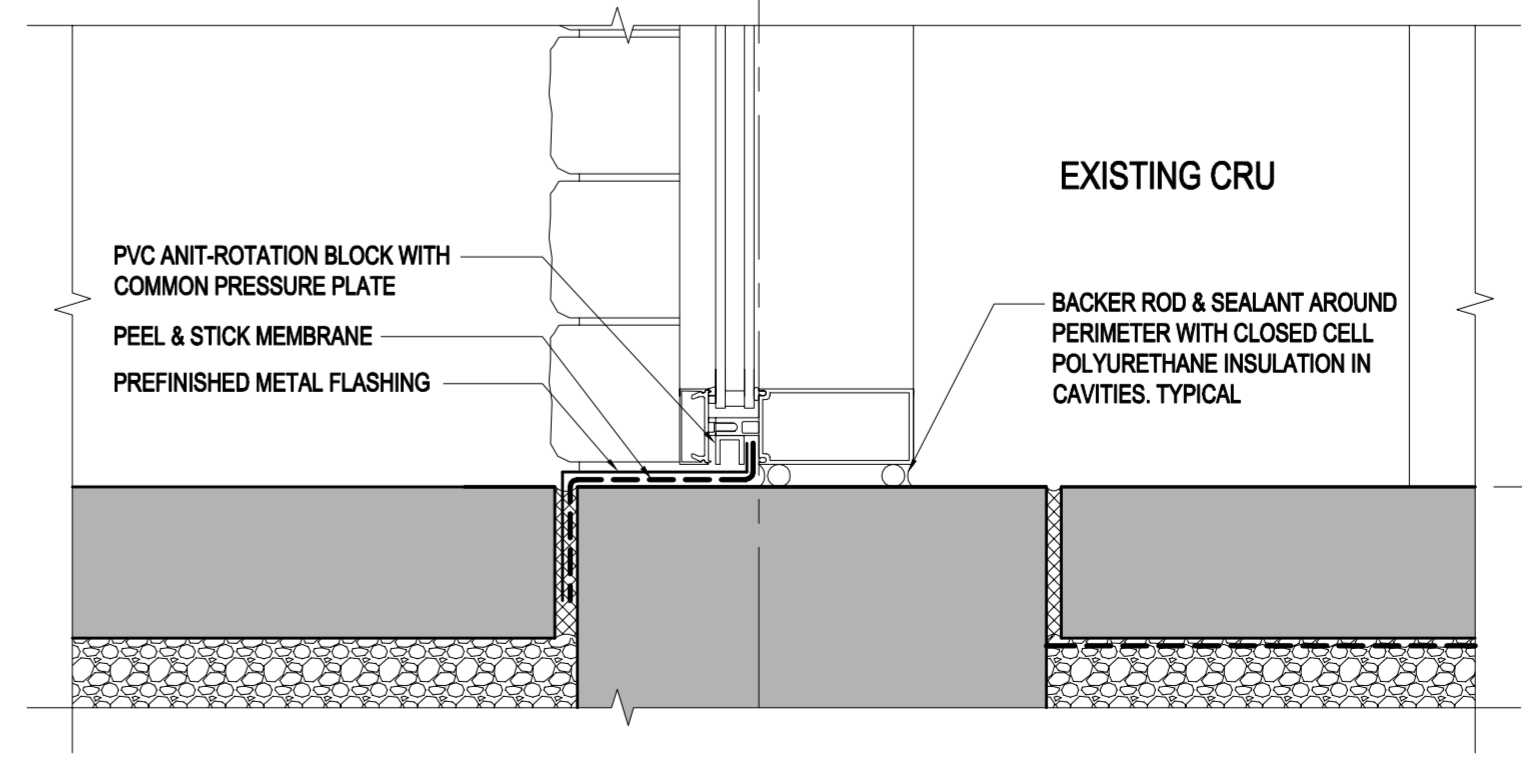


5 SECTION DETAIL  
 SCALE: 1:5

- DRIP EDGE
- PREFINISHED METAL FLASHING CW DRIP EDGE
- EXISTING DOOR & FRAME



4 SECTION DETAIL  
 SCALE: 1:5




1 SECTION DETAIL  
 SCALE: 1:5

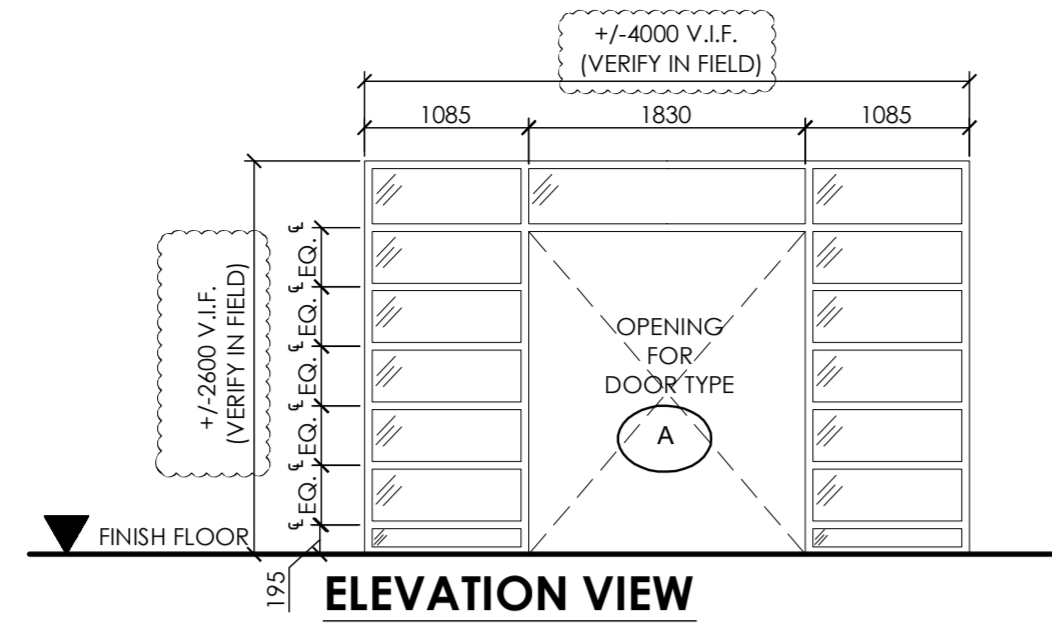
- PVC ANTI-ROTATION BLOCK WITH COMMON PRESSURE PLATE
- PEEL & STICK MEMBRANE
- PREFINISHED METAL FLASHING

- BACKER ROD & SEALANT AROUND PERIMETER WITH CLOSED CELL POLYURETHANE INSULATION IN CAVITIES. TYPICAL

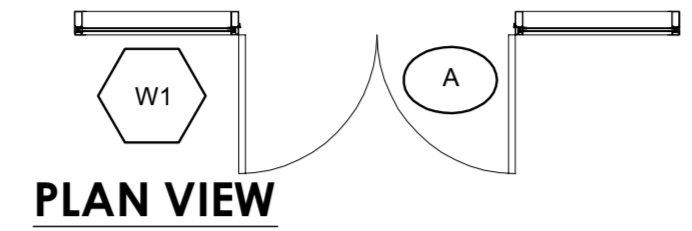
T.O. SLAB  
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SEAL																																						
CONSULTANT																																						
SEAL																																						
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<b>A8-02</b>																																						



