

GENERAL NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH ALBERTA BUILDING CODE 2008.
- READ THE CONSTRUCTION DRAWINGS IN CONJUNCTION WITH THE ARCH., MECH., AND ELECT. DRAWINGS. REPORT ANY INCONSISTENCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS.
- FOR THE PURPOSES OF THESE DRAWINGS, THE ENGINEER IS KASSIAN DYCK AND ASSOCIATES.
- THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISIONS COLUMN. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" IN THE REVISIONS COLUMN BY KASSIAN DYCK & ASSOCIATES.
- ALL EXISTING DIMENSIONS, ELEVATIONS, AND EXISTING STRUCTURAL SYSTEMS SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION, AND DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.
- ALL SECTIONS, DETAILS, AND STATEMENTS ARE TYPICAL AND APPLY TO ALL SIMILAR SITUATIONS IN THE STRUCTURE.
- DRAWINGS SHOW COMPLETED STRUCTURES ONLY. THE DRAWINGS DO NOT SHOW COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION. THE CONTRACTOR IS TO DESIGN AND PROVIDE ALL TEMPORARY BRACING, SHORING, AND FORMWORK FOR CONSTRUCTION LOADING CONDITIONS AND THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION. DESIGN OF SHORING AND TEMPORARY BRACING SHALL BE CARRIED OUT BY A PROFESSIONAL ENGINEER REGISTERED IN ALBERTA. CONSTRUCTION LOADS ON PERMANENT STRUCTURE SHALL NOT EXCEED DESIGN LOADS.
- ANCHOR BOLTS HAVE BEEN DESIGNED FOR LOADS OF THE COMPLETED STRUCTURE ONLY AND ARE NOT TO BE USED OR RELIED UPON FOR TEMPORARY SUPPORT OR STABILITY DURING STEEL ERECTION. CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY TEMPORARY BRACING, SHORING AND SAFETY PROTECTION TO KEEP THE STRUCTURE SAFE, TRUE AND PLUMB. DO NOT REMOVE TEMPORARY BRACING UNTIL APPROVED IN WRITING BY KASSIAN DYCK & ASSOCIATES.
- ALL TEMPORARY SAFETY GUARDS SHALL BE THE CONTRACTORS RESPONSIBILITY.
- SUBMIT TO THE ENGINEER FOR REVIEW 4 COPIES OF THE FOLLOWING SHOP DRAWINGS:
 - CONCRETE REINFORCING
- SHOP DRAWINGS NOT STAMPED, SIGNED AND DATED WILL BE RETURNED WITHOUT BEING EXAMINED AND WILL BE CONSIDERED REJECTED.
- FULLY DETAIL SHOP DRAWINGS AND SHOW ALL INFORMATION NECESSARY FOR FABRICATION AND INSTALLATION.
- DO NOT COMMENCE FABRICATION UNTIL REVIEW OF RETURNED SHOP DRAWINGS.
- REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL STRUCTURAL DESIGN CONCEPT AND THE EXTENT OF THIS REVIEW IS AT THE SOLE DISCRETION OF THE ENGINEER. THIS REVIEW IS NOT AN APPROVAL OF THE DESIGN, DETAILS AND DIMENSIONS INHERENT IN THE SHOP DRAWINGS. THIS REVIEW DOES NOT MEAN THAT THE ENGINEER APPROVES THE DESIGN OR DETAILS INHERENT IN THE SHOP DRAWINGS, THE RESPONSIBILITY FOR WHICH REMAINS WITH THE CONTRACTOR. REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND COORDINATED AT THE JOB SITE, FABRICATION PROCESSES, TECHNIQUES OF CONSTRUCTION AND INSTALLATION, AND FOR COORDINATION OF THE WORK OF ALL SUBTRADES.
- THE CONTRACTOR SHALL EXAMINE THE SITE AND THE SUBSURFACE INVESTIGATION REPORT AND ACCEPT ALL CHARACTERISTICS AND IRREGULARITIES OF THIS SITE.
- DESIGN LOADS

SPECIFIED UNIFORM LOADS:
SUPERIMPOSED DEAD LOAD (SD) - EXCLUDES SELF WEIGHT OF ROOF/FLOOR STRUCTURE
LIVE LOAD (LL)
SNOW LOAD(SL)

MAIN FLOOR: SDL = 0.72 KPa; LL = 4.8 KPa

ROOF:
DL = 1.65 KPa, SL = 1.8 kPa (38 PSF) + DRIFT AS NOTED ON PLAN
PONDING AS NOTED ON PLAN
LL = 1.0 KPa (21 PSF)

SPECIFIED CONCENTRATED LIVE LOADS:

ROOF: 2 KN AT ANY JOIST PANEL POINT

SEISMIC: Sa(0.2) = 0.12 Sa(0.5) = 0.06 Sa(1.0) = 0.02 Sa(2.0) = 0.01
PGA = 0.08 SITE CLASS C
SEISMIC LOAD RESISTING SYSTEM IS A CONVENTIONAL CONSTRUCTION BRACED FRAME WITH WITH Rd = 1.5; Rb = 1.3

WIND: q50 = 0.40 kPa (8 PSF)
NET FACTORED WIND UPLIFT LOADS ON ROOFS = 1.0 kPa (21 PSF) UNLESS NOTED OTHERWISE

GENERAL NOTES (cont.):

- STRUCTURE WILL MOVE DUE TO IMPOSED LOADS, SHRINKAGE THERMAL EFFECTS, AND/OR FOUNDATION SETTLEMENT. THE FOLLOWING ESTIMATED MOVEMENTS ARE TO BE ACCOMMODATED BY NON-STRUCTURAL ELEMENTS ATTACHED TO STRUCTURE. DESIGN AND DETAILING OF NON-STRUCTURAL ELEMENTS TO BE BY OTHERS.
 - MOVEMENT AT EXPANSION JOINTS:
 - VERTICAL ± 25 mm
 - PERPENDICULAR TO JOINT ± 25 mm
 - PARALLEL TO JOINT ± 25 mm
 - HORIZONTAL DRIFT DURING WIND AND SEISMIC BETWEEN FLOORS:
 - ± 13 mm WITHOUT DAMAGE TO NON-STRUCTURAL ELEMENTS
 - ± 50 mm WITHOUT COLLAPSE OF NON-STRUCTURAL ELEMENTS
 - DIFFERENTIAL VERTICAL MOVEMENT OF ADJACENT COLUMNS AND WALLS: 15 mm
- CONTRACTOR'S CONSTRUCTION LOADS MUST NOT EXCEED THE ABOVE DESIGN LOADS. DESIGN LOADS MAY ONLY BE APPLIED AFTER THE CONCRETE REACHES ITS DESIGN STRENGTH.
- UNDERPIN WHERE NECESSARY ANY EXISTING STRUCTURE AND PROVIDE ALL BRACING, SHORING, ETC. TO SUPPORT ADJOINING SOIL, FLOORS, WALLS, ETC. AS REQUIRED TO RETAIN ALL WORK IN PLACE AND PREVENT ANY OVERSTRESSING OF THE STRUCTURE.
- THE CONTRACTOR SHALL CO-OPERATE WITH ALL TESTING, INSPECTION, AND QUALITY CONTROL PERSONNEL REQUIRED ON THE SITE AND WILL PROVIDE CASUAL LABOR FORCES AS REQUIRED TO ASSIST IN ALL THE FIELD REVIEW PROCEDURES. THE CONTRACTOR SHALL GIVE REASONABLE NOTICE TO THESE AGENCIES PRIOR TO REQUIRING THEIR SERVICES.
- THE ENGINEER OR HIS REPRESENTATIVE WILL PROVIDE PERIODIC SITE REVIEWS FOR WORK SHOWN ON THESE DRAWINGS TO ASCERTAIN WHETHER THE STRUCTURAL WORK IS IN GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE SITE REVIEWS ARE NOT FOR THE CONTRACTOR'S BENEFIT AND THE CONTRACTOR REMAINS FULLY RESPONSIBLE TO ENSURE THAT ALL STRUCTURAL WORK IS CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS AND ALL APPLICABLE CODES. THE WORK TO BE REVIEWED SHALL GENERALLY BE COMPLETE.
- PROVIDE 48 HOURS ADVANCE NOTICE OF EACH REQUIRED SITE REVIEW. SITE REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH KASSIAN DYCK & ASSOCIATES.
- PROVIDE 48 HRS. NOTICE PRIOR TO POURING CONCRETE. ALL REINFORCEMENT SHALL BE IN PLACE AND SECURED AT THE TIME OF THE REVIEW. REINFORCEMENT SHALL BE REVIEWED IN PLACE BY A REPRESENTATIVE OF THE ENGINEER, PRIOR TO PLACING CONCRETE.
- BEFORE CONCEALING ANY STRUCTURAL ELEMENTS, PROVIDE MINIMUM 48 HRS. NOTICE TO ENGINEER SO THE STRUCTURE CAN BE INSPECTED BY A REPRESENTATIVE OF THE ENGINEER.
- DO NOT CUT OR DRILL ANY OPENINGS INTO STRUCTURAL MEMBERS WITHOUT OBTAINING WRITTEN APPROVAL FROM KASSIAN DYCK & ASSOCIATES.
- SLAB ON GRADE WILL SHRINK AND SETTLE DUE TO BACKFILL DEPTH AND EXISTING SOIL CONDITIONS. MINOR CRACKING OF SLAB ON GRADE IS EXPECTED.

FOUNDATION NOTES:

- FOUNDATION DESIGN TO BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT
- UNLESS NOTED OTHERWISE FOUNDATION WALLS ARE NOT DESIGNED AS CANTILEVER WALLS. WALLS SHALL BE BACKFILLED EVENLY ON BOTH SIDES TO PREVENT LATERAL MOVEMENT. BACKFILL HEIGHTS SHALL NOT VARY BY MORE THAN 300 mm (12 INCH) FROM ONE SIDE TO THE OTHER.
- DO NOT LOCATE UNDERGROUND SERVICES OR PIPING ADJACENT TO OR BELOW FOOTINGS WITHIN A 45 DEGREE SLOPE LINE EXTENDING DOWN FROM THE EDGE OF ALL FOOTINGS.
- UNDERPIN WHERE NECESSARY ANY EXISTING STRUCTURE AND PROVIDE ALL BRACING AND SHORING TO SUPPORT ADJOINING SOIL, FLOORS, WALLS, ETC. AS REQUIRED TO RETAIN ALL WORK IN PLACE AND PREVENT ANY OVERSTRESSING OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL TEMPORARY UNDERPINNING, SHORING AND BRACING, AND SHALL SUBMIT 4 COPIES OF DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN ALBERTA.
- REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DAMPROOFING OR WATERPROOFING REQUIREMENTS.

SLAB-ON-GRADE NOTES:

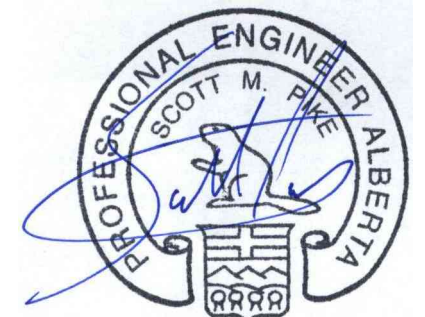
- PLACE CONCRETE TO CAN/CSA-A23.1.
- VIBRATE ALL CONCRETE.
- SAWCUT SLABS ON GRADE WITHIN 16 HOURS AFTER PLACING CONCRETE. SAW CUT NOT LESS THAN 35 mm (1 3/8 INCH) DEEP.
- SAWCUT INTERIOR SLABS ON GRADE INTO PANELS NOT EXCEEDING 21 SQUARE METRES WITH A MAXIMUM PANEL DIMENSION OF 4500 mm (15 FT).
- REMOVE ALL DEBRIS FROM SAWCUTS/CONTROL JOINTS. FILL SAWCUTS/CONTROL JOINTS SMOOTH AND LEVEL USING BACKING ROD AND JOINT SEALANT.
- PLACE EDGE JOINT FILLER AT SLAB EDGES AT WALLS AND GRADE BEAMS. LEAVE 13 mm (1/2 INCH) DEEP RECESS AND FILL JOINT WITH CONTROL JOINT SEALANT.
- CURE HORIZONTAL SURFACES BY KEEPING THEM WET FOR 7 DAYS, BY COVERING WITH A POLYETHYLENE SHEET WELL LAPPED AND EDGES WEIGHTED, OR WITH AN APPROVED CURING AGENT.

CONCRETE NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH CSA A23.1-04, A23.2-04, AND A23.3-04.
- CEMENT: NORMAL PORTLAND CEMENT TO CAN/CSA-A5, TYPE GU OR SULPHATE RESISTANT CEMENT TO CAN/CSA-A5 TYPE HS.
- CONCRETE TO BE IN ACCORDANCE WITH FOLLOWING PERFORMANCE SCHEDULE. RESPONSIBILITIES OF OWNER, CONTRACTOR, AND SUPPLIER ARE IN ACCORDANCE WITH ALTERNATIVE 1, TABLE 5 OR CSA A23.1-04:

LOCATION	STRENGTH	EXPOSURE	AIR	MAX AGGREG.	MAX W/C
FOOTINGS, EXTERIOR	25 MPa 3600 psi	F-2	4-7%	40 mm 1 1/2 INCH	0.55
FOOTINGS, INTERIOR	25 MPa 3600 psi	N	0	40 mm 1 1/2 INCH	0.55
FOUNDATION BASEMENT WALLS	25 MPa 3600 psi	F-2	4-7%	20 mm 3/4 INCH	0.55
SLAB ON GRADE INTERIOR	25 MPa 3600 psi	N	0	20 mm 3/4 INCH	0.50
SLAB ON GRADE EXTERIOR	32 MPa 4600 psi	C-2	5-8%	20 mm 3/4 INCH	0.45

- AIR ENTRAINING ADMIXTURE TO ASTM C 260.
- CALCIUM CHLORIDE SHALL NOT BE USED AS ADMIXTURE.
- CONTRACTOR TO PREPARE AND IMPLEMENT QUALITY CONTROL PLAN TO ENSURE THAT CONCRETE PERFORMANCE CRITERIA WILL BE MET, AND SUBMIT DOCUMENTATION DEMONSTRATING THAT PERFORMANCE REQUIREMENTS HAVE BEEN MET.
- PERFORM AT LEAST ONE CONCRETE TEST (3 CYLINDERS) FOR EACH 50 CUBIC METRES OF CONCRETE, OR FRACTION THEREOF, OF EACH TYPE OF CONCRETE POURED IN ANY ONE DAY.
- CONTRACTOR TO CALL FOR CONCRETE TESTING AT APPROPRIATE TIME.
- VOID FORM: EXPANDED POLYSTYRENE CONFIGURED TO SUPPORT A MAXIMUM LOAD OF 27 kPa (560 psi) AT 5% DEFORMATION AND 50 kPa AT 40% DEFORMATION. FROST CUSHION BY BEAVER PLASTICS OR APPROVED EQUAL. PROVIDE 100 mm (4 INCH) THICKNESS UNLESS NOTED OTHERWISE.
- EDGE JOINT FILLER: BITUMINOUS IMPREGNATED FBREBOARD, 2 mm (1/2 INCH) THICK, TO ASTM D1751-83.
- WATERSTOP: RX WATERSTOP AS MANUFACTURED BY AMERICAN COLLOID COMPANY, OR APPROVED EQUAL.
- DRY PACK GROUT: NON-METALLIC, NON-SHRINK, CEMENTITIOUS GROUT, WITH MINIMUM 28 DAY STRENGTH OF 25 MPa (3600 psi).
- PLACE CONCRETE AS CLOSE AS POSSIBLE TO FINAL LOCATION TO AVOID SEGREGATION. VIBRATE ALL CONCRETE.
- BRING ALL FLOORS TO AN EVEN, LEVEL, OR SLOPING SURFACE AS INDICATED ON THE DRAWINGS, READY TO RECEIVE THE SPECIFIED FINISH.
- UNLESS NOTED OTHERWISE PROVIDE THE FOLLOWING FINISHES TO CONCRETE FLOORS:
 - INTERIOR FLOORS - STEEL TROWEL
 - EXTERIOR SIDEWALKS AND SLABS - BROOM FINISH
 - INTERIOR PARKING SLABS AND RAMPS - POWER FLOAT FINISH
 - DO NOT OVERWORK SLAB SURFACE. FLOOR TO BE LEVEL WITHIN 3 mm (1/8 INCH) IN 3000 mm (10 FT).
- MINIMUM CONCRETE THICKNESS FOR SIDEWALKS AND RAMPS IS 100 mm (4 INCH) UNLESS NOTED OTHERWISE.
- PROVIDE CONTROL JOINTS IN FOUNDATION/BASEMENT WALLS AT 6 m (20 FT) O/C MAXIMUM. SEE TYPICAL DETAILS.
- PROVIDE COOLED JOINTS IN SIDEWALKS AT 1200 mm (4 FT) O/C MAXIMUM.
- SUBMIT LOCATIONS OF ALL CONSTRUCTION JOINTS TO ENGINEER FOR APPROVAL.
- PROTECT CONCRETE FROM FREEZING. DO NOT PLACE CONCRETE AGAINST FROZEN GROUND. USE WINTER CONCRETING METHODS IN ACCORDANCE WITH CSA A23.1-04.
- PROTECT CONCRETE FROM EXCESSIVE HEAT AND DRYING. USE HOT WEATHER CONCRETING METHODS IN ACCORDANCE WITH CSA A23.1-04.
- CURE CONCRETE IN ACCORDANCE WITH A23.1-04, AND FOR A MINIMUM OF 7 DAYS AT A MINIMUM TEMPERATURE OF 10 DEGREES C. OR FOR THE TIME NECESSARY TO OBTAIN 70% OF THE SPECIFIED 28 DAY COMPRESSIVE STRENGTH.
- PARGE EXPOSED FOUNDATION WALL AND REINFORCE WITH MESH. APPLY BONDING AGENT.



AUGUST 18, 2014
PERMIT NO. P5820

A	ISSUED FOR BUILDING PERMIT	08-18-14
NO.	REVISION	DATE

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- THIS IS A COPYRIGHT DRAWING AND DESIGN, AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN APPROVAL OF KASSIAN DYCK AND ASSOCIATES.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.
- THESE DRAWINGS ARE NOT TO BE SCALED.

KASSIAN DYCK ASSOCIATES
CONSULTING ENGINEERS

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PROJECT		SHOPPING CENTRE 2119 50TH AVE, RED DEER AB		
DWG. TITLE		GENERAL NOTES		
DRAWN RB	ENG. SP	PROJ. No. 14046	DWG No. S1.0	REV.
DATE 2014-08-18	SCALE AS NOTED			

CONCRETE REINFORCEMENT NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH CSA A23.1-04 AND A23.3-04.
- REINFORCING BARS: DEFORMED BARS, GRADE 400 CONFORMING TO CSA G30.18 UNLESS NOTED OTHERWISE.
- WELDED WIRE FABRIC: GRADE 400 CONFORMING TO CSA G30.5. PROVIDE IN FLAT SHEETS ONLY.
- SHOP DRAWINGS SHALL INCLUDE BENDING, CUTTING, AND PLACING DRAWINGS FOR ALL REINFORCING STEEL. CLEARLY INDICATE CONCRETE COVER TO REINFORCING, BAR SIZES, GRADES, SPACING, REINFORCEMENT LOCATIONS, AND BAR SUPPORTS.
- PROVIDE CLASS B SPACES FOR ALL REINFORCEMENT UNLESS SHOWN OTHERWISE (600 mm (2 FT) MIN).
- PROVIDE ADDITIONAL SUPPORT BARS AS REQUIRED TO ADEQUATELY SUPPORT AND SECURE ALL REINFORCEMENT AND PREVENT MOVEMENT WHEN PLACING CONCRETE. PROVIDE AS A MINIMUM THE FOLLOWING:
 - 10M U BAR SPACERS AT 3 m (10 FT) O/C HORIZONTALLY AND 1.5 m (5 FT) O/C VERTICALLY TO HOLD WALL REINFORCING MATS IN POSITION
 - 15M SUPPORT BARS FOR SLAB TOP REINFORCING SPACED AT A MAXIMUM OF 600 mm (2 FT) O/C FOR 10M BARS, AND 1200 mm (4 FT) O/C FOR 15M AND LARGER BARS
 - 15M SUPPORT BARS AT A MAXIMUM OF 1200 mm (4 FT) O/C SPACING IN EACH DIRECTION FOR BOTTOM REINFORCING
 - 15M SUPPORT BARS IN HOOKS AND EACH CORNER OF STIRRUPS UNLESS SHOWN OTHERWISE
 - SUPPORT PILE CAP REINFORCEMENT AT 900 mm (3 FT) MAXIMUM O/C
- LOCATE CHAIRS FOR REINFORCING AT A MAXIMUM OF 1200 mm (4 FT) CENTRES.
- PROVIDE 15M X 1500 mm LONG DOWELS TO ALL REINFORCED MASONRY WALLS OR COLUMNS. NUMBER TO MATCH COLUMN OR WALL REINFORCING.
- UNLESS OTHERWISE SHOWN, CLEAR CONCRETE COVER TO REINFORCEMENT TO BE AS FOLLOWS:

SLABS, WALLS, JOISTS, 20M & SMALLER, EXPOSED	40 mm (1-5/8 INCH)
SLABS, WALLS, JOISTS, 20M & SMALLER, NOT EXPOSED, UP TO 2 HRS FIRE RATING	25 mm (1 INCH)
SLABS, WALLS, JOISTS, 20M & SMALLER, NOT EXPOSED, UP TO 3 HRS FIRE RATING	35 mm (1-3/8 INCH)
PARKING SLABS, TOP	40 mm (1-5/8 INCH)
PARKING SLABS, BOTTOM	30 mm (1-1/4 INCH)
CONCRETE POURED AGAINST EARTH	75 mm (3 INCH)
SLABS POURED AGAINST VOID FORM	50 mm (2 INCH)
COLUMN TIES, BEAM STIRRUPS	40 mm (1-5/8 INCH)
BEAMS & COLUMNS, PRINCIPAL REINF., 35M & SMALLER, EXPOSED	50 mm (2 INCH)
BEAMS & COLUMNS, PRINCIPAL REINF., 35M & SMALLER, NOT EXPOSED	40 mm (1-5/8 INCH)
BARs LARGER THAN THOSE LISTED ABOVE, EXPOSED	1.5 x DIAM.
BARs LARGER THAN THOSE LISTED ABOVE, NOT EXPOSED	1.0 x DIAM.

EXPOSED MEANS EXPOSURE TO EARTH AND/OR WEATHER
- ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, OIL, DIRT, RUST, AND ANY OTHER FOREIGN COATINGS THAT AFFECT BONDING CAPACITY BEFORE PLACING REBAR.
- UNLESS NOTED OTHERWISE, ALL REBAR EMBEDMENT AND LAP SPlice LENGTHS TO BE AS SHOWN IN FOLLOWING TABLE. ALL TENSION LAP SPICES ARE CLASS B. WHERE NO EMBEDMENT TYPE IS INDICATED, PROVIDE TENSION EMBEDMENT. WHERE NO LAP SPICE TYPE IS INDICATED, PROVIDE TENSION LAP SPICE.