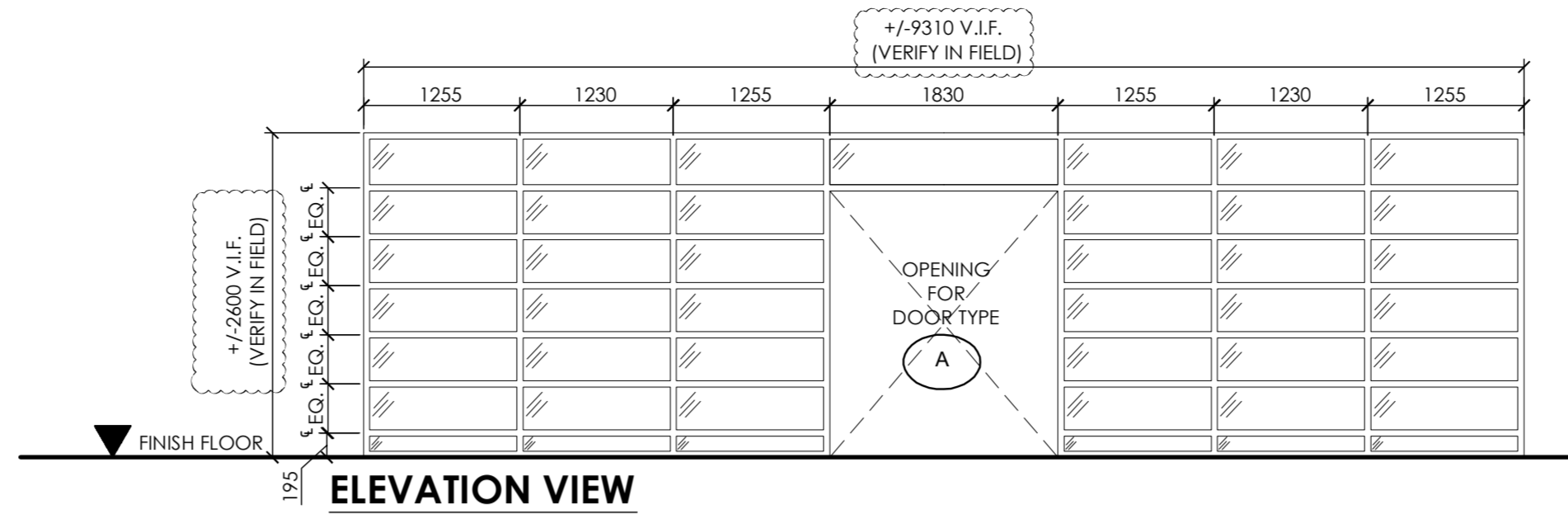


**ELEVATION VIEW**

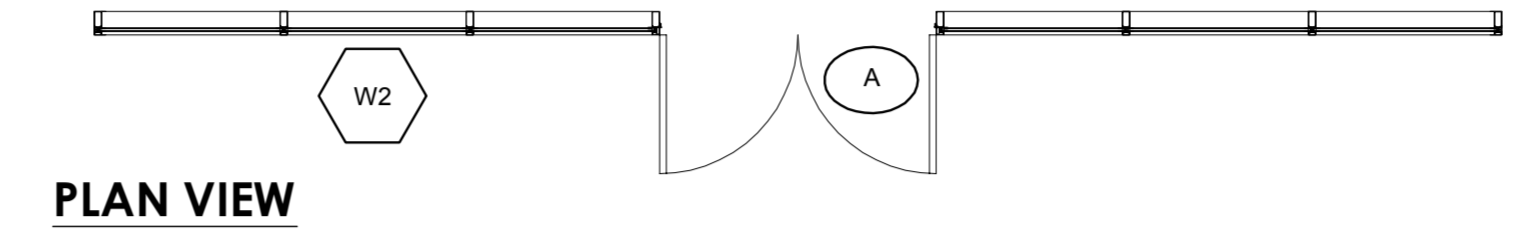


**PLAN VIEW**

- WINDOW TYPE 'W1'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

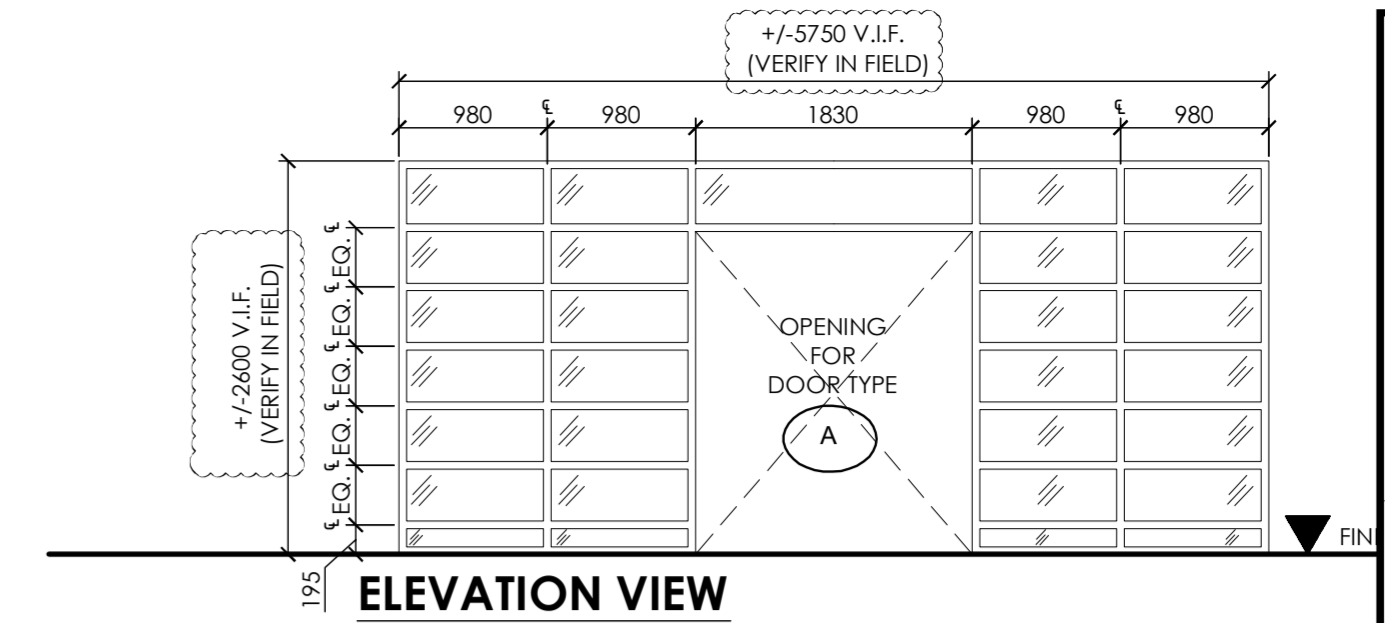


**ELEVATION VIEW**

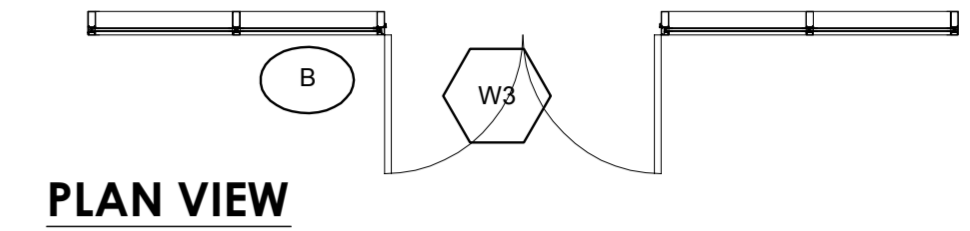


**PLAN VIEW**

- WINDOW TYPE 'W2'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

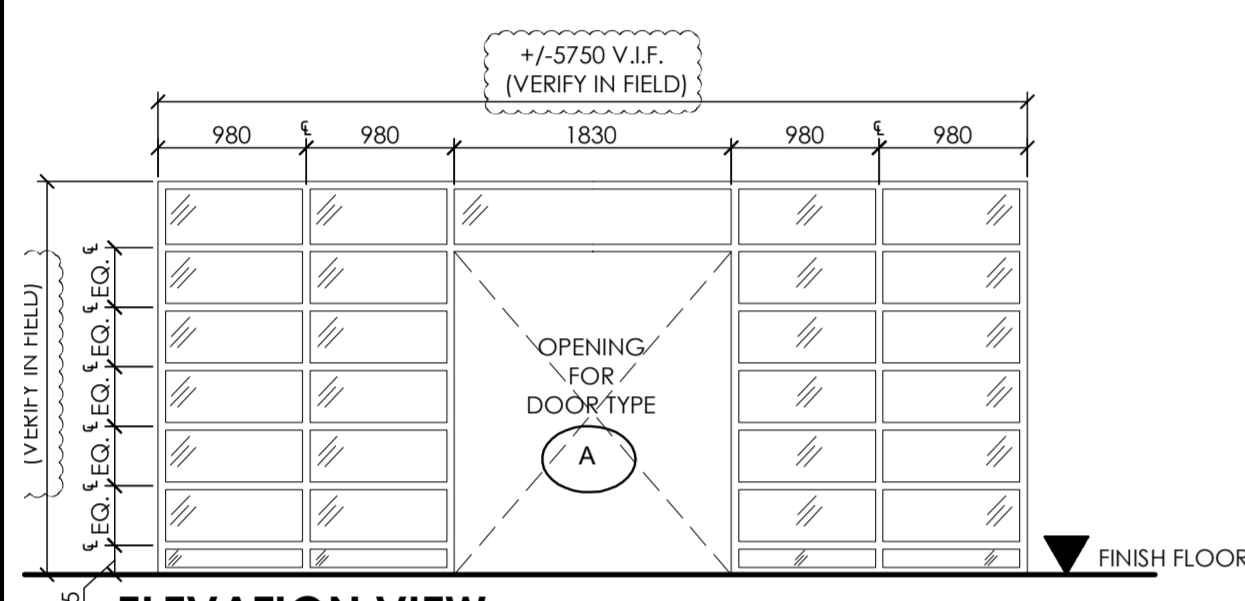