TENSION DEVELOPMENT (EMBEDMENT) LENGTHS / LAP SPICE LENGTHS (mm)

BAR SIZE	CONCRETE STRENGTH							
	20 MPa		25 MPa		30 MPa		35 MPa	
	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP
10M	320	420	300	390	300	390	300	390
15M	480	630	430	560	390	510	370	480
20M	640	840	580	750	530	680	490	630
25M	1010	1310	900	1170	820	1070	760	990
30M	1210	1570	1080	1400	990	1280	910	1190
35M	1410	1830	1200	1640	1150	1500	1070	1380

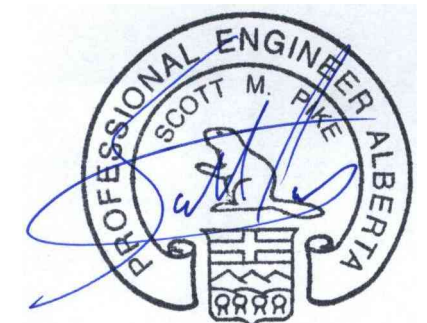
- NOTES: - ALL TOP BAR SPICES AND EMBEDMENT LENGTHS TO BE 1.3 TIMES LONGER THAN VALUES SHOWN ABOVE.
 - TOP BARS ARE THOSE WHICH ARE CAST WITH 300 mm OR MORE CONCRETE BELOW BAR.
 - STIRRUP SPICES NOT ALLOWED EXCEPT WHEN APPROVED BY ENGINEER
 - SPICES FOR EPOXY COATED REINFORCEMENT TO BE INCREASED AS PER ENGINEER'S INSTRUCTIONS.

COMPRESSION LAP SPICE LENGTHS (mm)

BAR SIZE	LAP
10M	300
15M	440
20M	580
25M	730
30M	880
35M	1020

EXCAVATION AND BACKFILL NOTES:

- ALL EARTHWORK INCLUDING EXCAVATION AND BACKFILL TO BE DONE IN ACCORDANCE WITH SOILS REPORT
- LOCATE ALL UNDERGROUND SERVICES PRIOR TO EXCAVATING OR DRILLING.
- STRIP ALL TOPSOIL, FILL, FROZEN SOIL, WET AND/OR WEAK SOILS, AND DEBRIS FROM THE BUILDING AREA.
- EXCAVATE TO ELEVATIONS SHOWN.
- TEMPORARY SLOPES FOR EXCAVATIONS NOT TO EXCEED 1 HORIZ. TO 1 VERT. IN CLAY, OR 2 HORIZ. TO 1 VERT. IN SAND. PROVIDE SHALLOWER SLOPES AS REQUIRED BY SOIL CONDITIONS.
- PRIOR TO PLACING FILL BELOW SLABS ON GRADE OR ASPHALT PAVING, PROOF ROLL THE SUBGRADE, REMOVE ANY SOFT AREAS AND REPLACE WITH COMPACTED PIT RUN GRAVEL, AND COMPACT EXISTING SUBGRADE TO OBTAIN THE SAME COMPACTION AS SPECIFIED FOR THE FILL.
- PIT RUN GRAVEL TO BE WELL GRADED, 100 mm (4 INCH) MINUS.
- CRUSHED GRAVEL TO BE 20 mm (3/4 INCH) ROAD CRUSH.
- BACKFILL AND FILL TO BE AS FOLLOWS:
 - CRUSHED GRAVEL BELOW SLAB ON GRADE
 - APPROVED NATIVE SOIL BELOW LANDSCAPED AREAS
- COMPACT ALL BACKFILL BELOW SLABS ON GRADE, ASPHALT PAVING, AND STRUCTURAL SLABS TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY. COMPACT ALL BACKFILL BELOW LANDSCAPED AREAS TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY. COMPACT IN MAXIMUM 150 mm (6 INCH) LIFTS.
- UNLESS NOTED OTHERWISE, FOUNDATIONS AND WALLS SHALL BE BACKFILLED EVENLY ON BOTH SIDES TO PREVENT LATERAL MOVEMENT. BACKFILL HEIGHTS SHALL NOT VARY BY MORE THAN 300 mm (12 INCH) FROM ONE SIDE TO THE OTHER. EXERCISE EXTREME CAUTION DURING BACKFILL OPERATIONS TO PREVENT DAMAGE TO THE CONCRETE. DO NOT BACKFILL BASEMENT WALLS UNTIL BASEMENT SLAB ON GRADE AND MAIN FLOOR FRAMING (C/W BLOCKING) IS IN PLACE AND IS PROVIDING PROPER HORIZONTAL SUPPORT FOR BASEMENT WALL.
- ALL SURFACE GRADING ADJACENT TO THE BUILDING SHALL BE SLOPED AWAY FROM THE STRUCTURE (ALLOW EXTRA SOIL TO ACCOUNT FOR SEASONAL SETTLEMENT).
- DO NOT ENCRUST A 45-DEGREE ANGLE OF BEARING FROM ADJACENT FOOTING BOTTOMS U.N.O.
- KEEP EXCAVATION DRAINED AND FREE OF WATER AT ALL TIMES.
- TAKE ALL NECESSARY MEASURES AND PRECAUTIONS TO PREVENT FREEZING OF SOILS BELOW FOOTINGS AND INTERIOR SLABS ON GRADE.
- REMOVE FROM SITE AND DISPOSE OF ANY SURPLUS MATERIAL.



AUGUST 18, 2014
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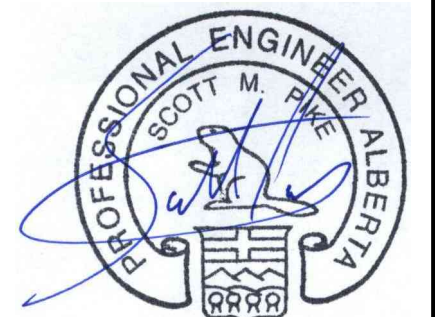
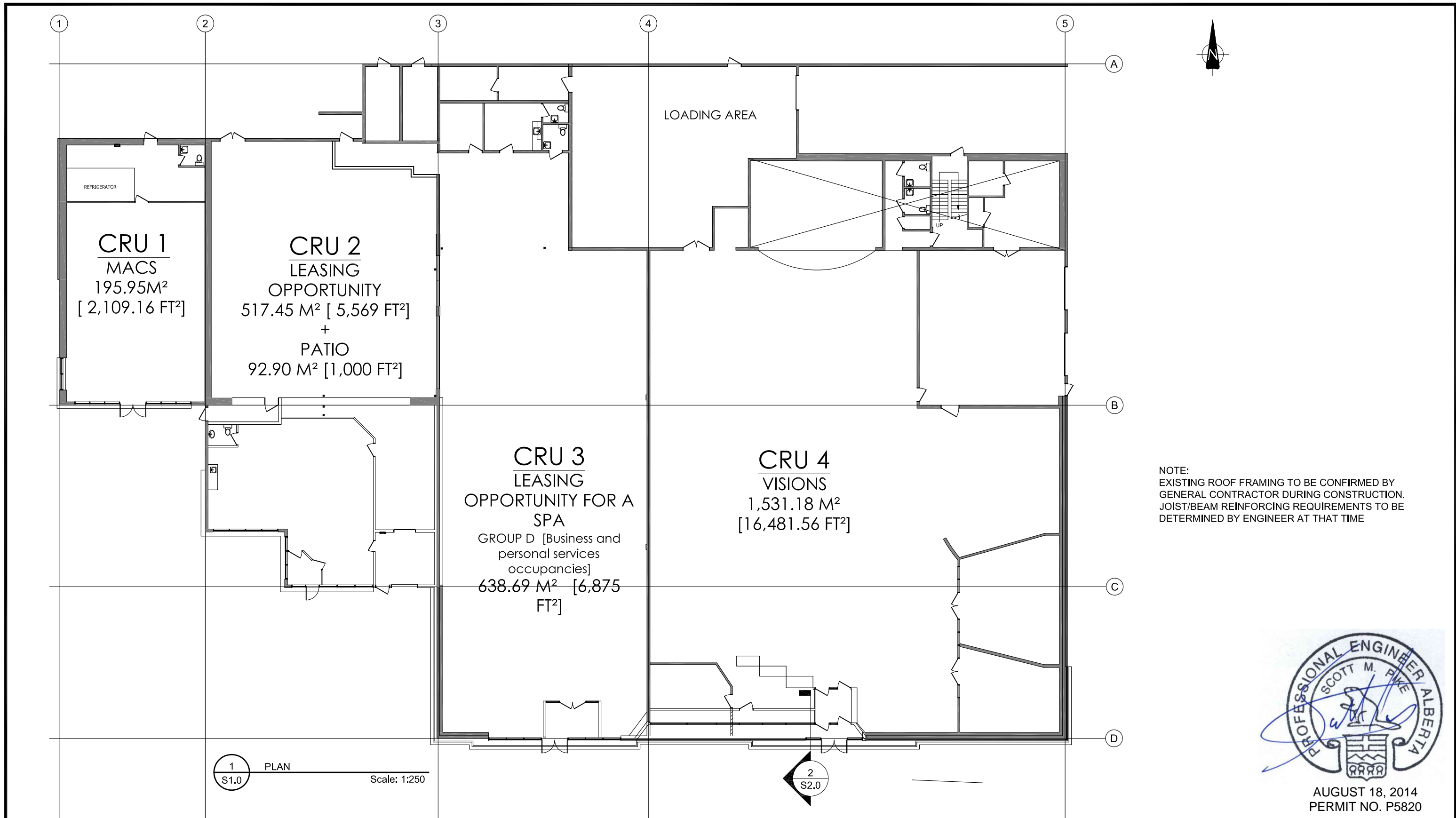
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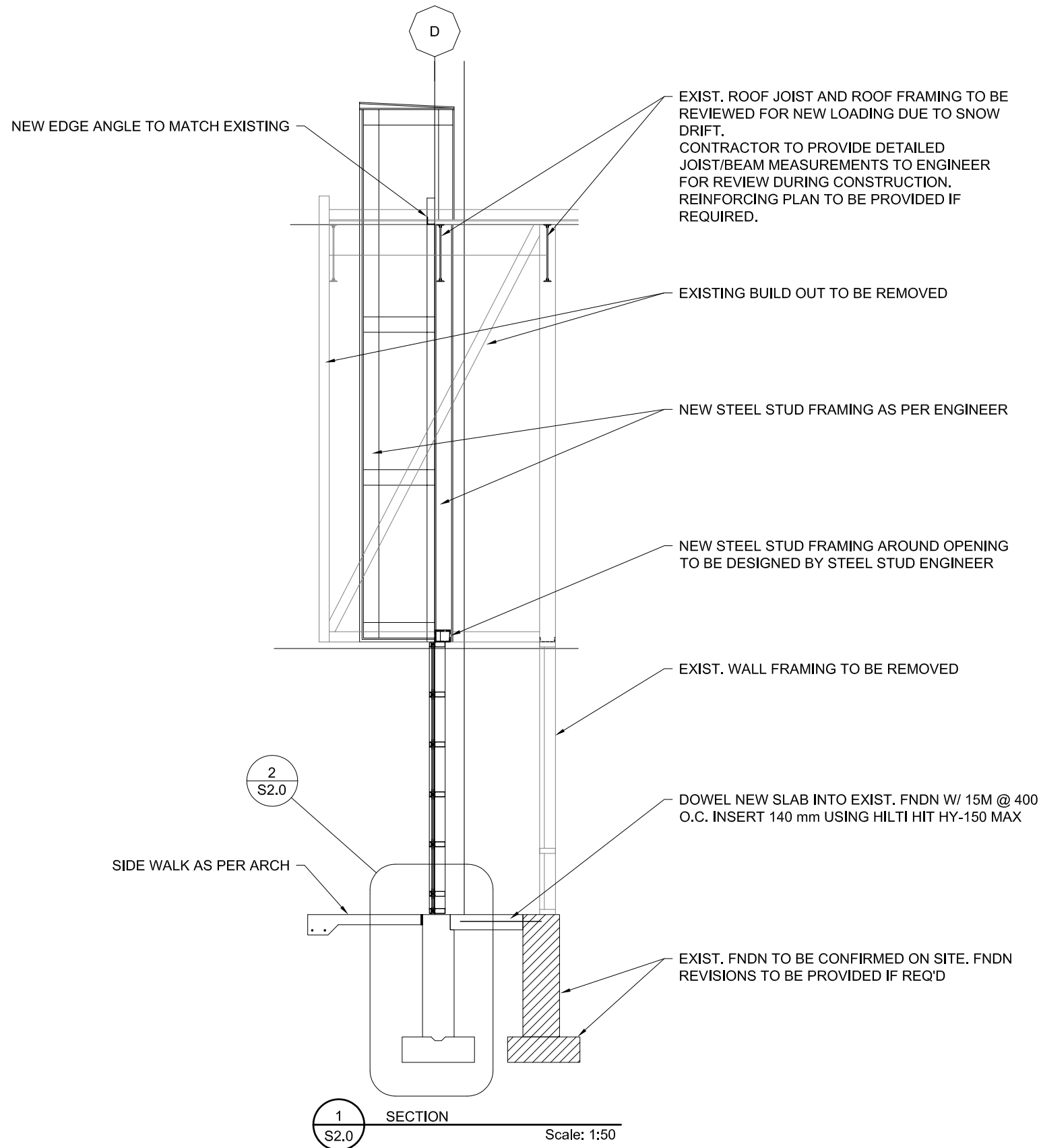


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DWG. TITLE		GENERAL NOTES			
DRAWN	RB	ENG.	SP	PROJ. No.	DWG No.
DATE	2014-08-18	SCALE	AS NOTED	14046	S0.2
REV.					

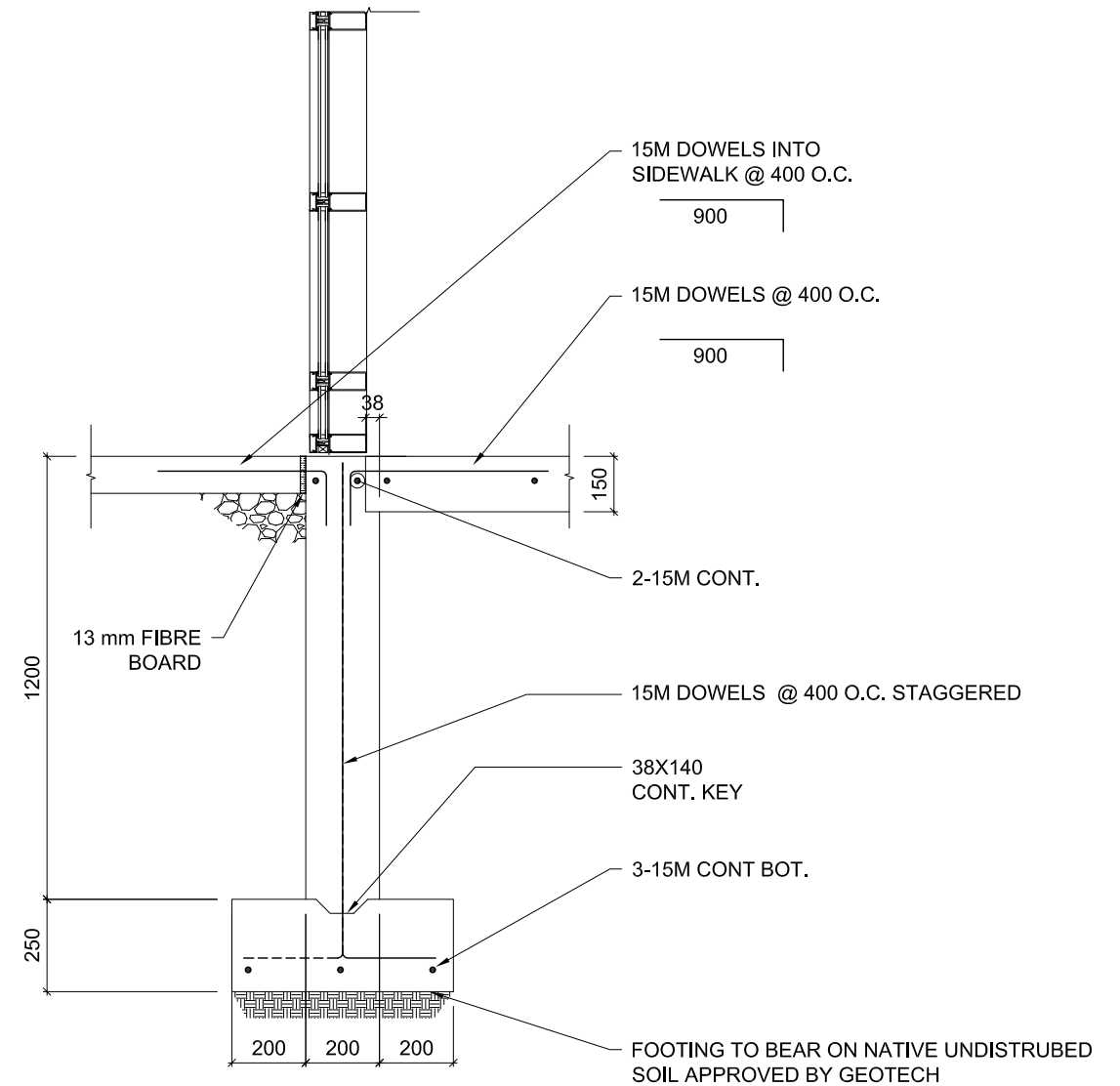


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PERMIT NO. P5820

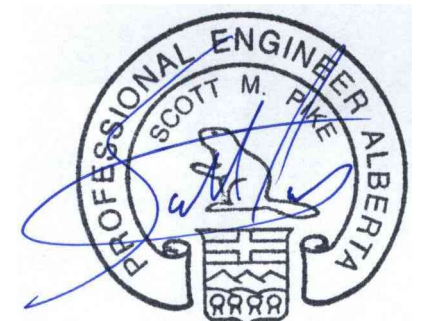
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						DWG. TITLE FLOOR PLAN					
A	ISSUED FOR BUILDING PERMIT	08-18-14				DRAWN RB DATE 2014-08-18	ENG. SP SCALE AS NOTED	PROJ. No. 14046 DWG No. S1.0	REV.		
NO.	REVISION	DATE	PERMIT TO PRACTICE NUMBER: P 5820								



1 SECTION
Scale: 1:50



2 DETIL
Scale: 1:50



AUGUST 18, 2014
PERMIT NO. P5820

NO.	REVISION	DATE
A	ISSUED FOR BUILDING PERMIT	08-18-14

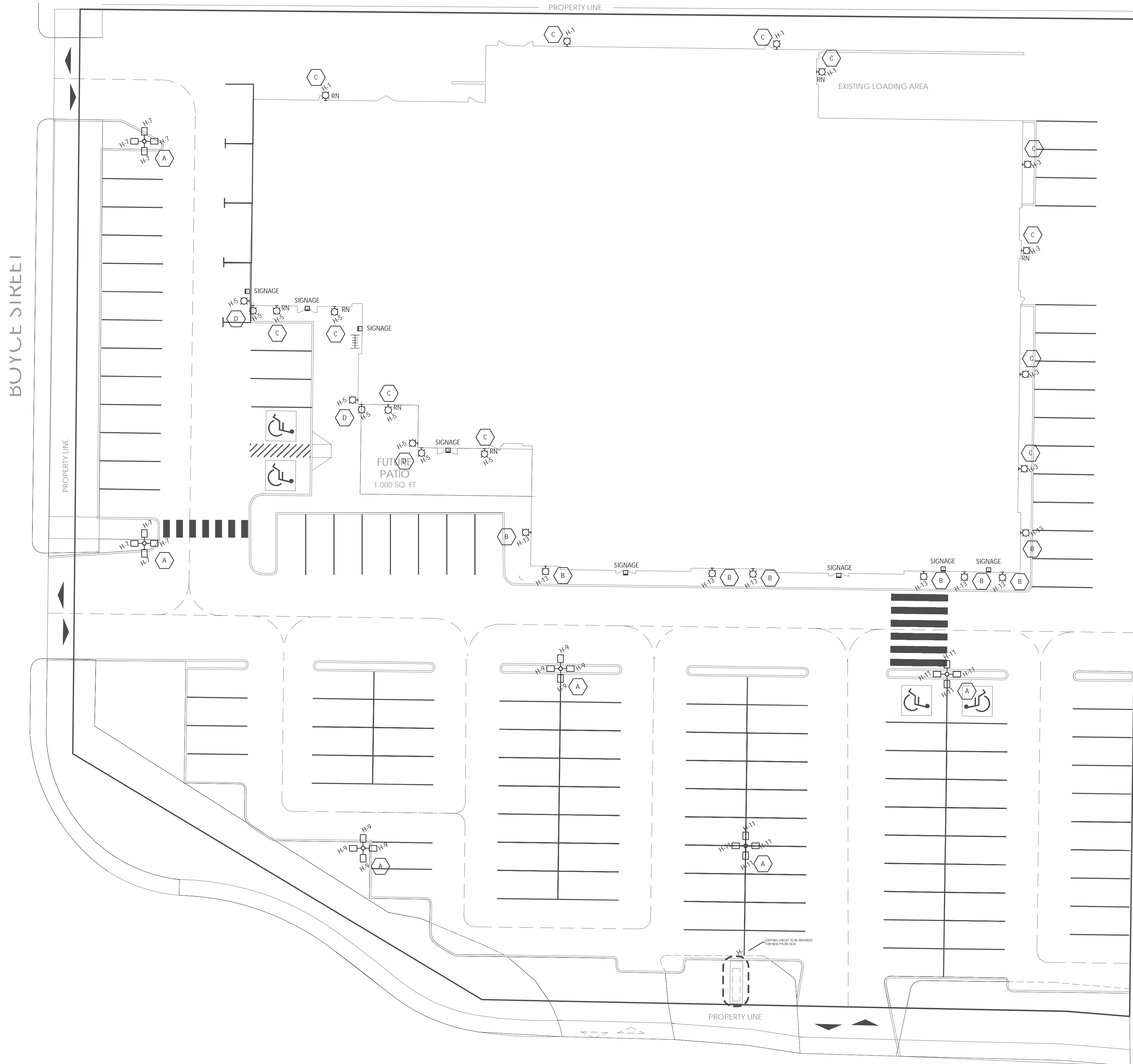
PERMIT TO PRACTICE NUMBER: P 5820

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PROJECT		SHOPPING CENTRE 2119 50TH AVE, RED DEER AB			
DWG. TITLE		SECTION & DETAIL			
DRAWN	RB	ENG.	SP	PROJ. No.	DWG No.
DATE	2014-08-18	SCALE	AS NOTED	14046	S2.0
REV.					