**ELEVATION VIEW**

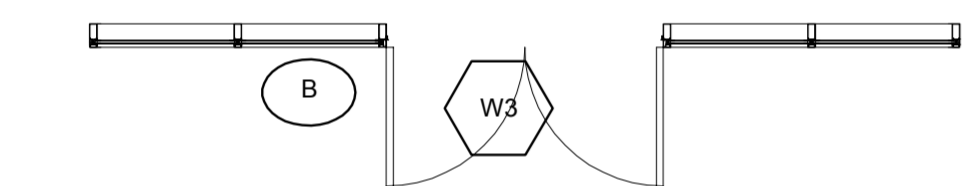


**PLAN VIEW**

- WINDOW TYPE 'W3'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

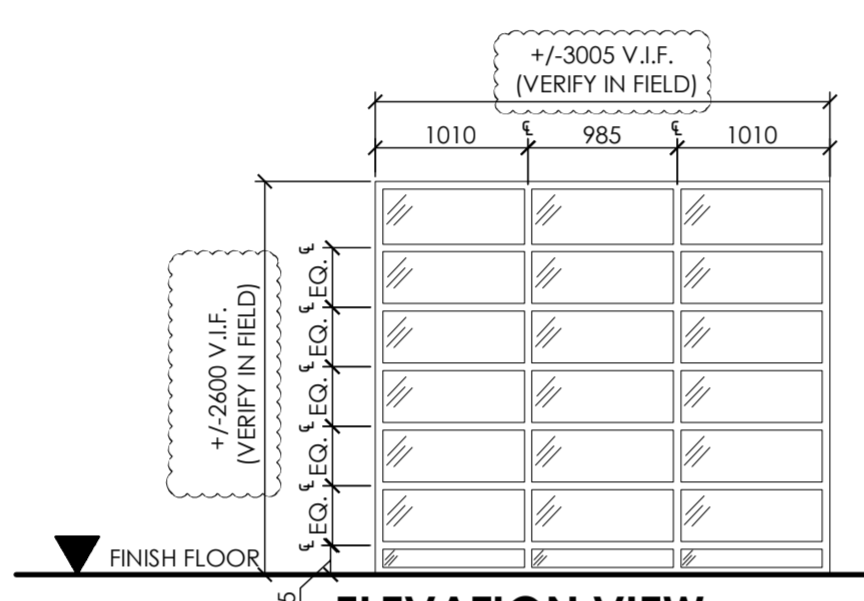


**ELEVATION VIEW**

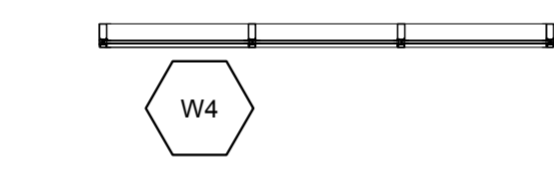


**PLAN VIEW**

- WINDOW TYPE 'W3'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

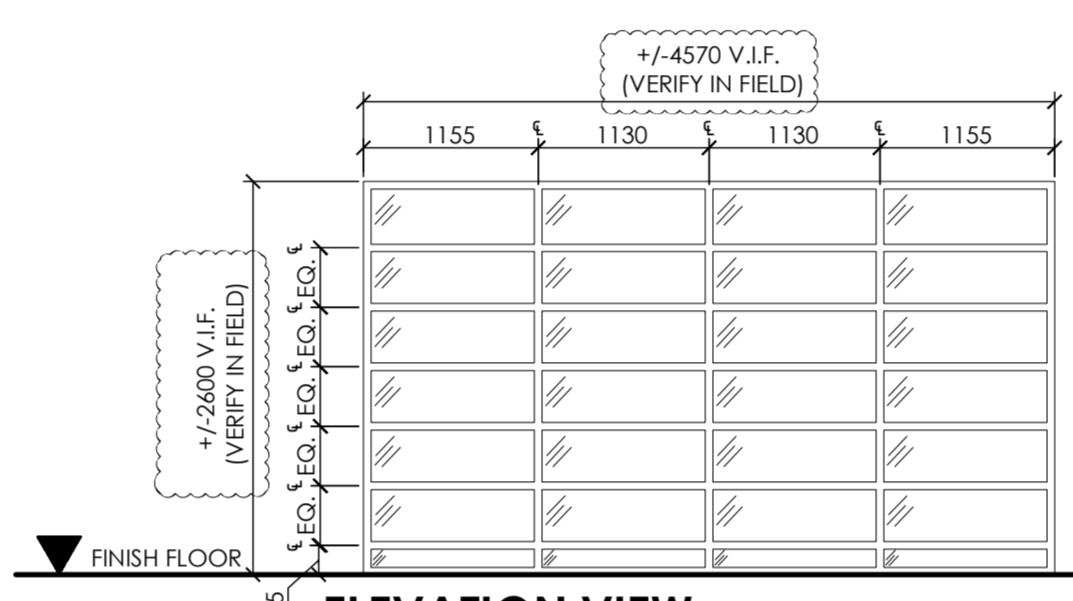


**ELEVATION VIEW**

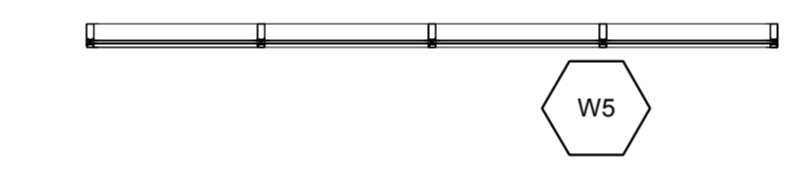