LANDSCAPED LANE




- GENERAL NOTES:**
1. "RN" INDICATES NEW LIGHT FIXTURE TO BE INSTALLED IN EXISTING LOCATION. REFER TO E1.0 FOR CLARIFICATION.
 2. ALL LIGHTING CIRCUITS TO BE CONTROLLED THROUGH LIGHTING CONTACTOR LOCATED IN MAIN ELECTRICAL ROOM REFER TO DRAWING E3.0.
 3. ALL LIGHTING CIRCUITS TO BE FED FROM MAIN HOUSE PANEL LOCATED IN MAIN ELECTRICAL ROOM.
 4. ELECTRICAL CONTRACTOR TO MOUNT FIXTURES AT EXISTING FIXTURE HEIGHTS.



keddie architecture inc
suite 303, 204 - 17 street sw
calgary, ab t2c 4n4
p: 403.860.0977
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ckeddie@kai.net

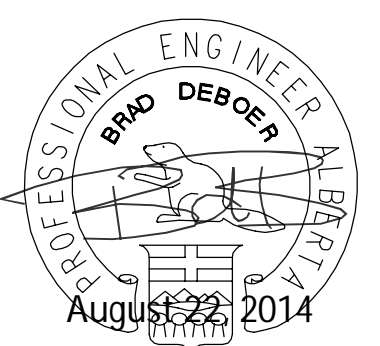
SEAL

CONSULTANT



BdB Consulting Engineers Ltd.
48 Tilbury Meadows Dr. NW, Calgary, AB T3E 2T8
p: 403-208-8553 | f: 403-208-9664 | www.bdbengineers.com
BdB Project No.: 14019


SEAL



PROFESSIONAL ENGINEER
BRAD DECKER
August 22, 2014
PERMIT NUMBER: P11753

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
3	2014-08-22	Issued for Building Permit	BS	BdB
2	2014-08-22	Issued for Pricing	BS	BdB
1	2014-08-18	Issued for Review	BS	BdB

CONSTRUCTION MANAGER



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PROJECT

EXTERIOR LIGHTING PLAN

24 2119 50th AVENUE
RED DEER, AB

DRAWING TITLE

NEW EXTERIOR LIGHTING LAYOUT

DRAWING ISSUED

ISSUED FOR BUILDING PERMIT/PRICING

PROJECT NO.	14019.10	PLOT DATE	
DRAWING NO.	E2.0	SCALE	1:200
		REVISION	

2119 50th AVENUE RED DEER, AB

SHOPPING CENTRE - EXTERIOR RENOVATION



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NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

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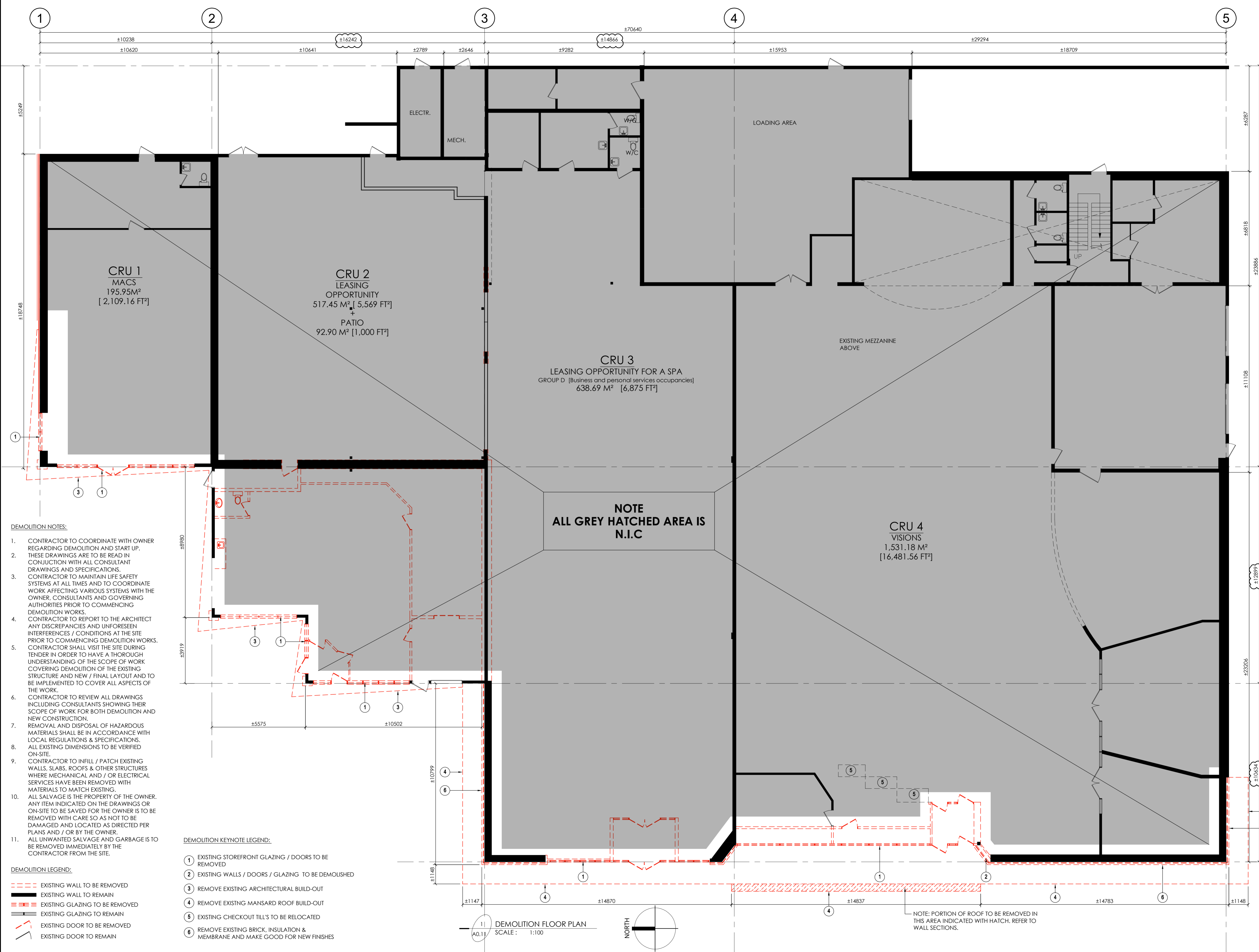
PROJECT
SHOPPING CENTRE - EXTERIOR RENOVATION
MUNICIPAL ADDRESS(S)
#1, 2119 50 Ave, Red Deer, AB T4R 1Z4
#2, 2119 50 Ave, Red Deer, AB T4R 1Z4
#100, 2127 50 Ave, Red Deer, AB T4R 1Z4
#101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE
COVER SHEET

DRAWING ISSUED
ISSUED FOR CONSTRUCTION

PROJECT NO.	1203	PLOT DATE	2014-09-19
DRAWING NO.	A0.00	SCALE	N.T.S.

REVISION



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6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
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2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

NO. YY-MM-DD REVISION / DRAWING ISSUE DRAWN REVIEW

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PROJECT

SHOPPING CENTRE - EXTERIOR RENOVATION
MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

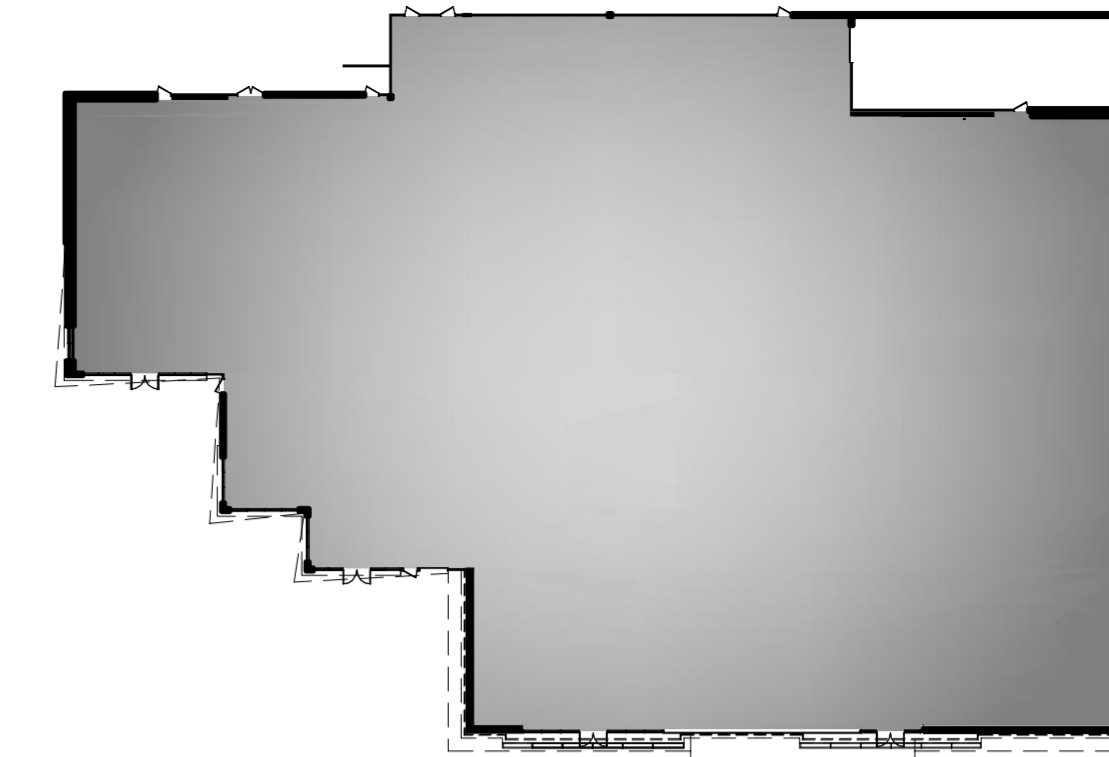
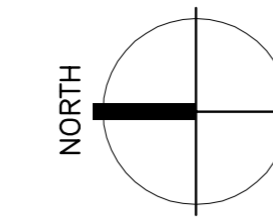
DEMOLITION FLOOR PLAN

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	1203	PLOT DATE	2014-09-19
DRAWING NO.	A0.10	SCALE	AS NOTED

REVISION



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SEAL

2 VIEW
 A0.12 SCALE: N.T.S.



- 1 REMOVE/DEMOLISH MANSARD ROOF BUILDOUT
- 2 REMOVE/DEMOLISH ARCHITECTURAL BUILDOUT
- 3 REMOVE/DEMOLISH REPLACE GLAZING AND ALUMINUM STOREFRONT AND ENTRANCE - SEE ELEVATIONS AND DOOR/WINDOW SCHEDULE
- 4 REMOVE EXTERIOR LIGHT FIXTURE - CLIENT TO PROVIDE SALVAGE OR DEMOLISH INSTRUCTIONS
- 5 REMOVE SIGNAGE - CLIENT TO PROVIDE SALVAGE OR DEMOLISH INSTRUCTION
- 6 REMOVE/REINSTALL SIGNAGE
- 7 RELOCATE
- 8 DEMO PORTION OF WALL FOR STOREFRONT GLAZING
- 9 REMOVE AND REPLACE
- 10 DEMO PORTION OF WALL
- 11 REMOVE AND REPLACE WITH NEW DOOR SEE DOOR SCHEDULE
- 12 REPAINT EXISTING STRUCTURE
- 13 REMOVE EXTERIOR LAYER OF EXISTING FINISH SUCH AS BRICK / STUCCO

1 DEMO KEY PLAN INDICATING VIEWS
 A0.12 SCALE: N.T.S.

3 VIEW
 A0.12 SCALE: N.T.S.



4 VIEW
 A0.12 SCALE: N.T.S.



5 VIEW
 A0.12 SCALE: N.T.S.

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
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PROJECT

SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
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 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

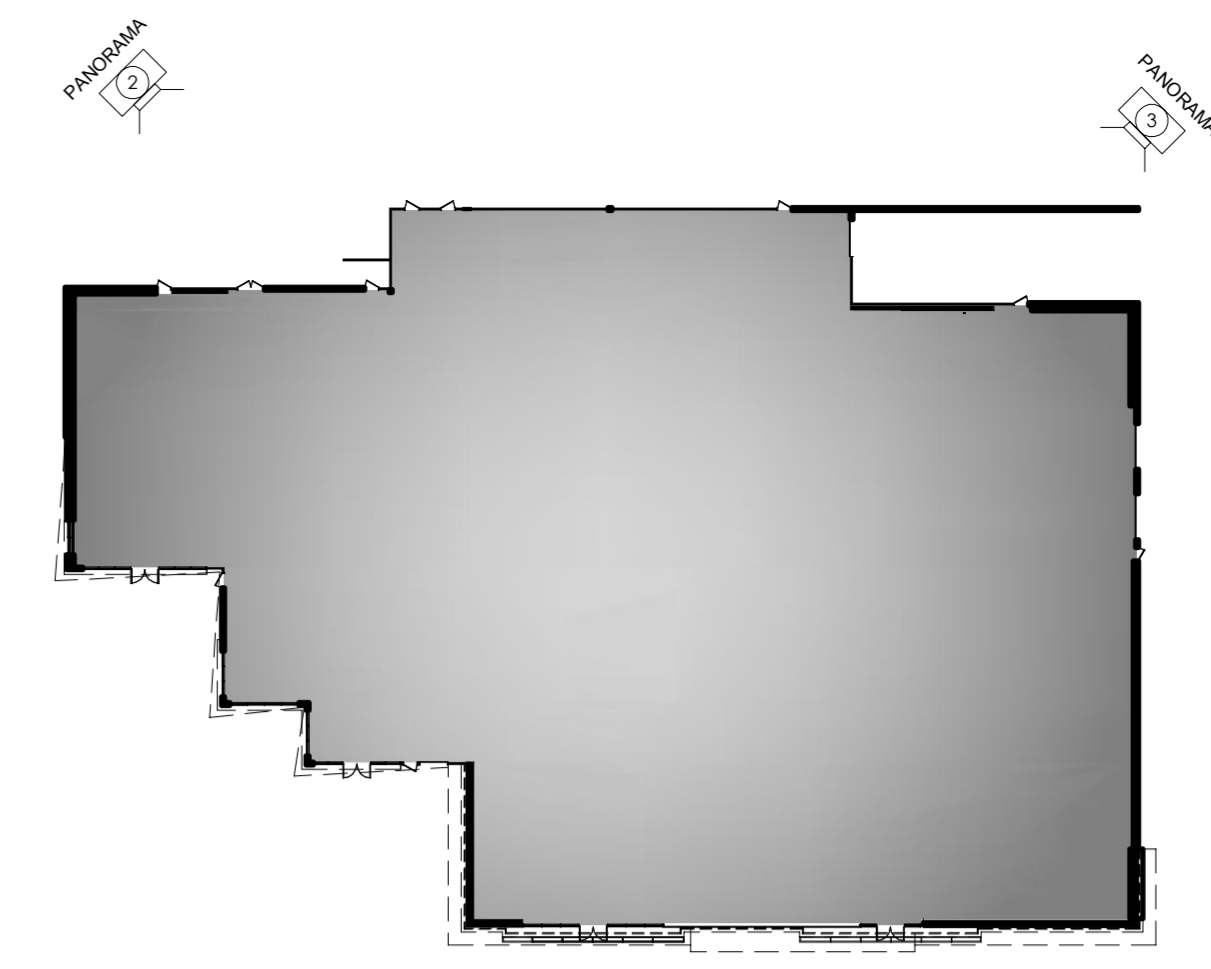
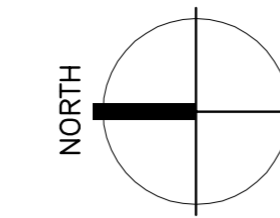
DEMOLITION KEY PLAN WITH VIEWS

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE
1203	2014-09-19
SCALE	AS NOTED

DRAWING NO. **A0.11** REVISION



1 DEMO KEY PLAN INDICATING VIEWS
 A0.12 SCALE: N.T.S.



2 VIEW
 A0.12 SCALE: N.T.S.



3 VIEW
 A0.12 SCALE: N.T.S.

- 1 REMOVE/DEMOLISH MANSARD ROOF BUILDOUT
- 2 REMOVE/DEMOLISH ARCHITECTURAL BUILDOUT
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PROJECT

SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

DEMOLITION KEY PLAN WITH VIEWS

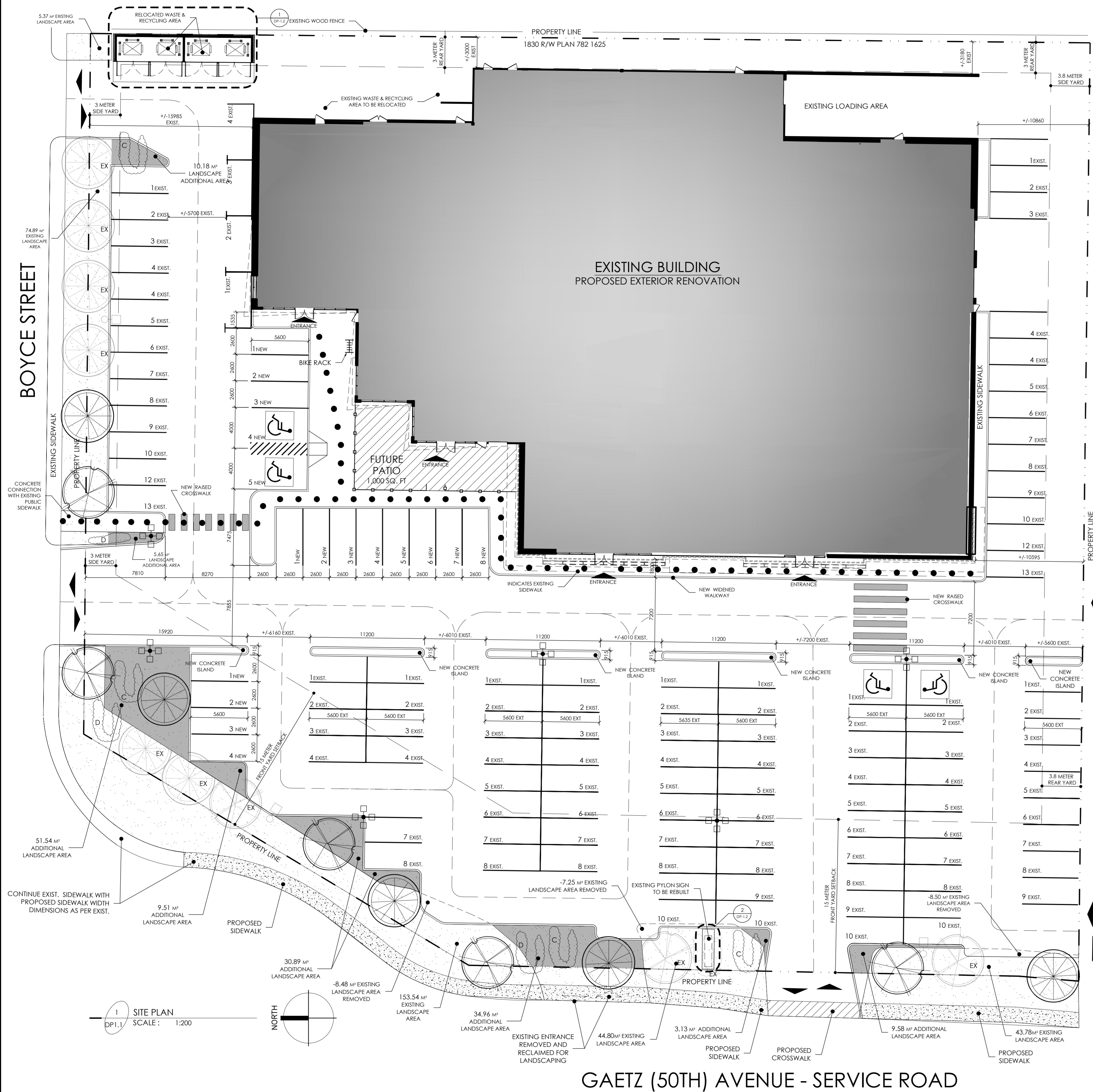
DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE
1203	2014-09-19
DRAWING NO.	SCALE
A0.12	AS NOTED

DRAWING NO. A0.12 REVISION

LANDSCAPED LANE



CITY OF RED DEER LAND USE BYLAW 3357/2006

LEGAL DESCRIPTION: LOT 11, BLOCK 1, PLAN 832 2478
 PARCEL ADDRESS: 101 2127 50 AVENUE
 MUNICIPAL ADDRESS: 24 2119 50th AVENUE, RED DEER, ALBERTA
 ZONING: C-4 - COMMERCIAL (MAJOR ARTERIAL) DISTRICT
 USE: MERCHANDISE SALES AND/OR RENTAL
 SITE AREA: 8483.01 M²
 FLOOR AREA: 2,704.57 M²

5.6 (2) C4 COMMERCIAL (MAJOR ARTERIAL) DISTRICT REGULATIONS

REGULATIONS	REQUIREMENTS	EXISTING	PROPOSED	TOTAL	RELAXATION/REQUIRED
FLOOR AREA	ONE THIRD OF SITE AREA: 8483.01 M² / 3 = 2,827.68 M²	2,687.05 M²	2,704.57 M² (17.52 M² ADDITION)	2,704.57 M²	-
BUILDING HEIGHT MAXIMUM	THREE STOREYS - MAXIMUM	ONE STOREY	EXISTING ONE STOREY	-	-
FRONT YARD MINIMUM	15.0 m	40.1 m	EXISTING TO REMAIN	-	-
SIDE YARD NORTH MINIMUM	3.0 M WHEN IT ABUTS A STREET	16 M	EXISTING TO REMAIN	-	-
SIDE YARD SOUTH MINIMUM	3.8 M ON ONE SIDE WHEN THERE IS NO CONSTRUCTED LANE	10.8 M	EXISTING TO REMAIN	-	-
REAR YARD MINIMUM	3.0 m	3.0 M	EXISTING TO REMAIN	-	-
PARKING REQUIREMENTS TABLE 3.1	5.1 PER 93.0 M² (GROSS FLOOR AREA); (2,704.57 M² / 93.0 M²) x 5.1 = 149 STALLS	119 STALLS	13 STALLS	132 STALLS	17 STALLS * SEE NOTE 2
BARRIER FREE PARKING STALLS	3 STALLS REQUIRED AS PER ABC 3.8.2.2.	2 STALLS	2 STALLS	4 STALLS	-
LOADING SPACES MINIMUM	1	1 EXISTING	EXISTING TO REMAIN	-	-
SITE AREA	MINIMUM 1393 M² MAXIMUM 4.0 Hg	8483.1 M²	EXISTING TO REMAIN	-	-
FRONTAGE	MINIMUM 103.7 M	-	-	-	-

(3.6) LANDSCAPING REGULATIONS

REGULATIONS	REQUIREMENTS	EXISTING	PROPOSED	TOTAL	RELAXATION/REQUIRED
LANDSCAPED AREA MINIMUM	40% OF MINIMUM FRONT YARD: 1560.56 M² X .40 = 624.22 M²	322.38 M²	155.44 M²	477.82 M²	-146.4M² * SEE NOTE 1
LANDSCAPING REGULATIONS	MAIN ENTRY AREA: ONE TREE PER 40 M² OF LANDSCAPE AREA = 15 TREES (8 CONIFEROUS & 7 DECIDUOUS)	9 TREES (6 CONIFEROUS 3 DECIDUOUS)	-	-	-
MAIN ENTRY AREA (WEST SIDE): TREES	ONE TREE PER 40 M² OF LANDSCAPE AREA = 9 TREES (5 CONIFEROUS & 4 DECIDUOUS)	5 TREES (2 CONIFEROUS 3 DECIDUOUS)	4 TREES (3 CONIFEROUS 1 DECIDUOUS)	9 TREES (5 CONIFEROUS 4 DECIDUOUS)	-
MAIN ENTRY AREA (WEST SIDE): SHRUBS	TWO SHRUBS PER 40 M² OF LANDSCAPE AREA = 19 SHRUBS (10 CONIFEROUS & 9 DECIDUOUS)	9 SHRUBS (CONIFEROUS)	10 SHRUBS (9 DECIDUOUS 1 CONIFEROUS)	19 SHRUBS (9 DECIDUOUS 10 CONIFEROUS)	-
ALL OTHER AREAS (NORTH SIDE): TREES	ONE TREE PER 60 M² OF LANDSCAPE AREA = 2 TREES (1 CONIFEROUS & 1 DECIDUOUS)	4 TREES (4 CONIFEROUS)	2 TREES (1 CONIFEROUS 1 DECIDUOUS)	6 TREES (1 DECIDUOUS 5 CONIFEROUS)	-
ALL OTHER AREAS (NORTH SIDE): SHRUBS	ONE SHRUB PER 30 M² OF LANDSCAPE AREA = 3 SHRUBS (2 CONIFEROUS & 1 DECIDUOUS)	0 SHRUBS	18 SHRUBS (9 DECIDUOUS 9 CONIFEROUS)	18 SHRUBS (9 DECIDUOUS 9 CONIFEROUS)	-
TOTAL		9 TREES 9 SHRUBS	6 TREES 28 SHRUBS	15 TREES 37 SHRUBS	-

NOTES:
 1. TOTAL LANDSCAPING AREA IS 914.4 M² TOTAL WHEN INCLUDING LANDSCAPING BETWEEN PROPERTY LINE AND ROADS.
 2. ALL EXISTING PARKING STALLS ARE TO REMAIN AS INDICATED AS "EXIST." THE BUILDING AREA IS ONLY BEING INCREASED BY 17.52 M² WHICH AMOUNTS TO AN INCREASE OF 1 STALL IN THE NUMBER OF REQUIRED PARKING STALLS. INCLUDED IN THE EXISTING PARKING PROVIDED ARE THE 11 STALLS ALONG THE SOUTH SIDE OF THE PROPERTY LINE THAT ARE SHARED WITH ADJACENT SITE.

LEGEND:

- EXISTING CONIFEROUS TREE
- PROPOSED CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- PROPOSED DECIDUOUS TREE
- EXISTING SHRUBS (9)
- PROPOSED GROUP CONIFEROUS SHRUBS (TYP. CONTAINS OF 9 INDIVIDUAL SHRUBS)
- EXISTING GRASS
- PROPOSED GROUP DECIDUOUS SHRUBS (TYP. CONTAINS OF 9 INDIVIDUAL SHRUBS)
- EXISTING TO REMAIN
- EXISTING LIGHT STANDARD
- ADDITIONAL LANDSCAPE AREA
- PROPOSED LIGHT STANDARD
- PEDESTRIAN CONNECTION



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NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
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CONSTRUCTION MANAGER

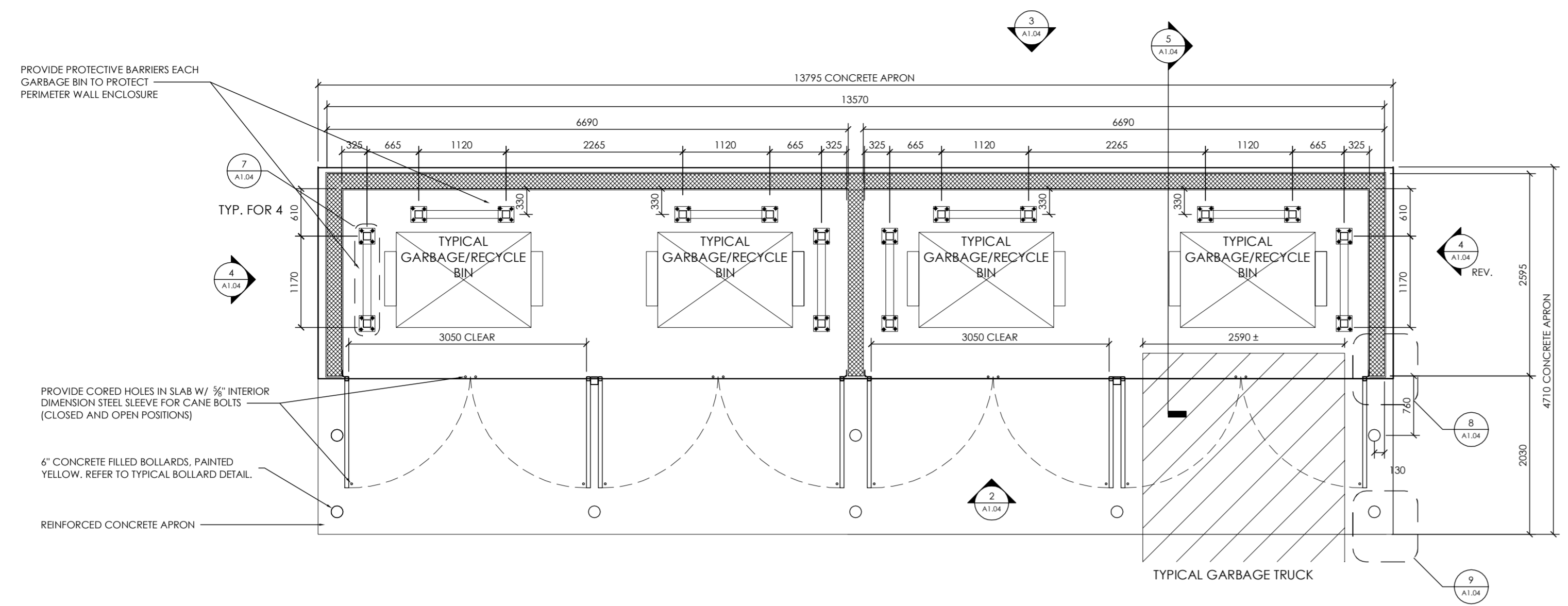
PROJECT
SHOPPING CENTRE - EXTERIOR RENOVATION
 (MUNICIPAL ADDRESS(S))
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE
 SITE PLAN

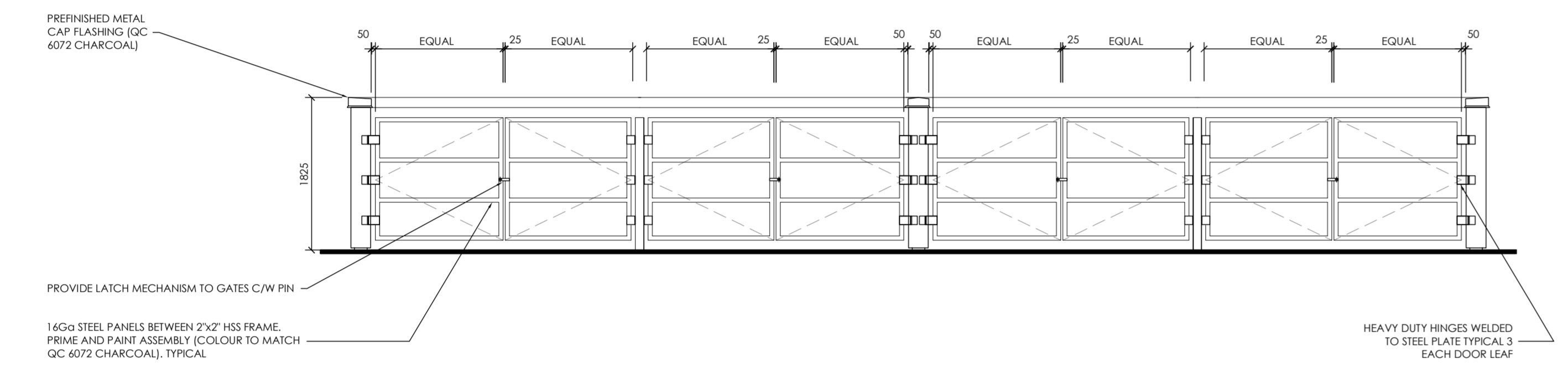
DRAWING ISSUED
 ISSUED FOR CONSTRUCTION

PROJECT NO. 1203
PLOT DATE 2014-09-19
SCALE AS NOTED

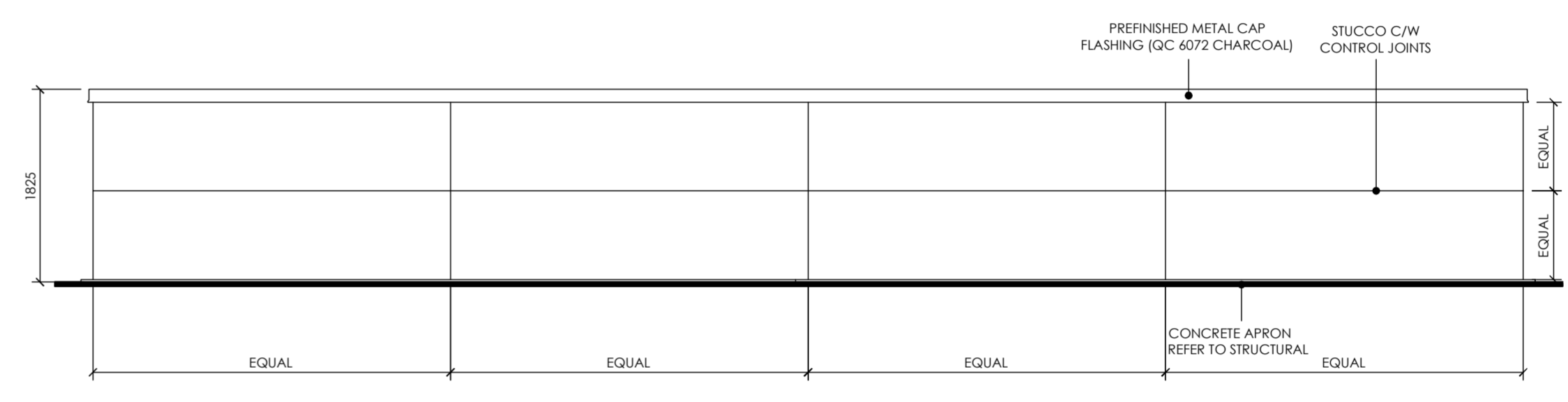
DRAWING NO. A1.01
REVISION



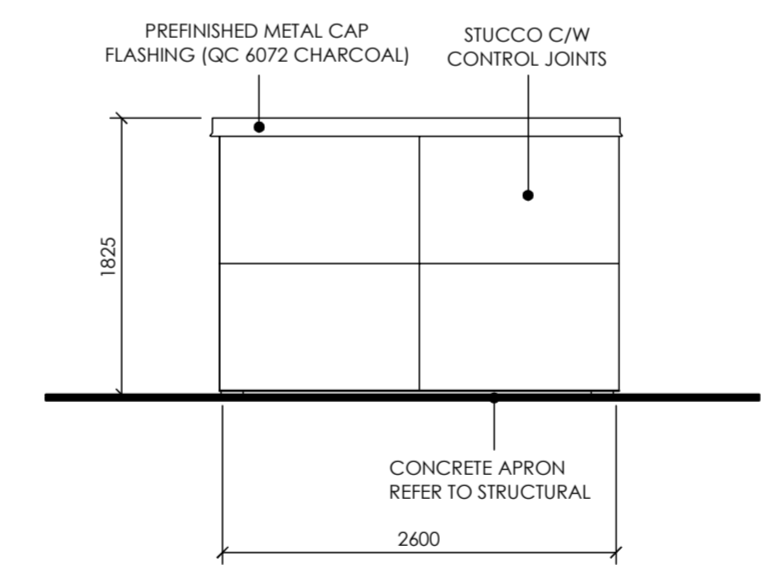
1 FOUR COMPARTMENT GARBAGE ENCLOSURE PLAN
 A1-04 SCALE: 1:50



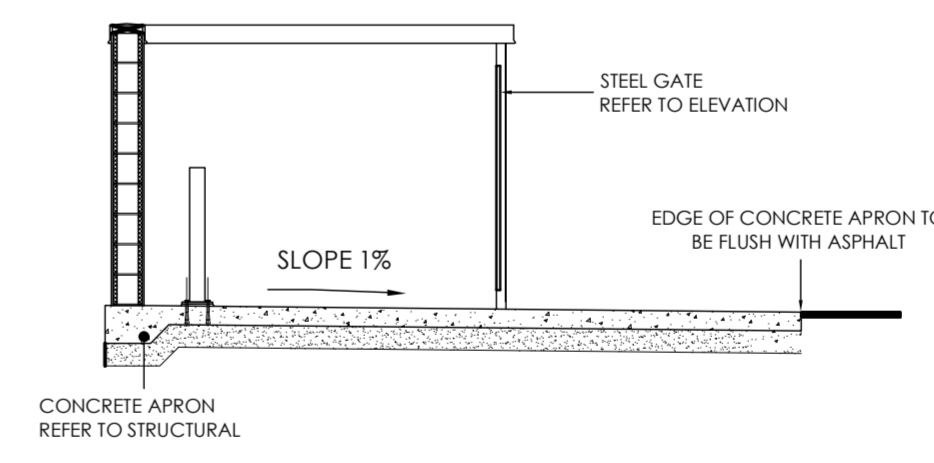
2 FOUR COMPARTMENT GARBAGE ENCLOSURE ELEVATION
 A1-04 SCALE: 1:50



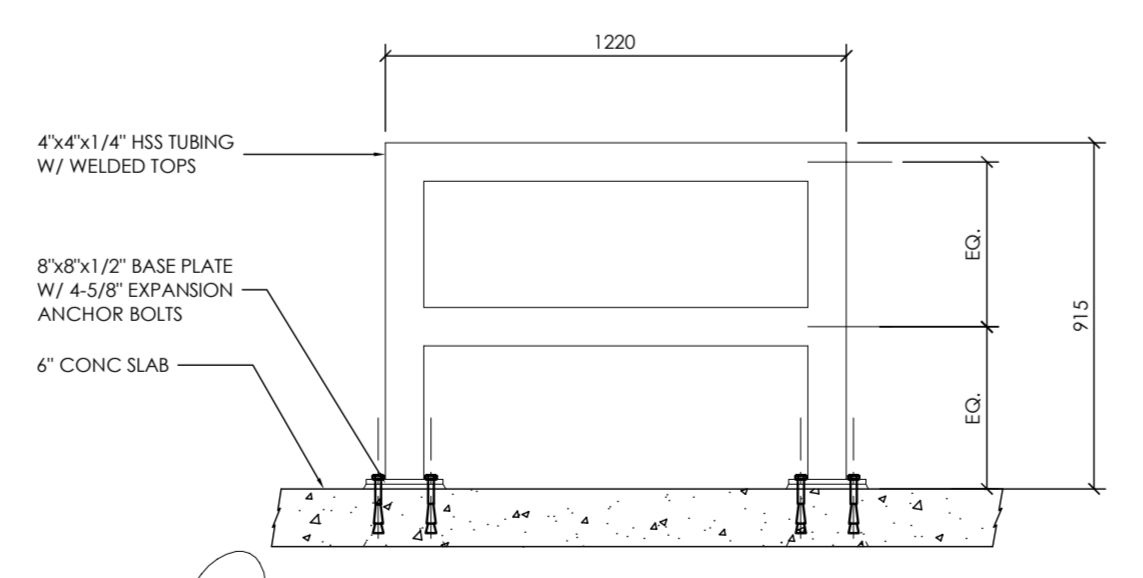
3 FOUR COMPARTMENT GARBAGE ENCLOSURE ELEVATION
 A1-04 SCALE: 1:50



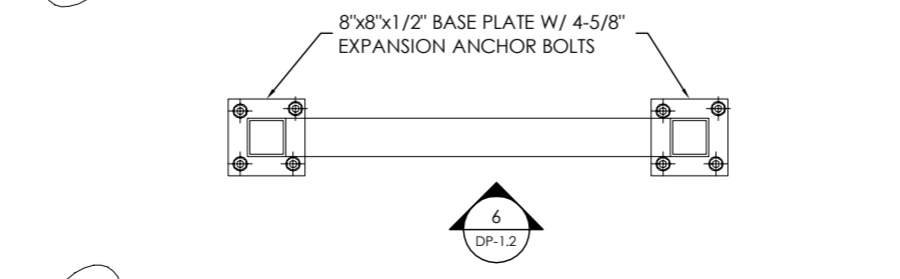
4 SIDE ELEVATION
 A1-04 SCALE: 1:50



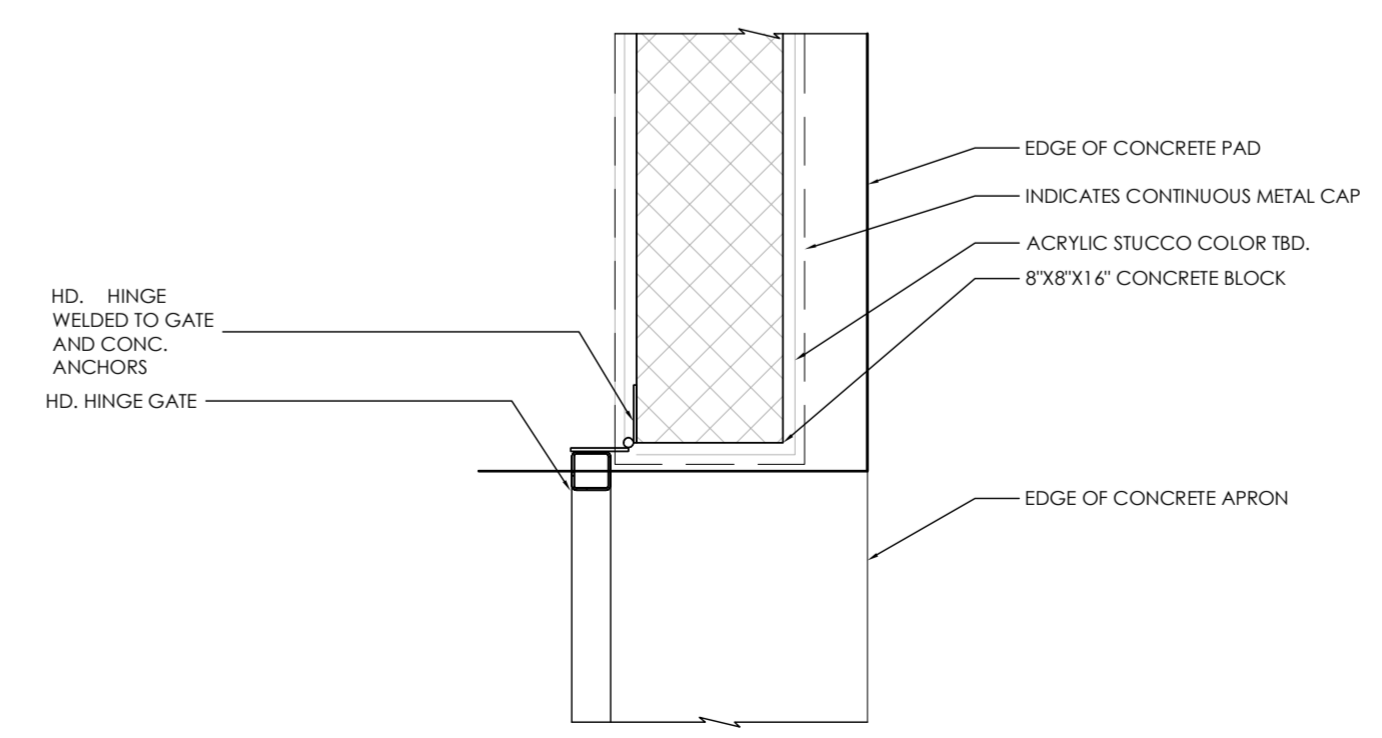
5 GARBAGE ENCLOSURE SECTION
 A1-04 SCALE: 1:50



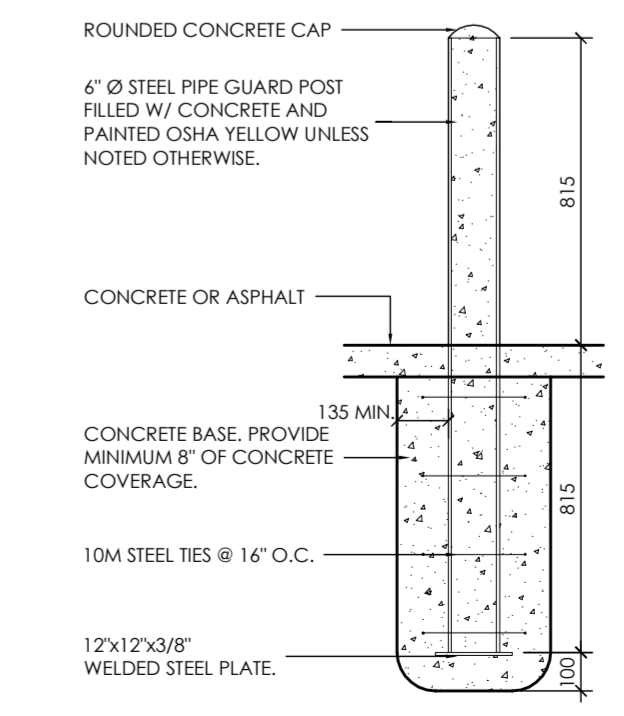
6 GARBAGE ENCLOSURE BARRIER - ELEVATION DETAIL
 A1-04 SCALE: 1:20



7 GARBAGE ENCLOSURE BARRIER - PLAN DETAIL
 A1-04 SCALE: 1:20



8 DETAIL
 A1-04 SCALE: 1:10



9 CAST IN PLACE BOLLARD DETAIL
 A1-04 SCALE: 1:20

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1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

CONSTRUCTION MANAGER



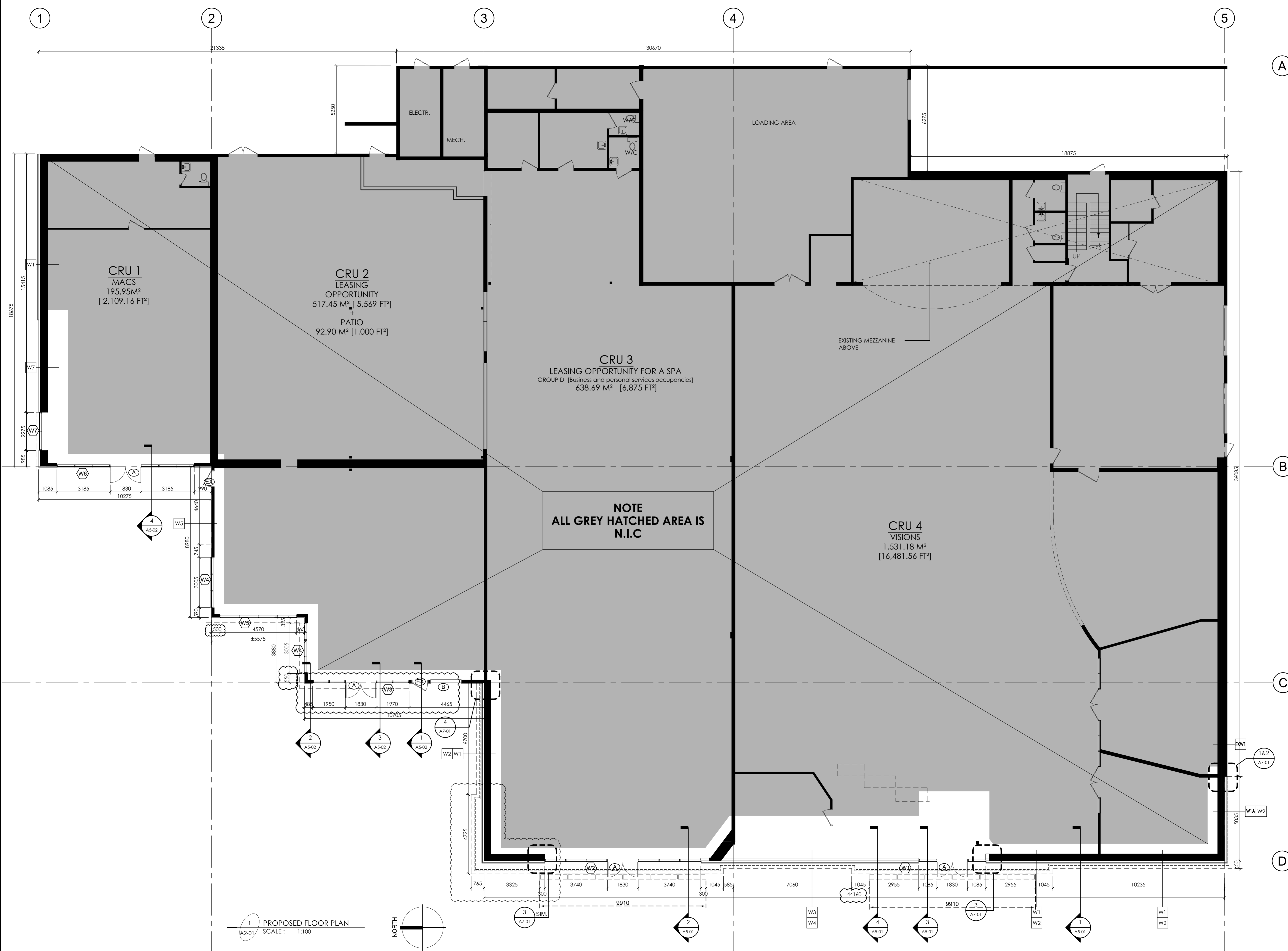
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PROJECT
SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE
SITE PLAN DETAILS GARBAGE ENCLOSURE DETAILS