**PLAN VIEW**

- WINDOW TYPE 'W4'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

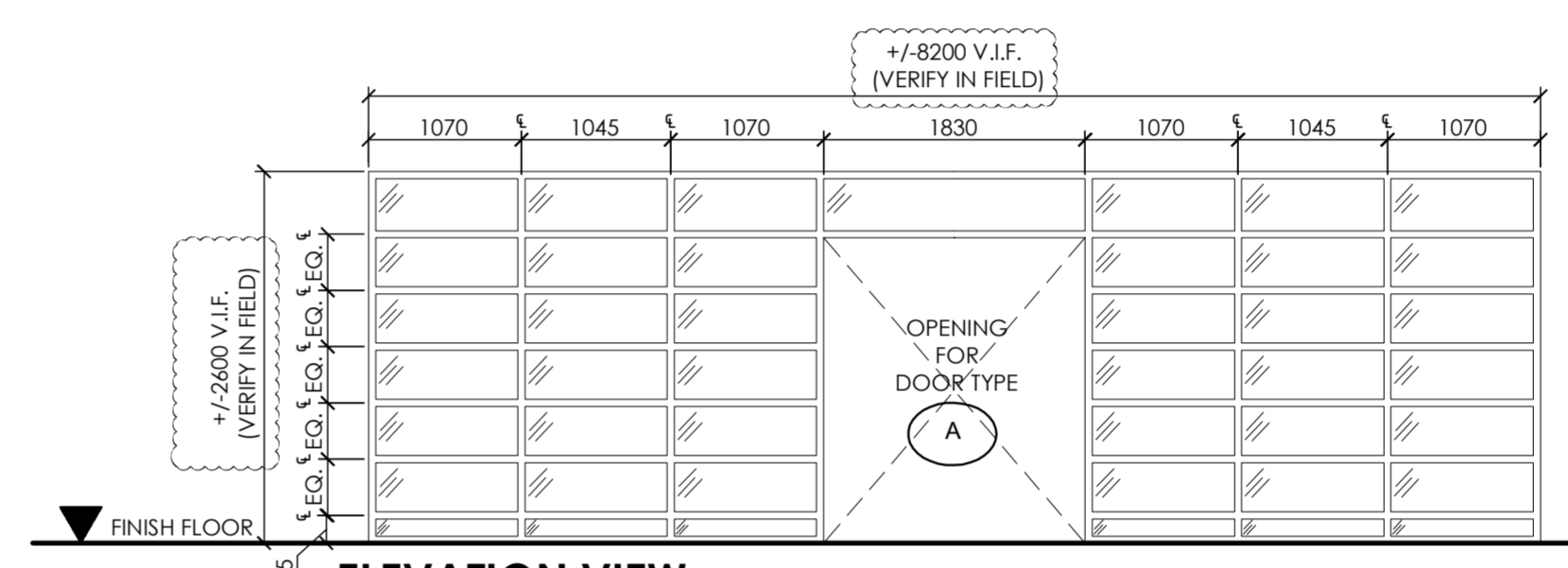


**ELEVATION VIEW**

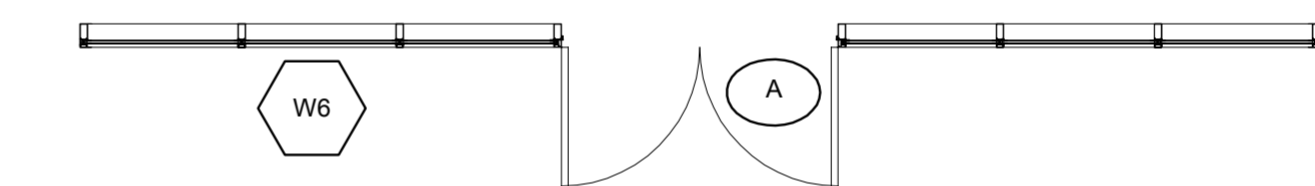


**PLAN VIEW**

- WINDOW TYPE 'W5'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

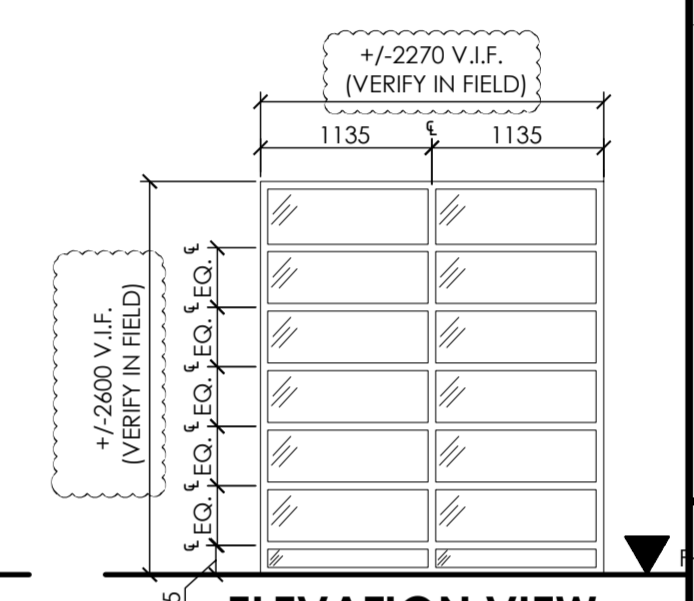


**ELEVATION VIEW**

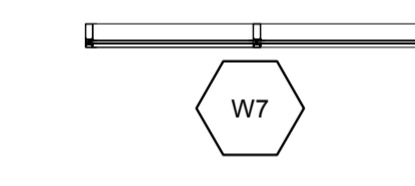