DRAWING ISSUED
ISSUED FOR CONSTRUCTION

PROJECT NO. 1203	PLOT DATE 2014-09-19
DRAWING NO. A1.04	SCALE AS NOTED
	REVISION



1 PROPOSED FLOOR PLAN
 SCALE: 1:100



SEAL

CONSULTANT

SEAL

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

CONSTRUCTION MANAGER



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PROJECT

SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

MAIN FLOOR PLAN

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	1203	PLOT DATE	2014-09-19
DRAWING NO.	A2-01	SCALE	AS NOTED
		REVISION	


SEAL

CONSULTANT

SEAL

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

CONSTRUCTION MANAGER



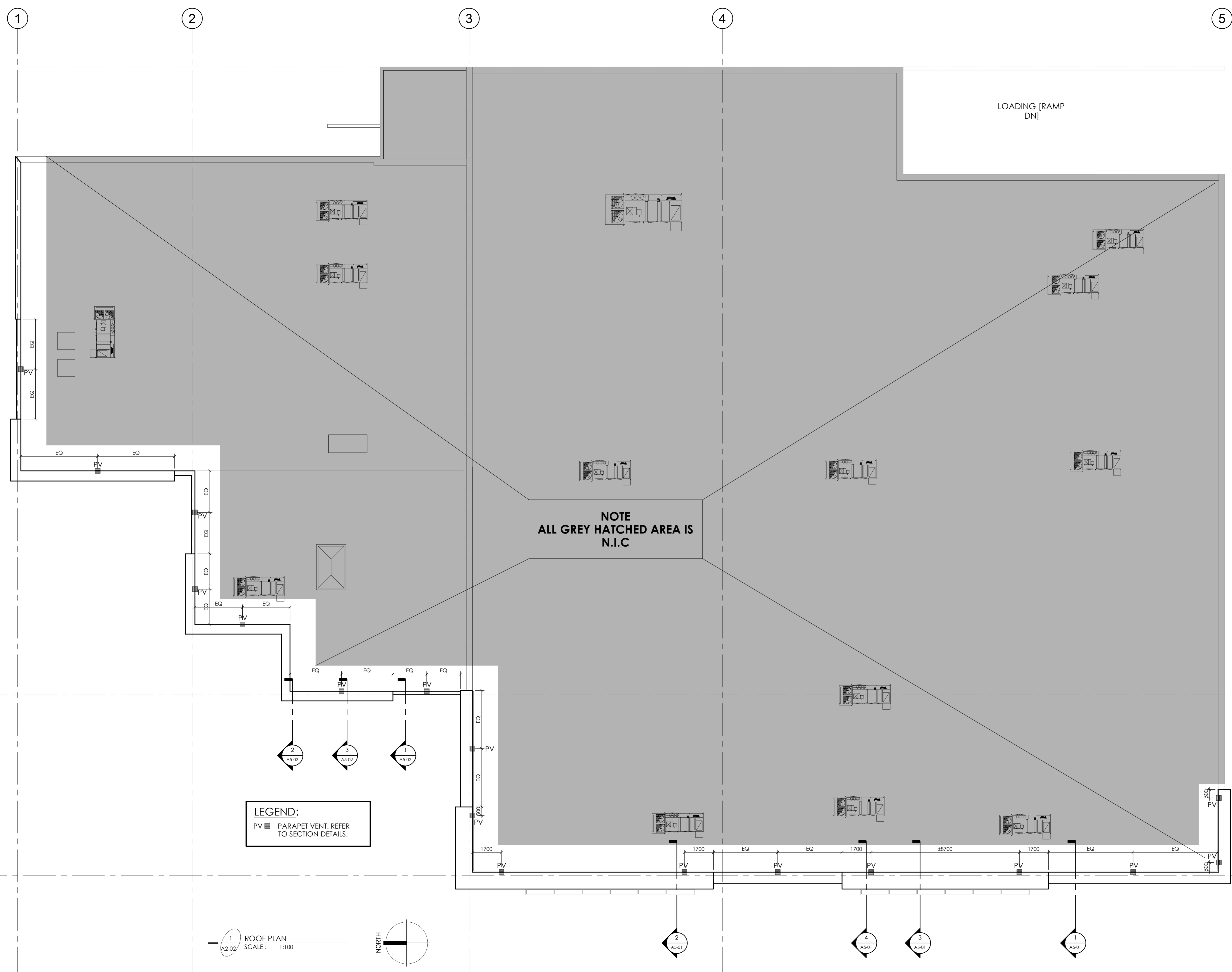
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PROJECT
SHOPPING CENTRE - EXTERIOR RENOVATION
MUNICIPAL ADDRESS(S)
#1, 2119 50 Ave, Red Deer, AB T4R 1Z4
#2, 2119 50 Ave, Red Deer, AB T4R 1Z4
#100, 2127 50 Ave, Red Deer, AB T4R 1Z4
#101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE
ROOF PLAN

DRAWING ISSUED
ISSUED FOR CONSTRUCTION

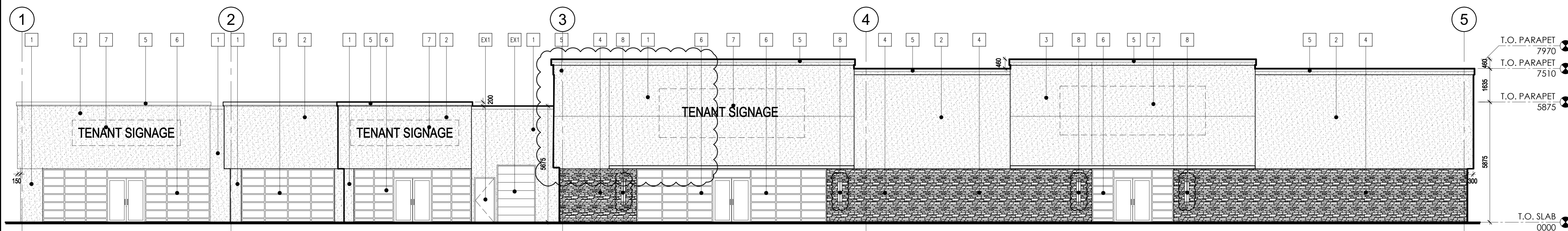
PROJECT NO. 1203	PLOT DATE 2014-09-19
DRAWING NO. A2-02	SCALE AS NOTED
REVISION	



LEGEND:
PV ■ PARAPET VENT. REFER TO SECTION DETAILS.

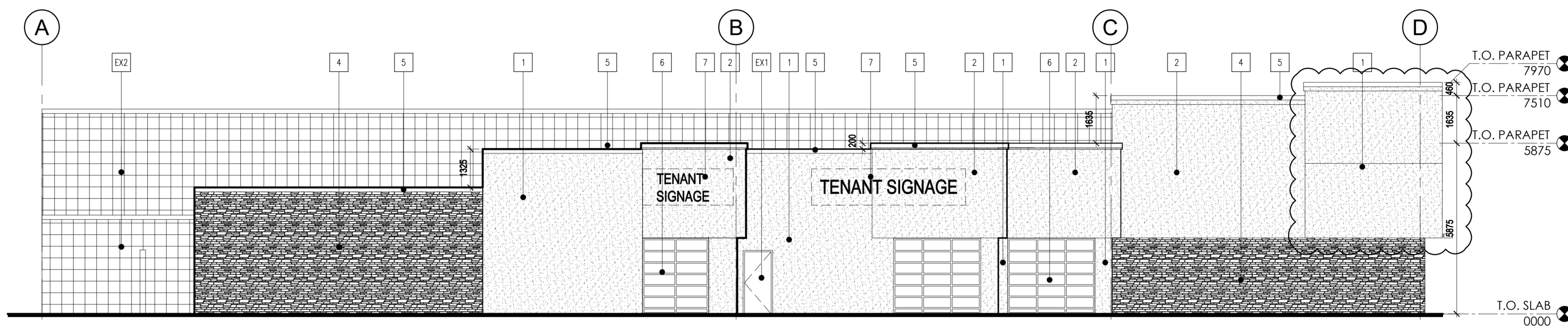
1 ROOF PLAN
A2-02 SCALE: 1:100



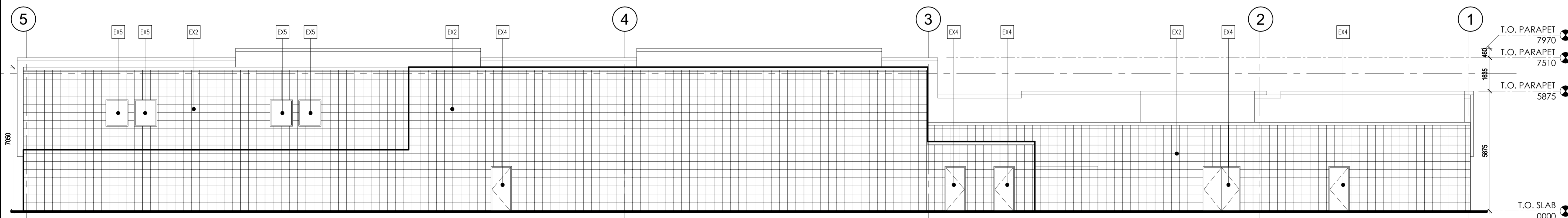


1 PROPOSED WEST ELEVATION
 (A3.01) SCALE: 1:100

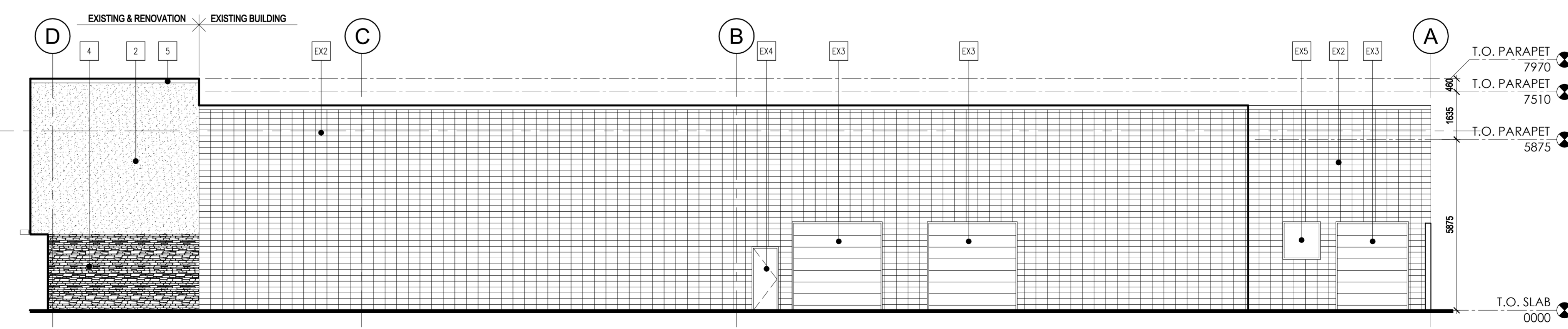
- MATERIALS LEGEND:**
- PROPOSED**
- 1 STUCCO - COLOUR #1
 - 2 STUCCO - COLOUR #2
 - 3 STUCCO - COLOUR #3 (JET BLUE SIGNAGE)
 - 4 CULTURED STONE (BLACK)
 - 5 PREFINISHED METAL FLASHING
 - 6 CLEAR ANODIZED ALUMINIUM STOREFRONT SYSTEM
 - 7 FUTURE TENANT SIGNAGE, NOT INCLUDED IN SUBJECT APPLICATION
 - 8 WALL MOUNTED EXTERIOR LIGHTING
- EXISTING**
- EX1 EXISTING METAL DOOR TO BE PAINTED TO MATCH COLOUR OF SURROUNDING EXTERIOR FINISH
 - EX2 EXISTING CONCRETE BLOCK - TO BE PAINTED
 - EX3 EXISTING OVERHEAD DOOR
 - EX4 EXISTING DOOR
 - EX5 EXISTING WINDOW



2 PROPOSED NORTH ELEVATION
 (A3.01) SCALE: 1:100



3 EXISTING EAST ELEVATION
 (A3.01) SCALE: 1:100



4 PROPOSED SOUTH ELEVATION
 (A3.01) SCALE: 1:100

SEAL


CONSULTANT

SEAL

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

NO. YY-MM-DD REVISION / DRAWING ISSUE DRAWN REVIEW

CONSTRUCTION MANAGER



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PROJECT

SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

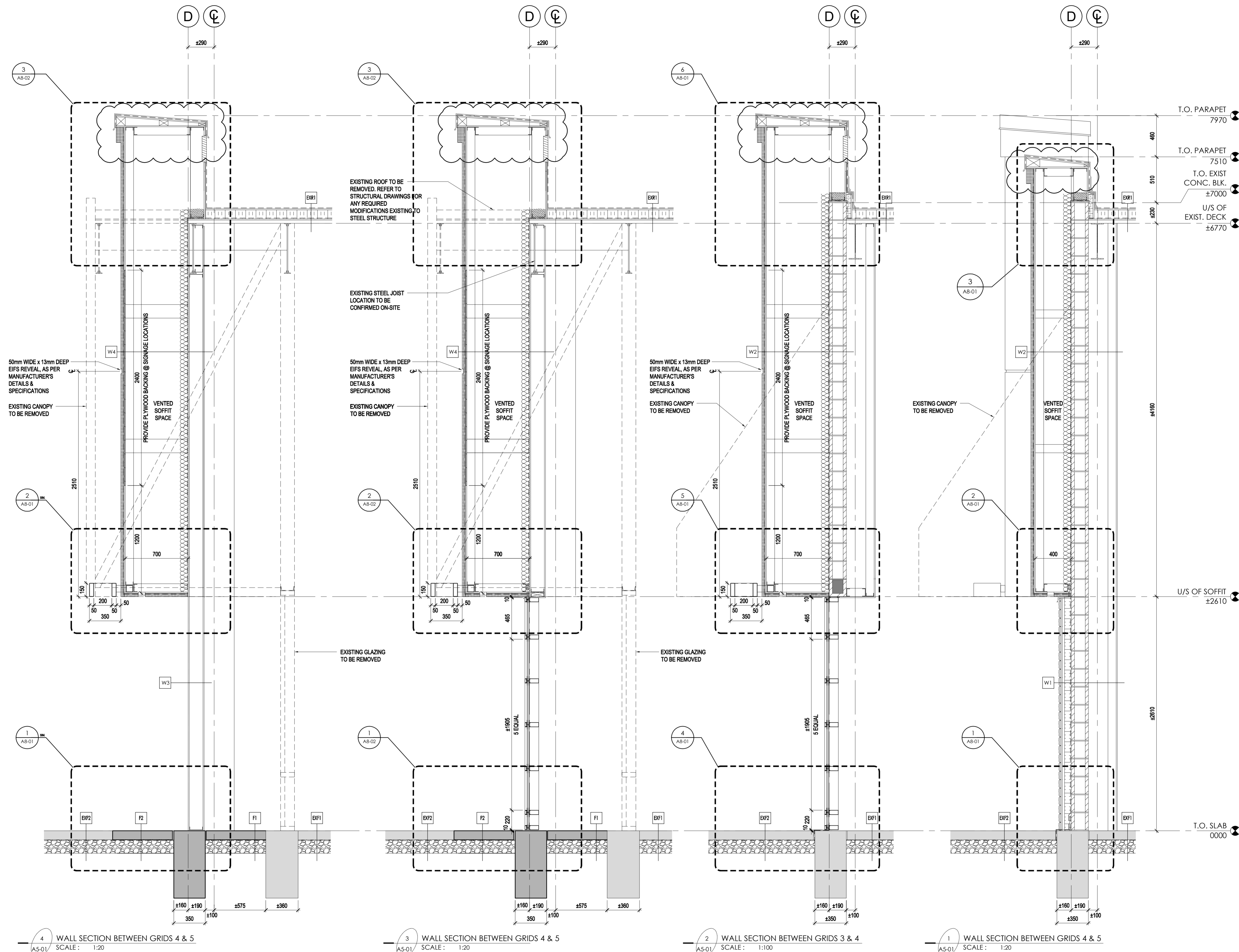
ELEVATIONS

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	2014-09-19
1203	SCALE	AS NOTED

DRAWING NO. **A3.01** REVISION



4 WALL SECTION BETWEEN GRIDS 4 & 5
 SCALE: 1:20

3 WALL SECTION BETWEEN GRIDS 4 & 5
 SCALE: 1:20

2 WALL SECTION BETWEEN GRIDS 3 & 4
 SCALE: 1:100

1 WALL SECTION BETWEEN GRIDS 4 & 5
 SCALE: 1:20

SEAL

T.O. PARAPET 7970
 T.O. PARAPET 7510
 T.O. EXIST CONC. BLK. ±7000
 U/S OF EXIST. DECK ±6770

CONSULTANT

SEAL

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
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1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

NO. YY-MM-DD REVISION / DRAWING ISSUE DRAWN REVIEW

CONSTRUCTION MANAGER



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PROJECT

SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

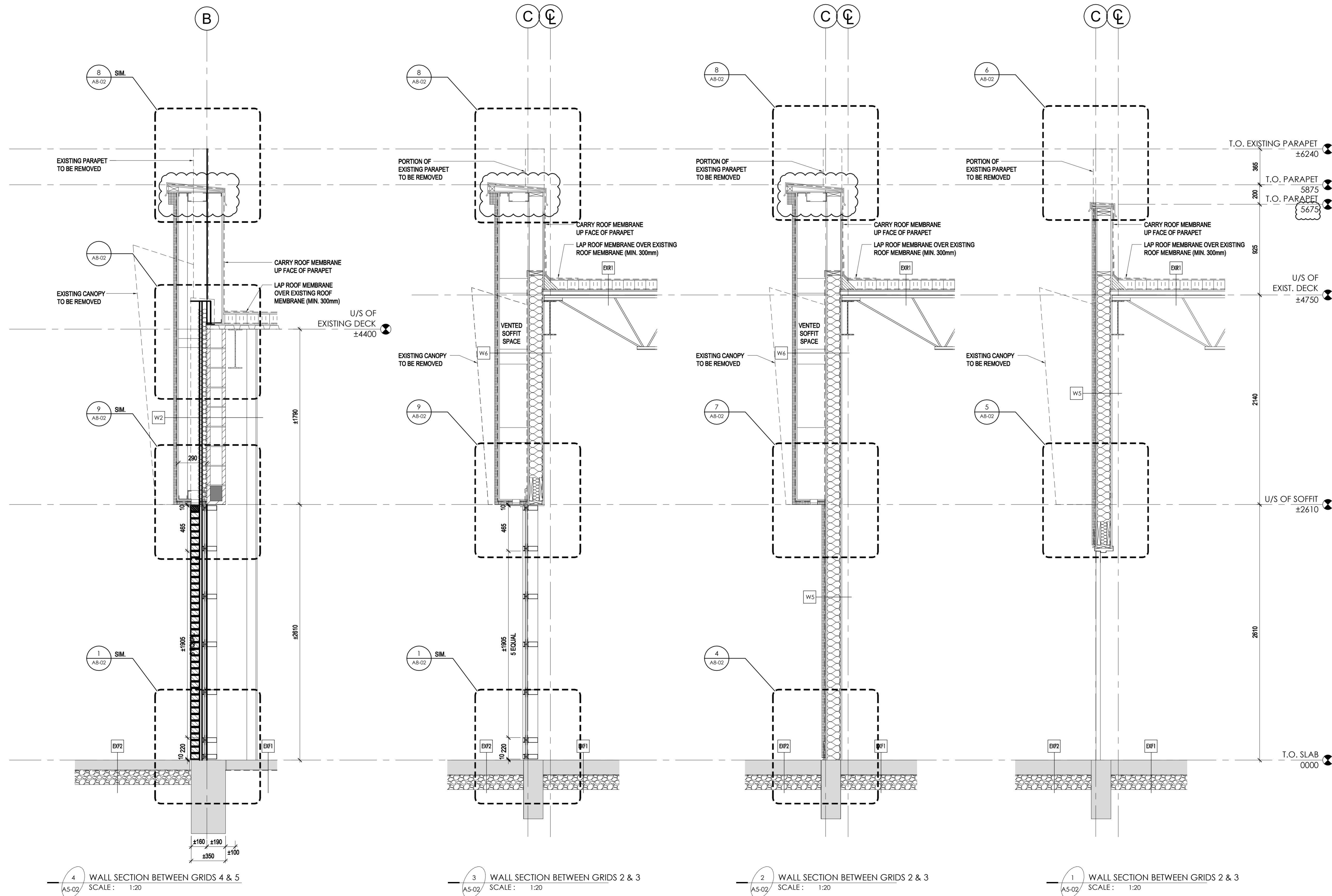
WALL SECTIONS

DRAWING ISSUED

ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE
1203	2014-09-19
DRAWING NO.	SCALE
A5-01	AS NOTED