**PLAN VIEW**

- WINDOW TYPE 'W6'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

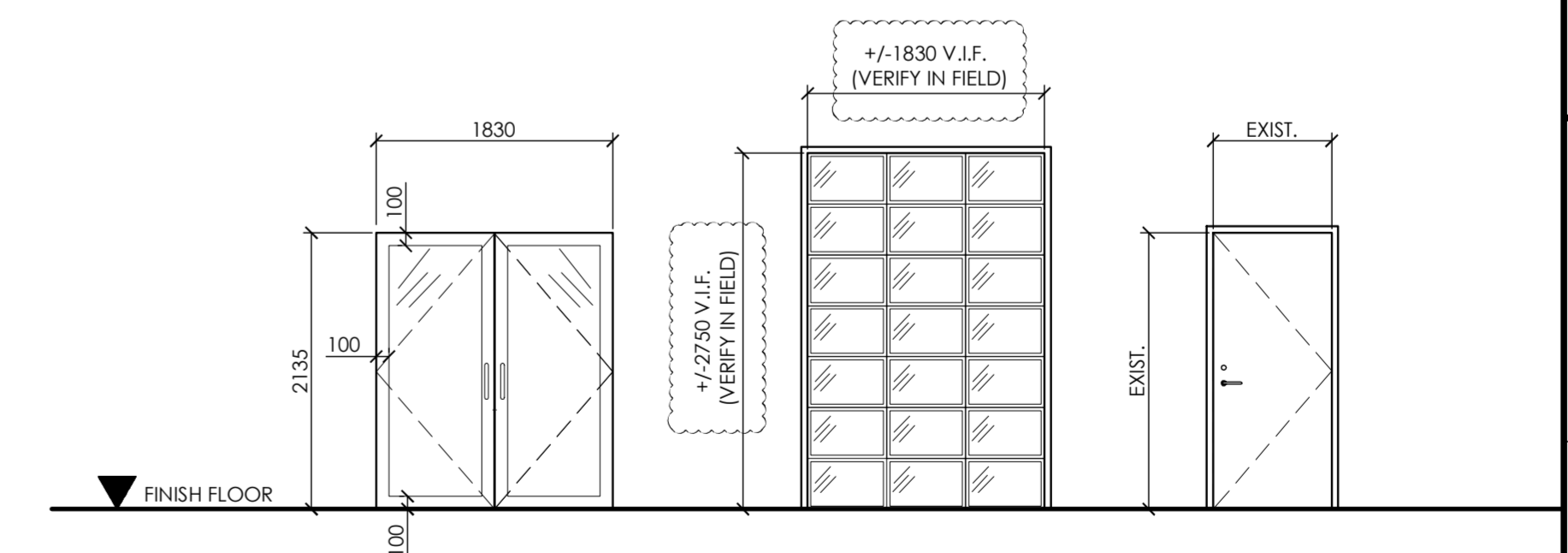


**ELEVATION VIEW**



**PLAN VIEW**

- WINDOW TYPE 'W7'**  
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
  - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.



- DOOR TYPE 'A'**
- ALUMINUM DOOR
  - STOREFRONT DOUBLE DOOR
  - DOUBLE GLAZED, TEMPERED SAFETY GLASS
  - ACCESSIBLE OPENER
  - DOOR CLOSER
  - LOCKSET

- DOOR TYPE 'B'**
- OVERHEAD TEMPERED SAFETY GLASS DOOR
  - ELECTRIC MOTORIZED OPENER
  - LOCKABLE

- TYPE 'EX'**
- EXISTING INSULATED METAL DOOR
  - EXISTING STANDARD METAL FRAME
  - PAINT TO MATCH
  - ADJACENT FINISH TYP.
  - NEW PANIC HARDWARE
  - NEW LOCKSET
  - NEW DOOR CLOSER

SEAL

CONSULTANT

SEAL

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK
NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW



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PROJECT  
**SHOPPING CENTRE - EXTERIOR RENOVATION**  
 MUNICIPAL ADDRESS(S)  
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4  
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4  
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE  
**DOOR-WINDOW SCHEDULE**

DRAWING ISSUED  
 ISSUED FOR CONSTRUCTION

PROJECT NO.	1203	PLOT DATE	2014-09-19
		SCALE	AS NOTED
DRAWING NO.	A13.01	REVISION	