REVISION



SEAL

CONSULTANT

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW

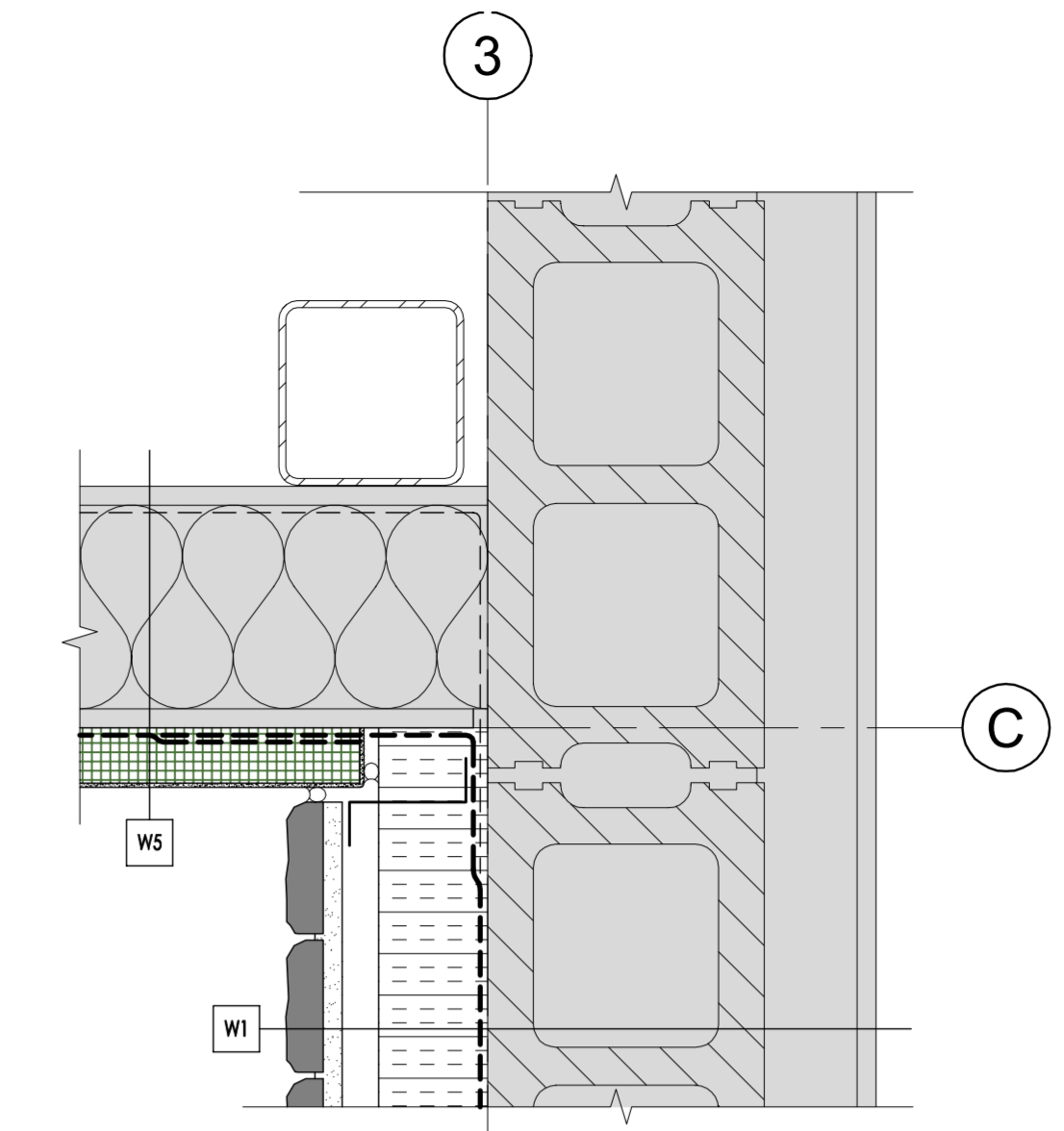


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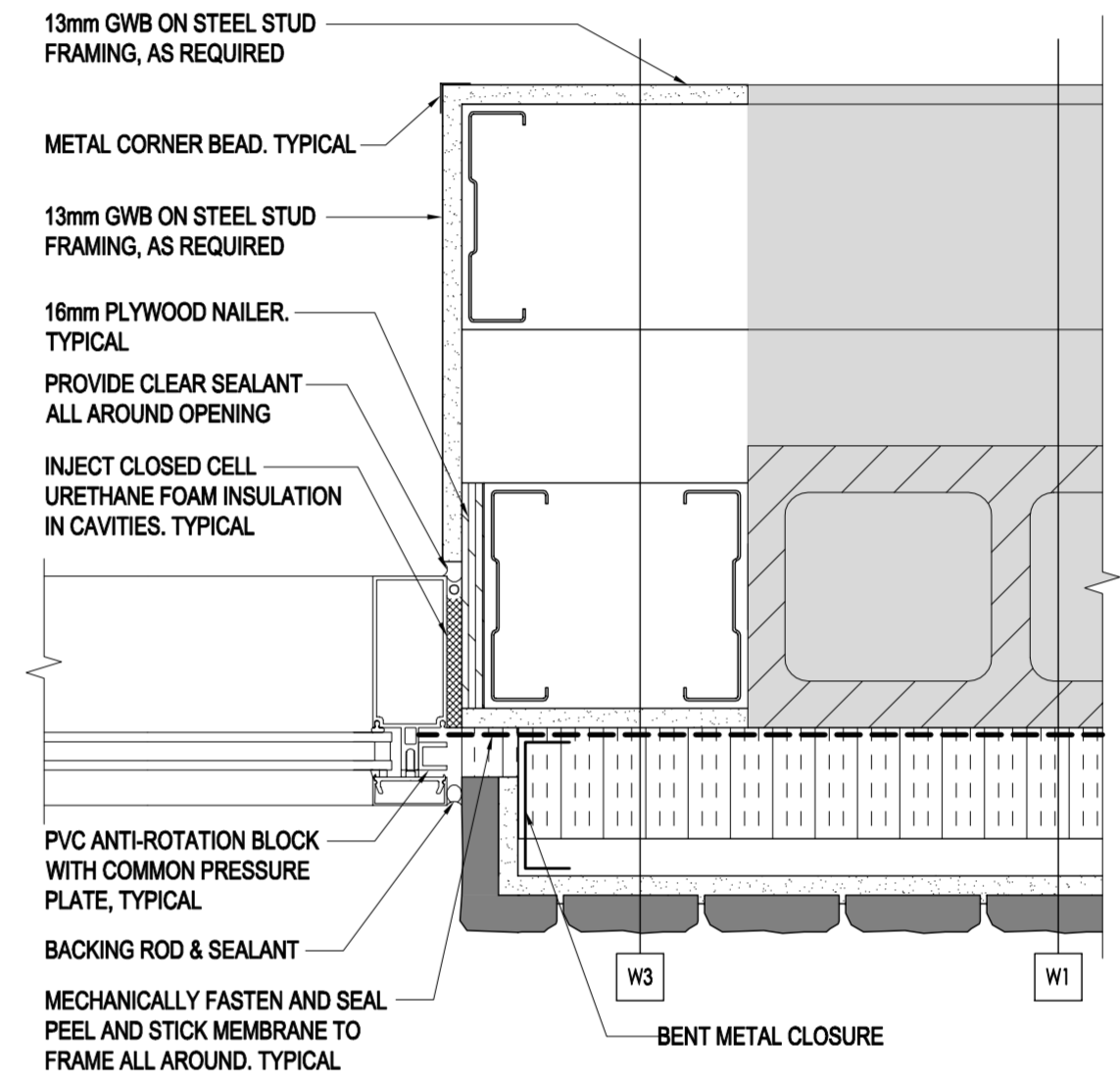
PROJECT
SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE
WALL SECTIONS

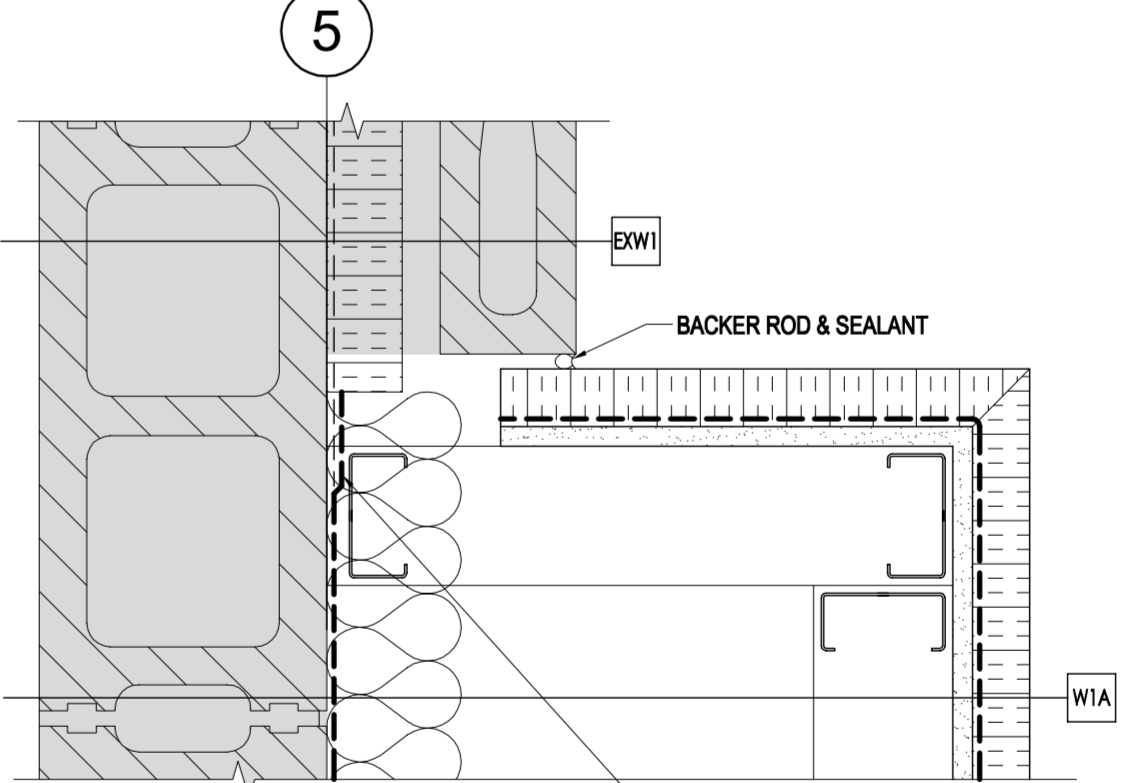
DRAWING ISSUED	
ISSUED FOR CONSTRUCTION	
PROJECT NO. 1203	PLOT DATE 2014-09-19
SCALE AS NOTED	
DRAWING NO. A5-02	REVISION



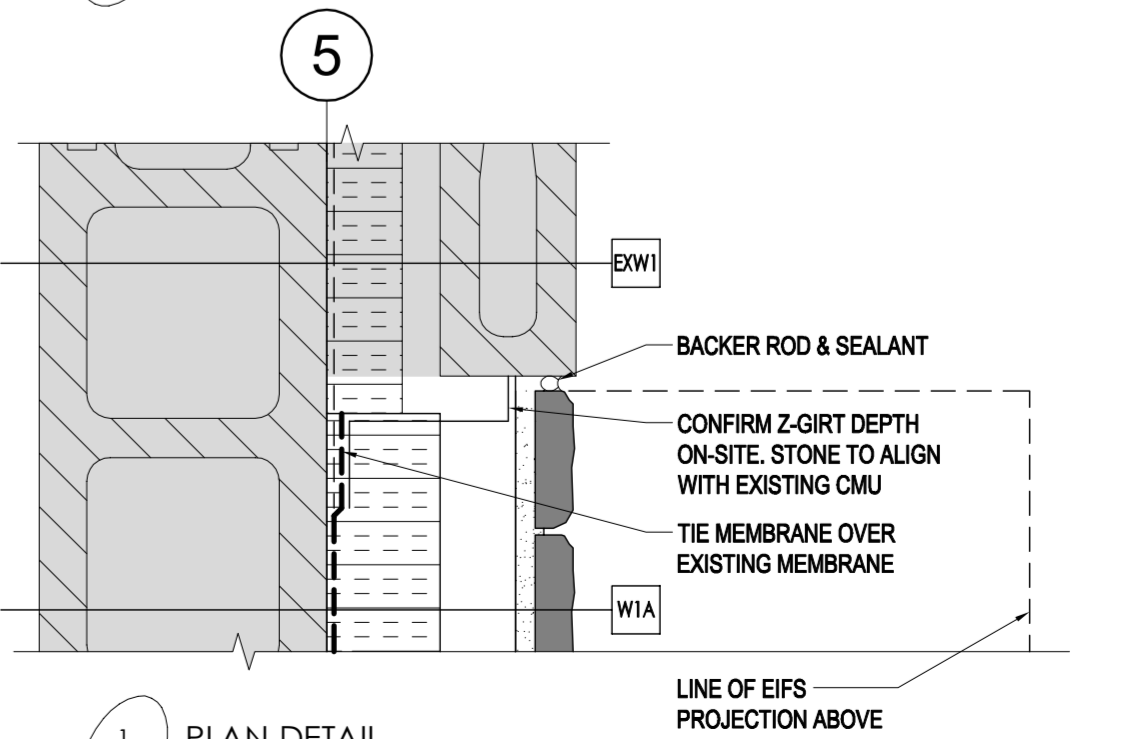
4 PLAN DETAIL
 A7-01 SCALE: 1:5



3 PLAN DETAIL
 A7-01 SCALE: 1:5



2 PLAN DETAIL
 A7-01 SCALE: 1:5



1 PLAN DETAIL
 A7-01 SCALE: 1:5

SEAL

CONSULTANT

SEAL

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW
6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
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2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK
1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

CONSTRUCTION MANAGER



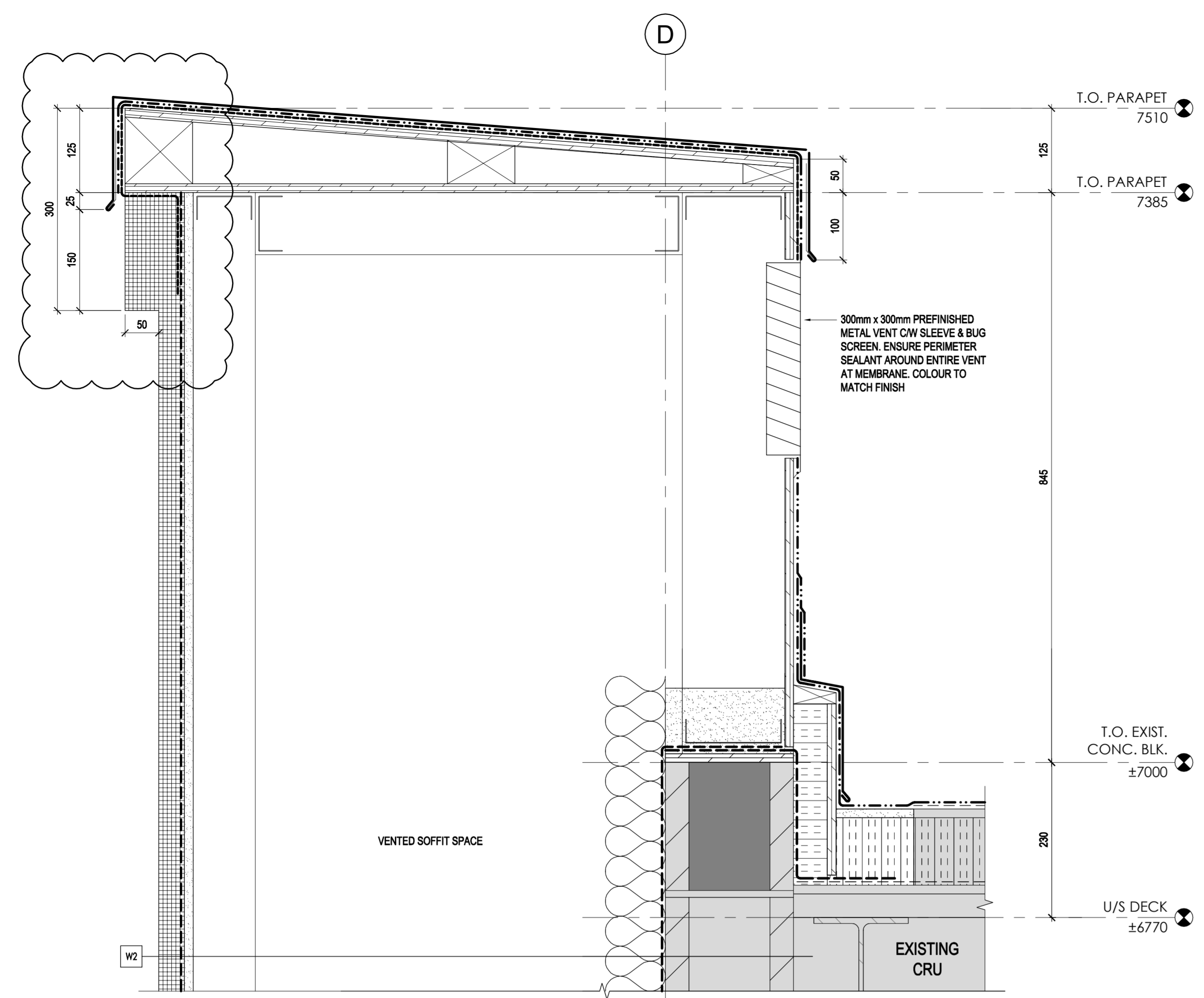
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PROJECT
SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

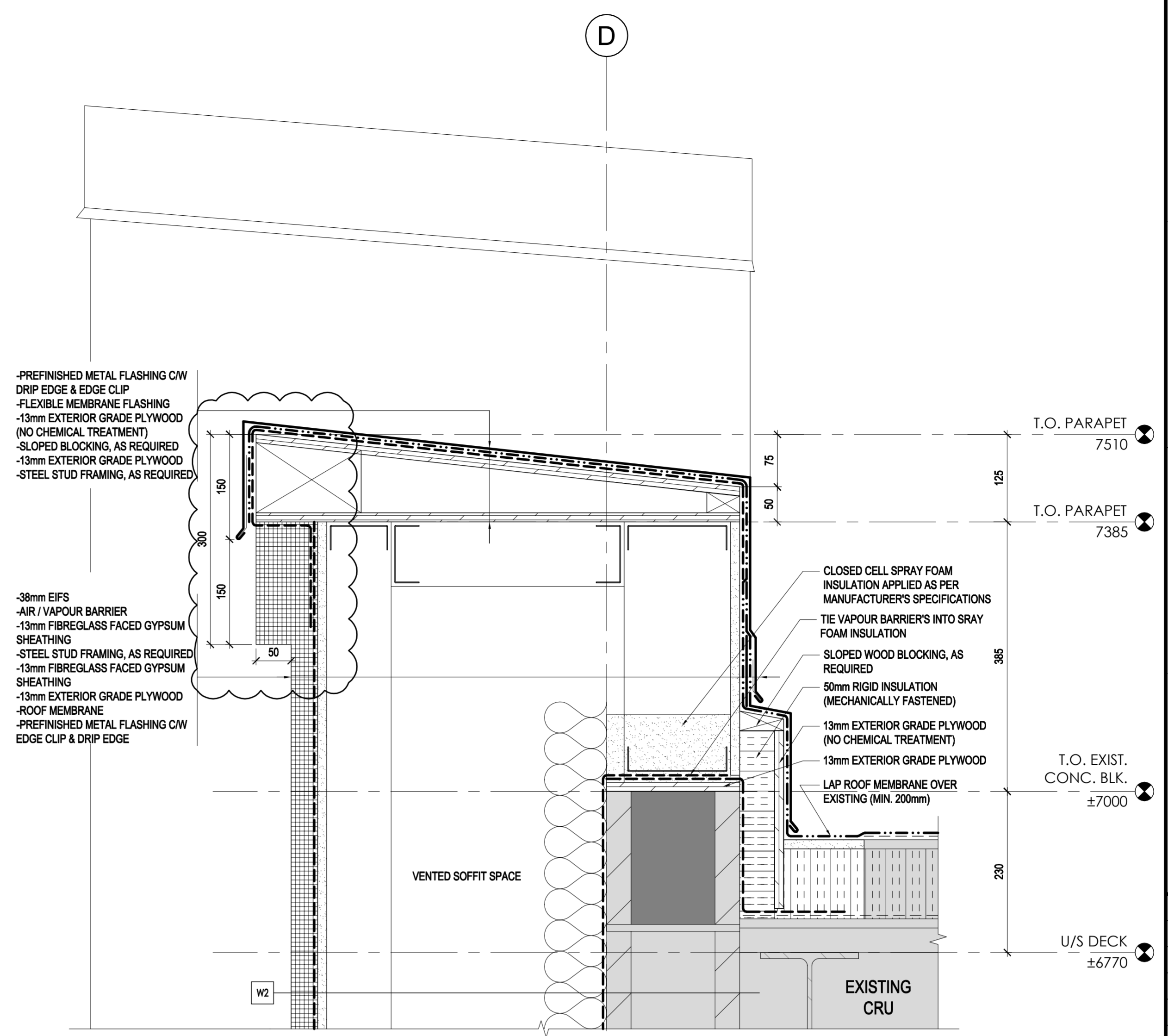
DRAWING TITLE
PLAN DETAILS

DRAWING ISSUED
 ISSUED FOR CONSTRUCTION

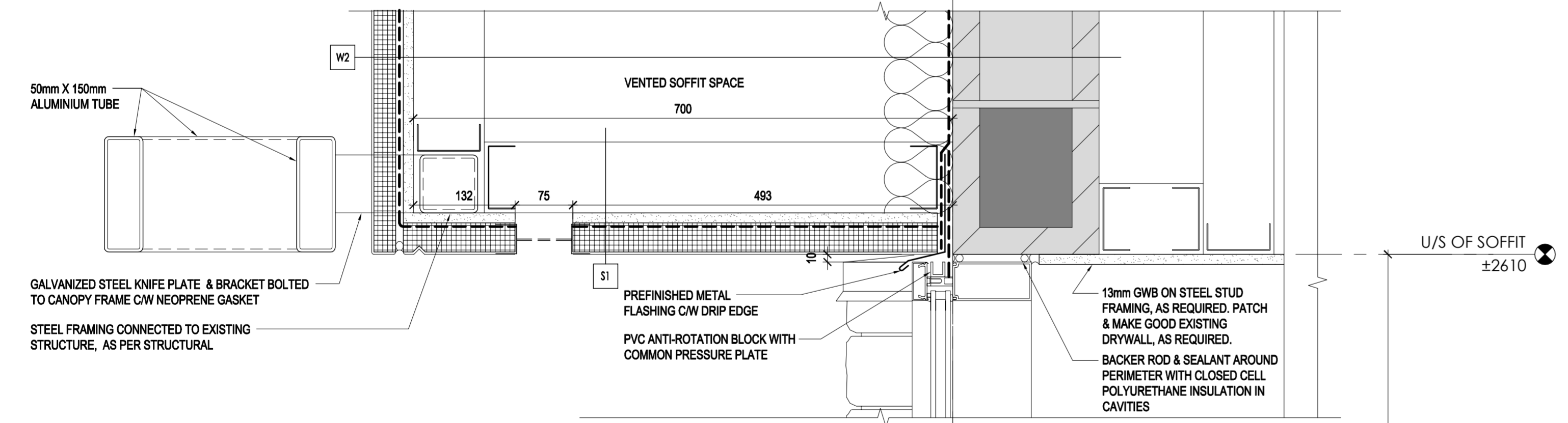
PROJECT NO. 1203	PLOT DATE 2014-09-19
DRAWING NO. A7-01	SCALE AS NOTED
REVISION	



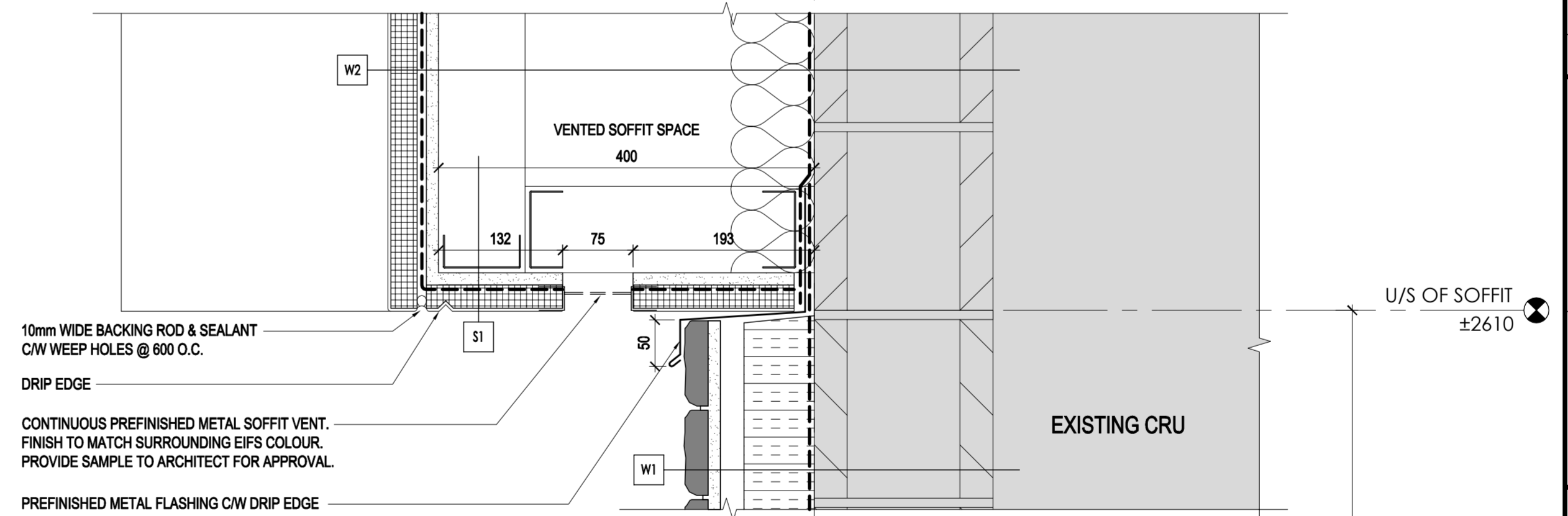
6 SECTION DETAIL
 A8-01 SCALE: 1:5
 NOTE: REFER TO TYPICAL NOTES ON DETAIL 3/A8-01



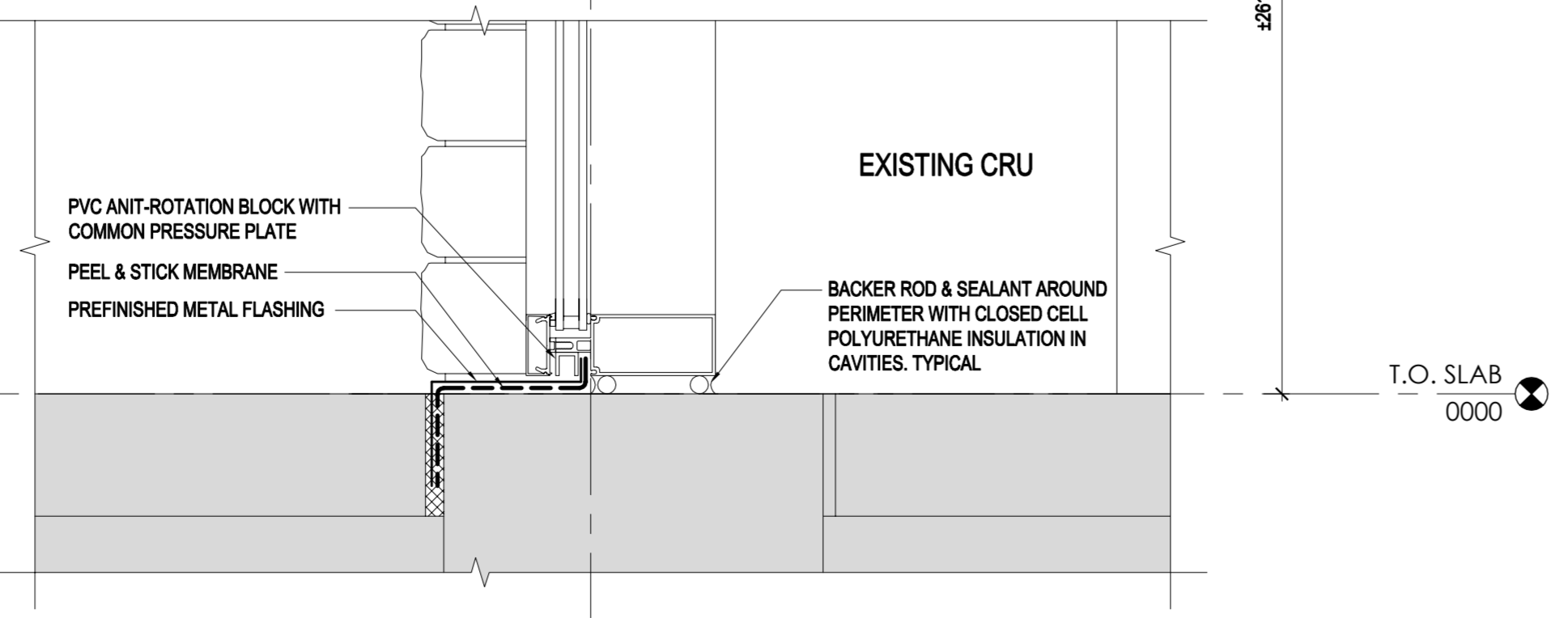
3 SECTION DETAIL
 A8-01 SCALE: 1:5



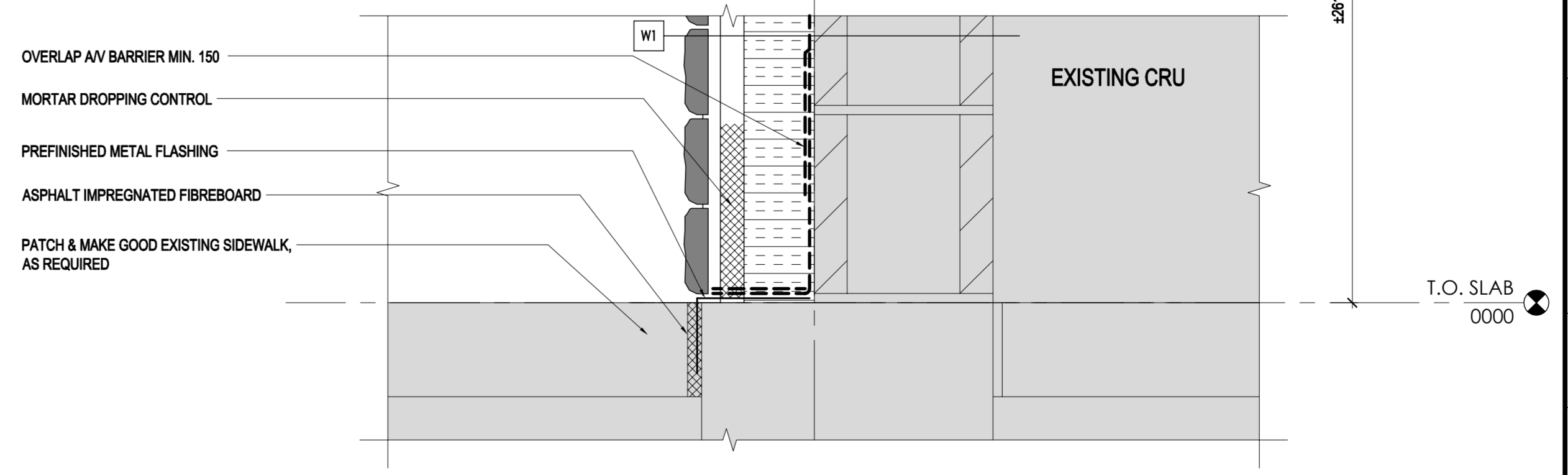
5 SECTION DETAIL
 A8-01 SCALE: 1:5
 NOTE: REFER TO TYPICAL NOTES ON DETAIL 2/A8-01



2 SECTION DETAIL
 A8-01 SCALE: 1:5



4 SECTION DETAIL
 A8-01 SCALE: 1:5



1 SECTION DETAIL
 A8-01 SCALE: 1:5

SEAL

CONSULTANT

SEAL

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
3	2014-08-25	BUILDING PERMIT	ML/KC	CK
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1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK

NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW

CONSTRUCTION MANAGER



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PROJECT

SHOPPING CENTRE - EXTERIOR RENOVATION

MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE

SECTION DETAILS

DRAWING ISSUED

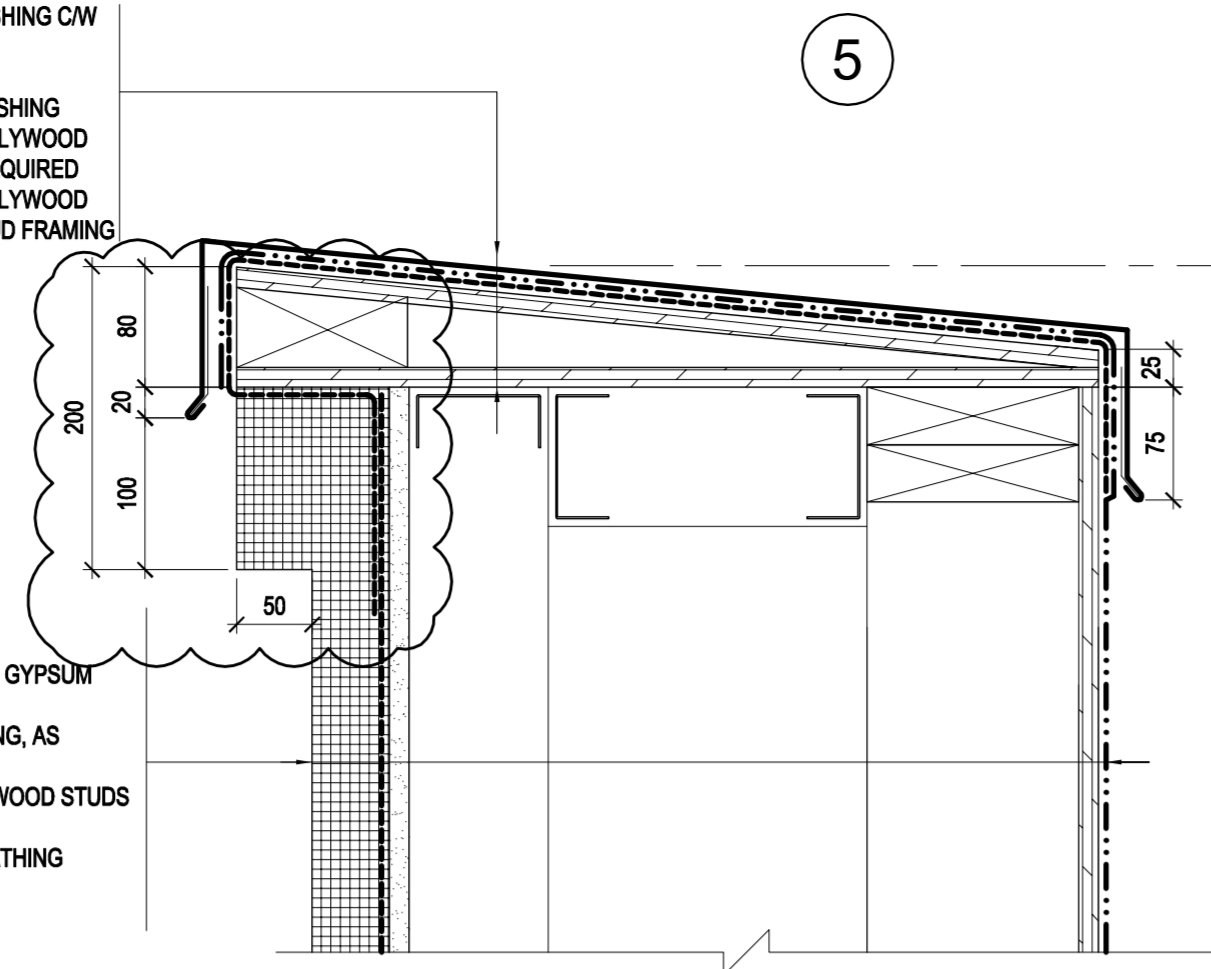
ISSUED FOR CONSTRUCTION

PROJECT NO.	PLOT DATE
1203	2014-09-19
DRAWING NO.	SCALE
A8-01	AS NOTED

REVISION

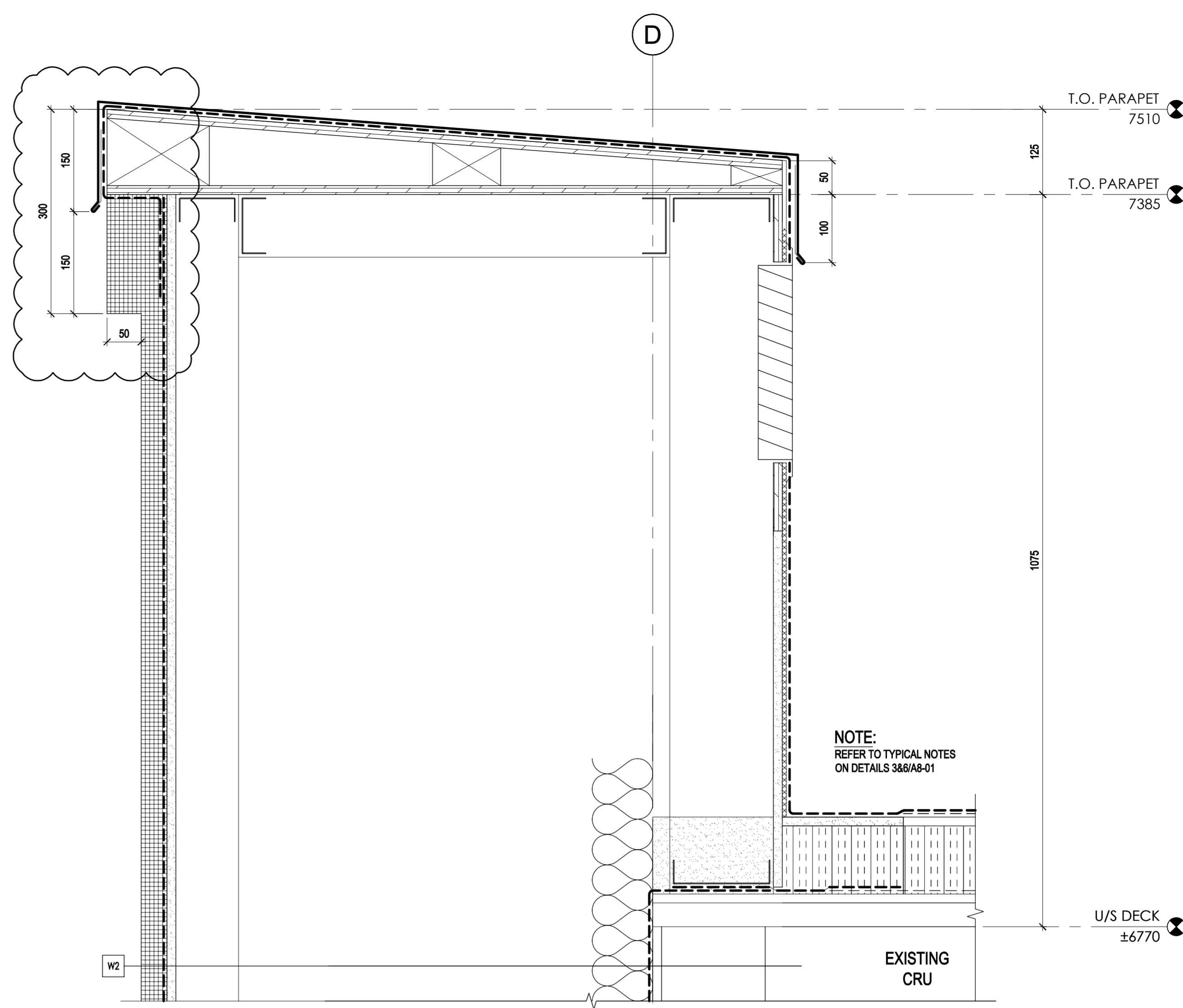
- PREFINISHED METAL FLASHING CW DRIP EDGE & EDGE CLIPS
- ROOF MEMBRANE
- FLEXIBLE MEMBRANE FLASHING
- 13mm EXTERIOR GRADE PLYWOOD
- SLOPED BLOCKING, AS REQUIRED
- 13mm EXTERIOR GRADE PLYWOOD
- 38mm X 140mm WOOD STUD FRAMING

- 38mm EIFS
- AIR / VAPOUR BARRIER
- 13mm FIBREGLASS FACED GYPSUM SHEATHING
- 92mm STEEL STUD FRAMING, AS REQUIRED
- EXISTING 38mm X 140mm WOOD STUDS @ 400 O.C.
- EXISTING PLYWOOD SHEATHING (CONFIRM ON-SITE)
- ROOF MEMBRANE



8 SECTION DETAIL
 SCALE: 1:5

T.O. PARAPET
 5875

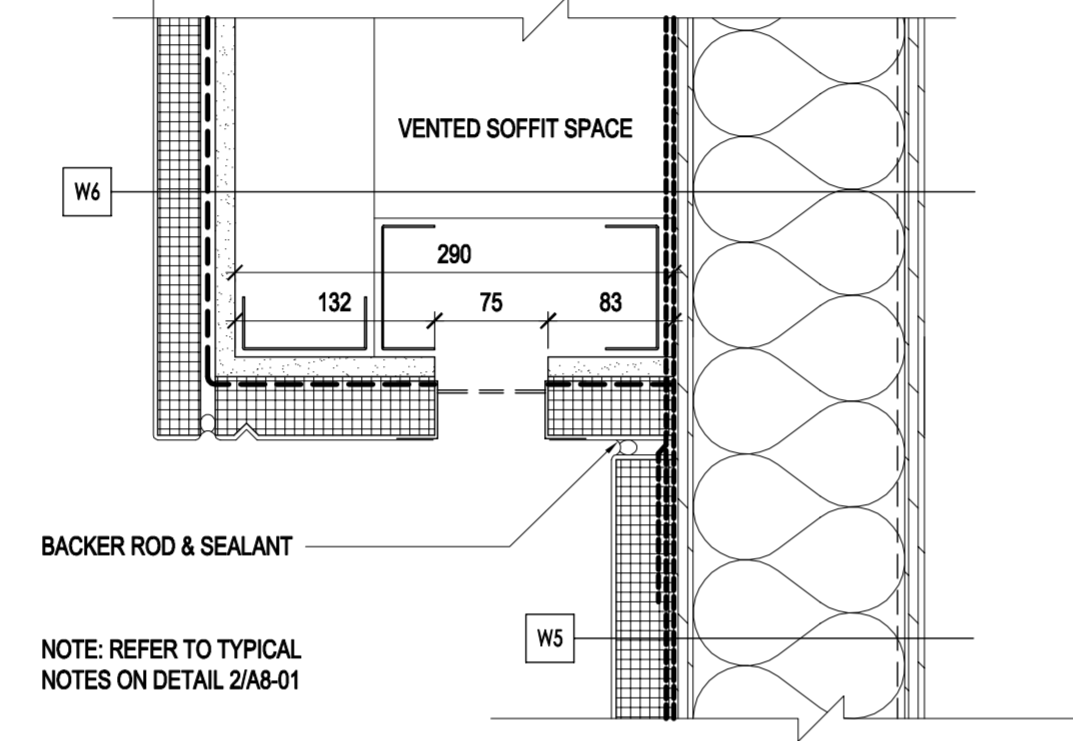


NOTE:
 REFER TO TYPICAL NOTES
 ON DETAILS 3&8/A8-01

U/S DECK
 ±6770

EXISTING CRU

3 SECTION DETAIL
 SCALE: 1:5



7 SECTION DETAIL
 SCALE: 1:5

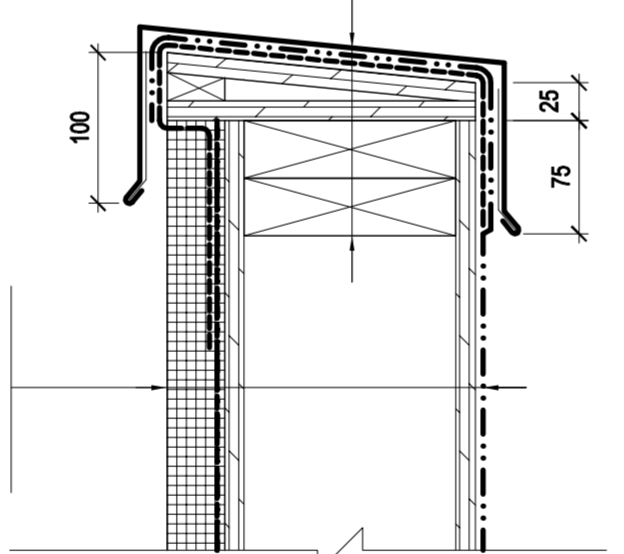
W6

W5

BACKER ROD & SEALANT

NOTE: REFER TO TYPICAL NOTES ON DETAIL 2/A8-01

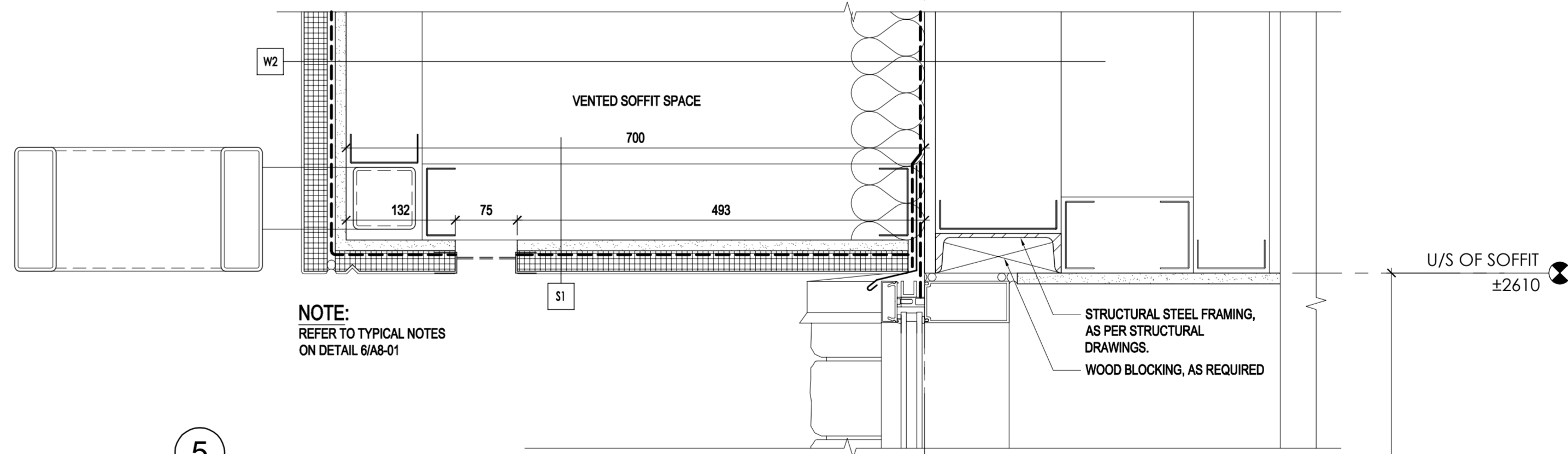
- PREFINISHED METAL FLASHING CW DRIP EDGE & EDGE CLIPS
- FLEXIBLE MEMBRANE FLASHING
- 13mm EXTERIOR GRADE PLYWOOD (NO CHEMICAL TREATMENT)
- SLOPED BLOCKING, AS REQUIRED
- 13mm EXTERIOR GRADE PLYWOOD
- 38mm X 140mm WOOD STUD FRAMING



6 SECTION DETAIL
 SCALE: 1:5

W2

- 38mm EIFS
- AIR BARRIER / SHEATHING MEMBRANE
- EXISTING SHEATHING
- EXISTING 38mm X 140mm WOOD STUDS @ 400 O.C.
- EXISTING SHEATHING
- EXISTING MEMBRANE



NOTE:
 REFER TO TYPICAL NOTES
 ON DETAIL 6/A8-01

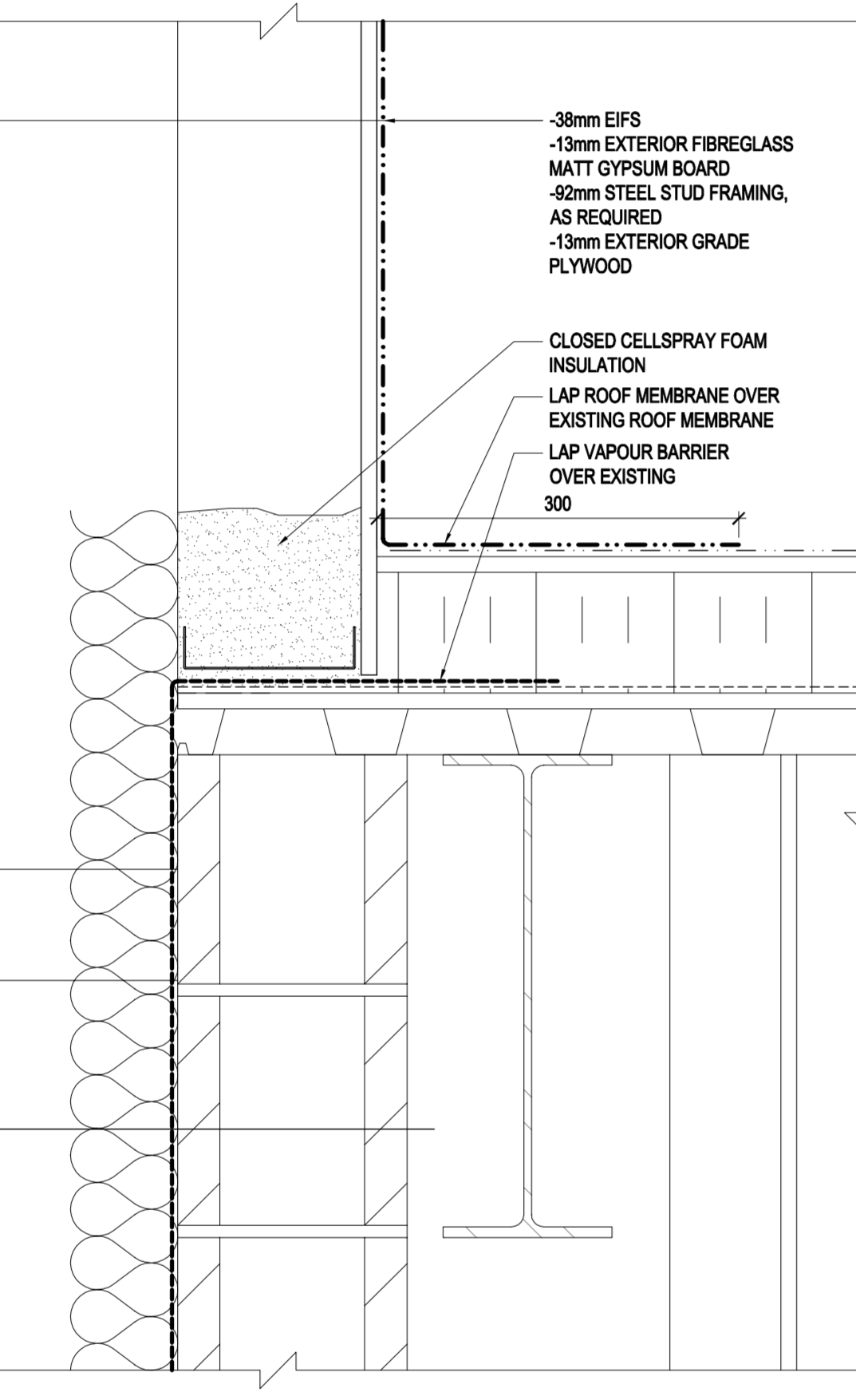
STRUCTURAL STEEL FRAMING,
 AS PER STRUCTURAL
 DRAWINGS.

WOOD BLOCKING, AS REQUIRED

U/S OF SOFFIT
 ±2610

2 SECTION DETAIL
 SCALE: 1:5

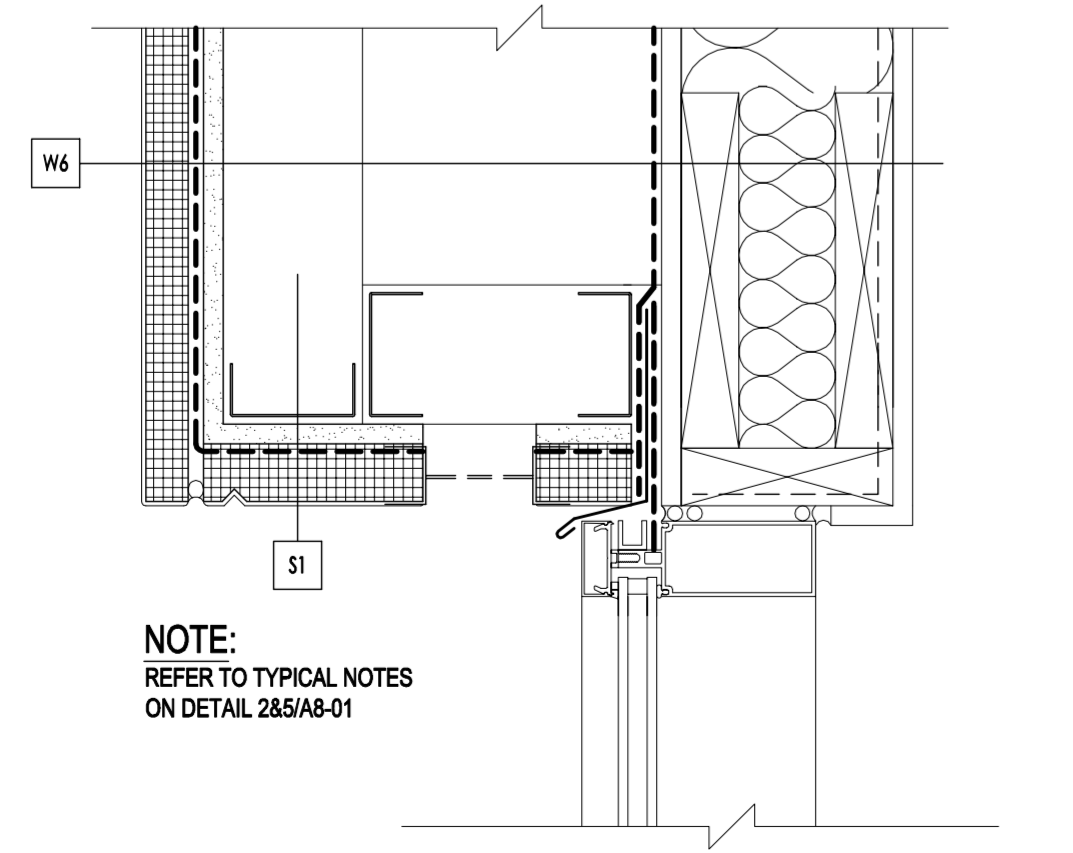
NOTE: REFER TO TYPICAL NOTES ON DETAIL 5/A8-01



10 SECTION DETAIL
 SCALE: 1:5

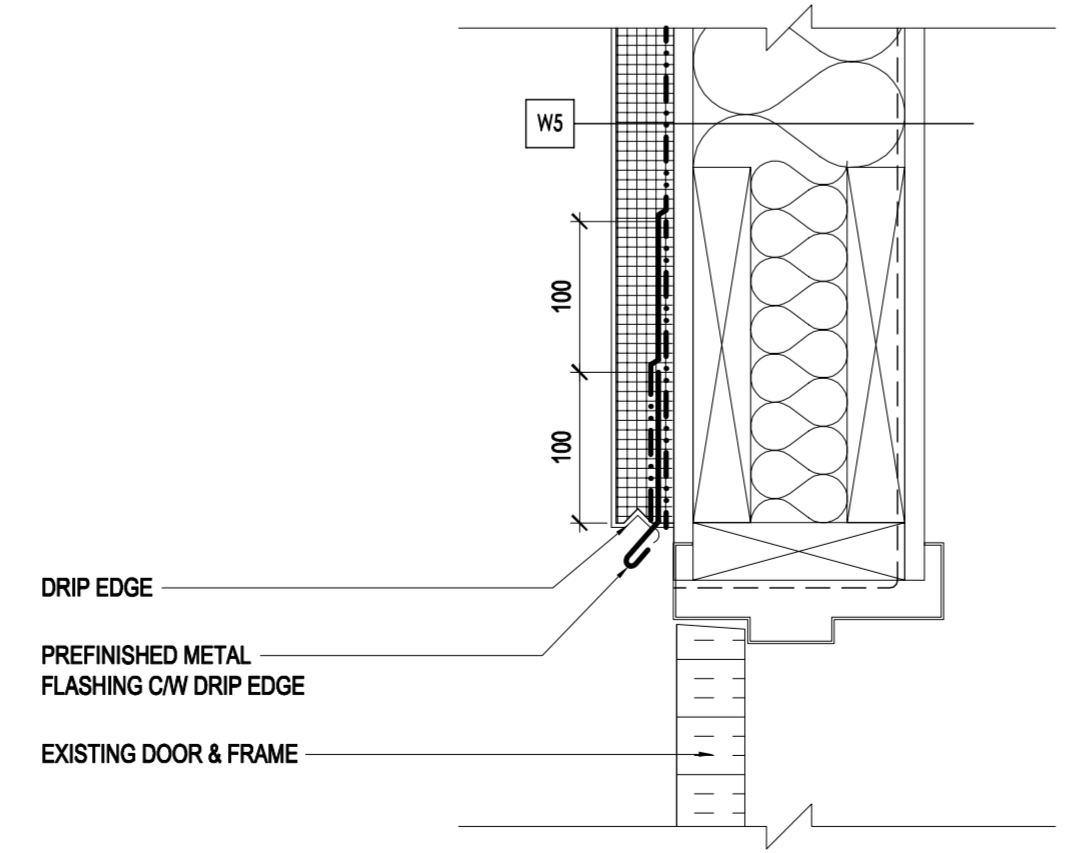
- 38mm EIFS
- 13mm EXTERIOR FIBREGLASS MATT GYPSUM BOARD
- 92mm STEEL STUD FRAMING, AS REQUIRED
- 13mm EXTERIOR GRADE PLYWOOD

- CLOSED CELLSPRAY FOAM INSULATION
- LAP ROOF MEMBRANE OVER EXISTING ROOF MEMBRANE
- LAP VAPOUR BARRIER OVER EXISTING



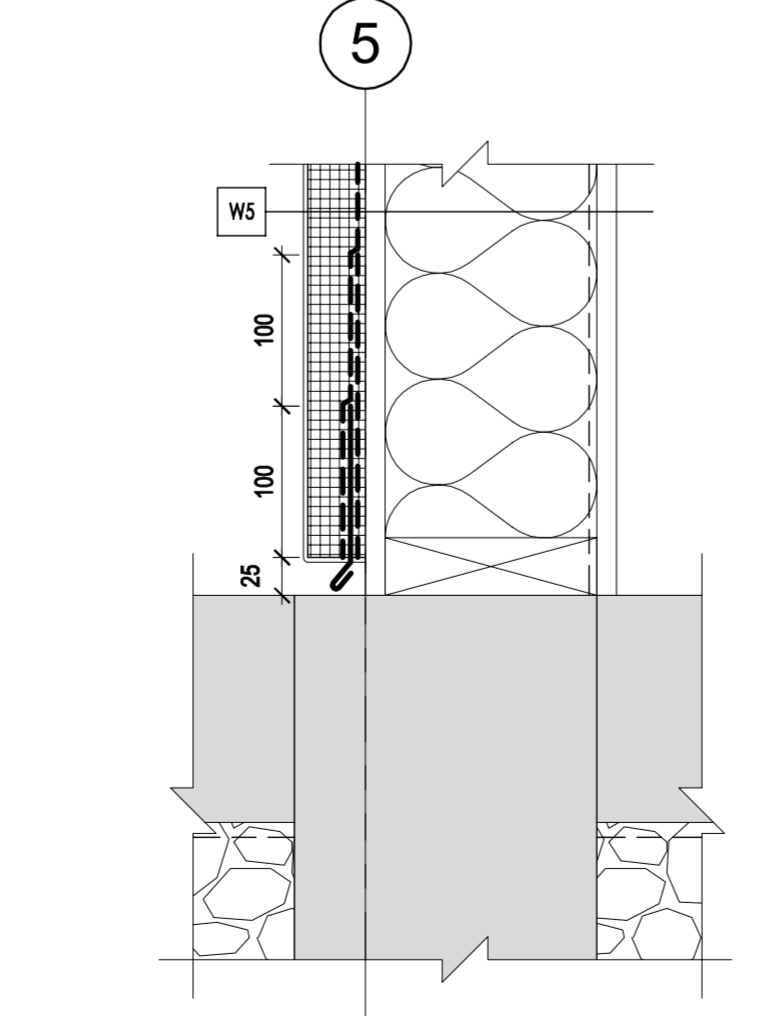
9 SECTION DETAIL
 SCALE: 1:5

NOTE:
 REFER TO TYPICAL NOTES
 ON DETAIL 2&5/A8-01

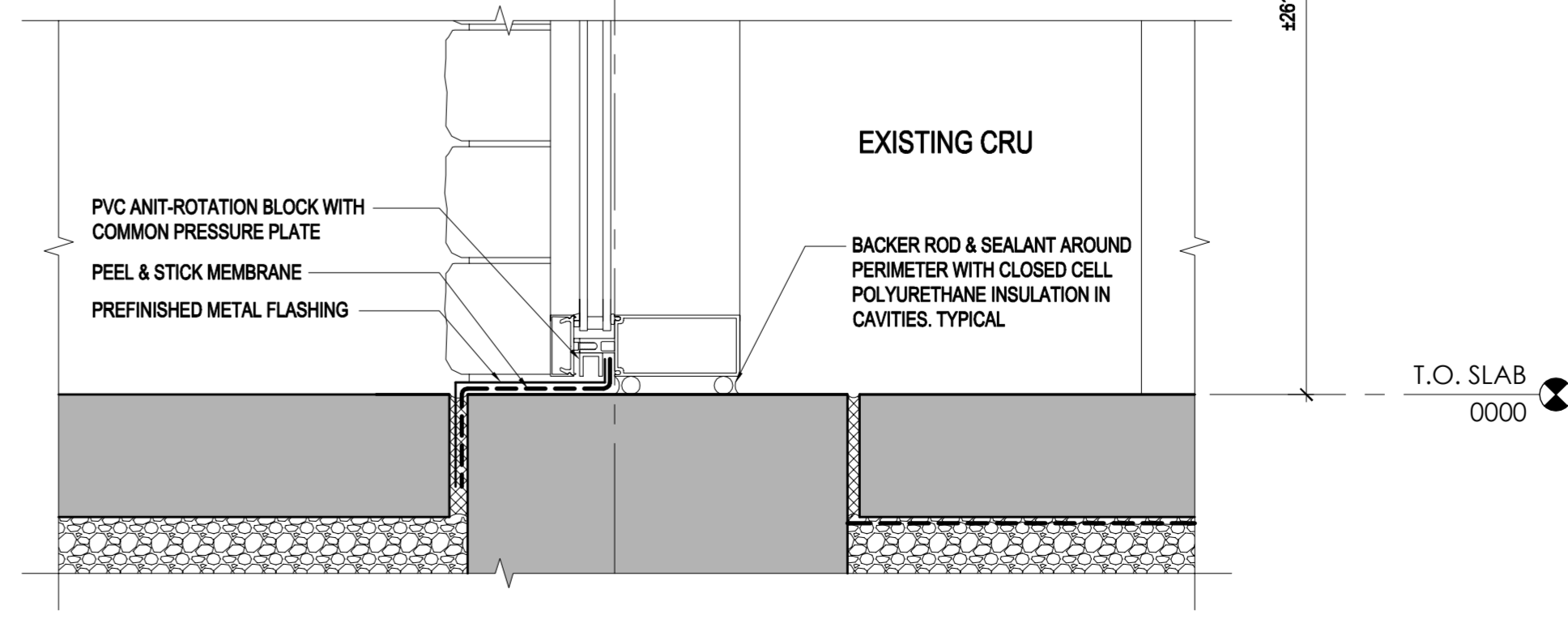


5 SECTION DETAIL
 SCALE: 1:5

- DRIP EDGE
- PREFINISHED METAL FLASHING CW DRIP EDGE
- EXISTING DOOR & FRAME



4 SECTION DETAIL
 SCALE: 1:5




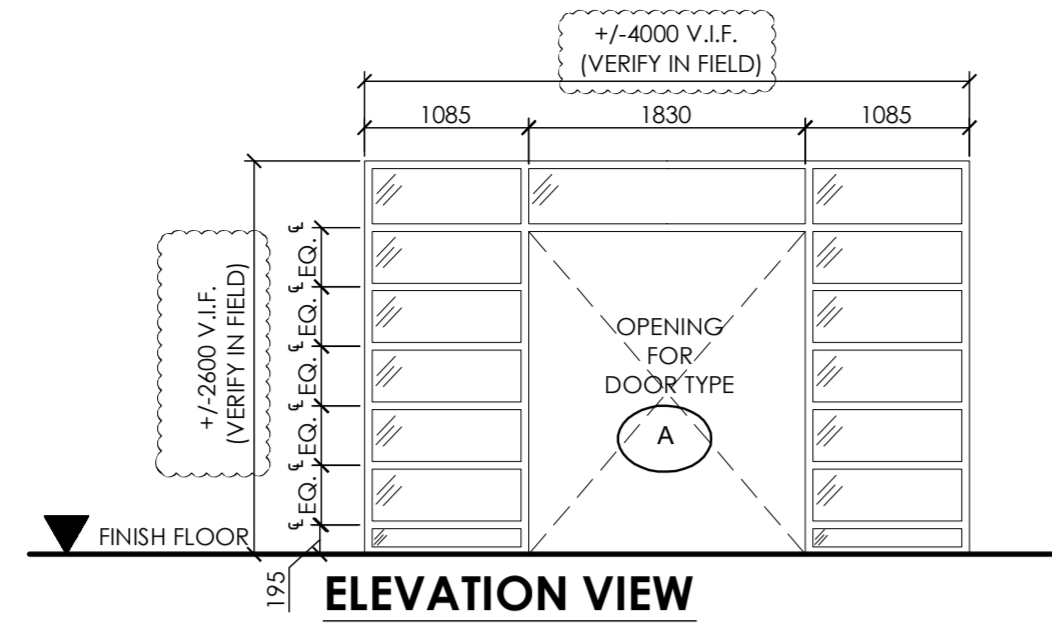
1 SECTION DETAIL
 SCALE: 1:5

- PVC ANIT-ROTATION BLOCK WITH COMMON PRESSURE PLATE
- PEEL & STICK MEMBRANE
- PREFINISHED METAL FLASHING

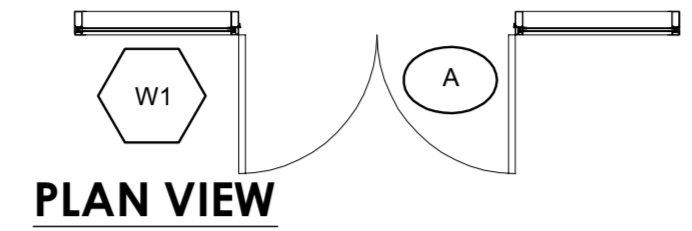
- BACKER ROD & SEALANT AROUND PERIMETER WITH CLOSED CELL POLYURETHANE INSULATION IN CAVITIES. TYPICAL

T.O. SLAB
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CONSULTANT																																						
SEAL																																						
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<table border="1"> <thead> <tr> <th>NO.</th> <th>YY-MM-DD</th> <th>REVISION / DRAWING ISSUE</th> <th>DRAWN</th> <th>REVIEW</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>2014-09-19</td> <td>RE-ISSUED FOR PRICING</td> <td>ML/KC</td> <td>CK</td> </tr> <tr> <td>5</td> <td>2014-09-10</td> <td>RE-ISSUED FOR PRICING</td> <td>ML/KC</td> <td>CK</td> </tr> <tr> <td>4</td> <td>2014-09-03</td> <td>IFC - DRAFT - TO CONSULTANTS</td> <td>ML/KC</td> <td>CK</td> </tr> <tr> <td>3</td> <td>2014-08-25</td> <td>BUILDING PERMIT</td> <td>ML/KC</td> <td>CK</td> </tr> <tr> <td>2</td> <td>2014-08-25</td> <td>ISSUED FOR PRICING</td> <td>ML/KC</td> <td>CK</td> </tr> <tr> <td>1</td> <td>2014-05-16</td> <td>DEVELOPMENT PERMIT</td> <td>ML/KC</td> <td>CK</td> </tr> </tbody> </table>				NO.	YY-MM-DD	REVISION / DRAWING ISSUE	DRAWN	REVIEW	6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK	5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK	4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK	3	2014-08-25	BUILDING PERMIT	ML/KC	CK	2	2014-08-25	ISSUED FOR PRICING	ML/KC	CK	1	2014-05-16	DEVELOPMENT PERMIT	ML/KC	CK
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PROJECT NO. 1203	PLOT DATE 2014-09-19	SCALE AS NOTED																																				
DRAWING NO. A8-02	REVISION																																					

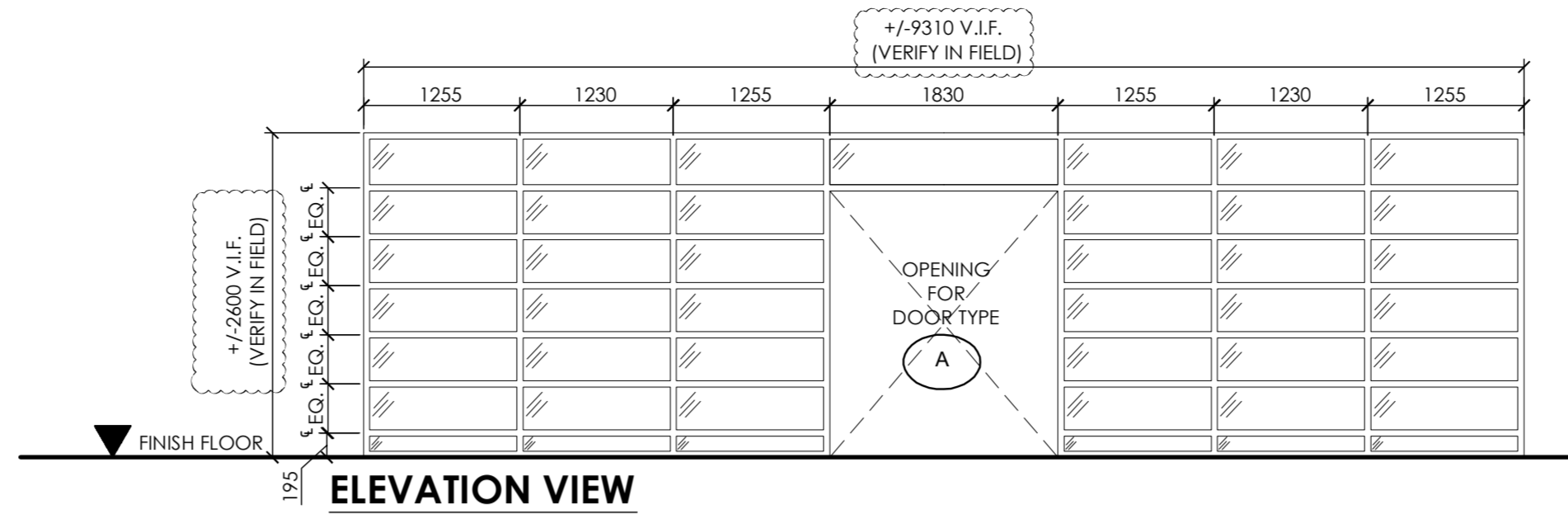


ELEVATION VIEW

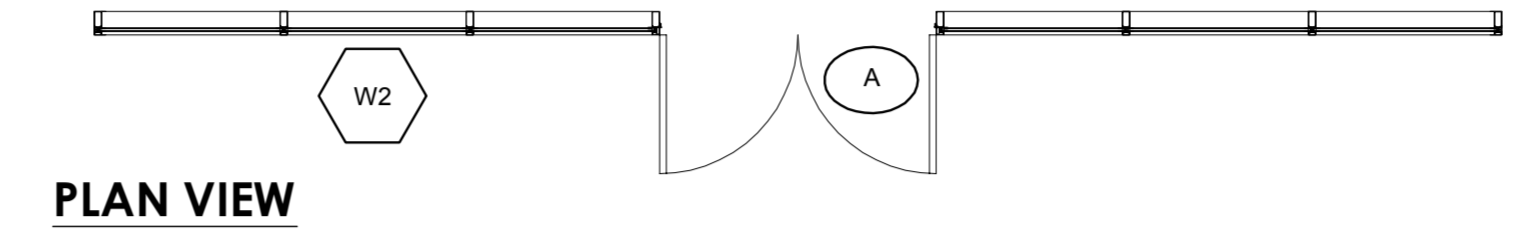


PLAN VIEW

- WINDOW TYPE 'W1'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

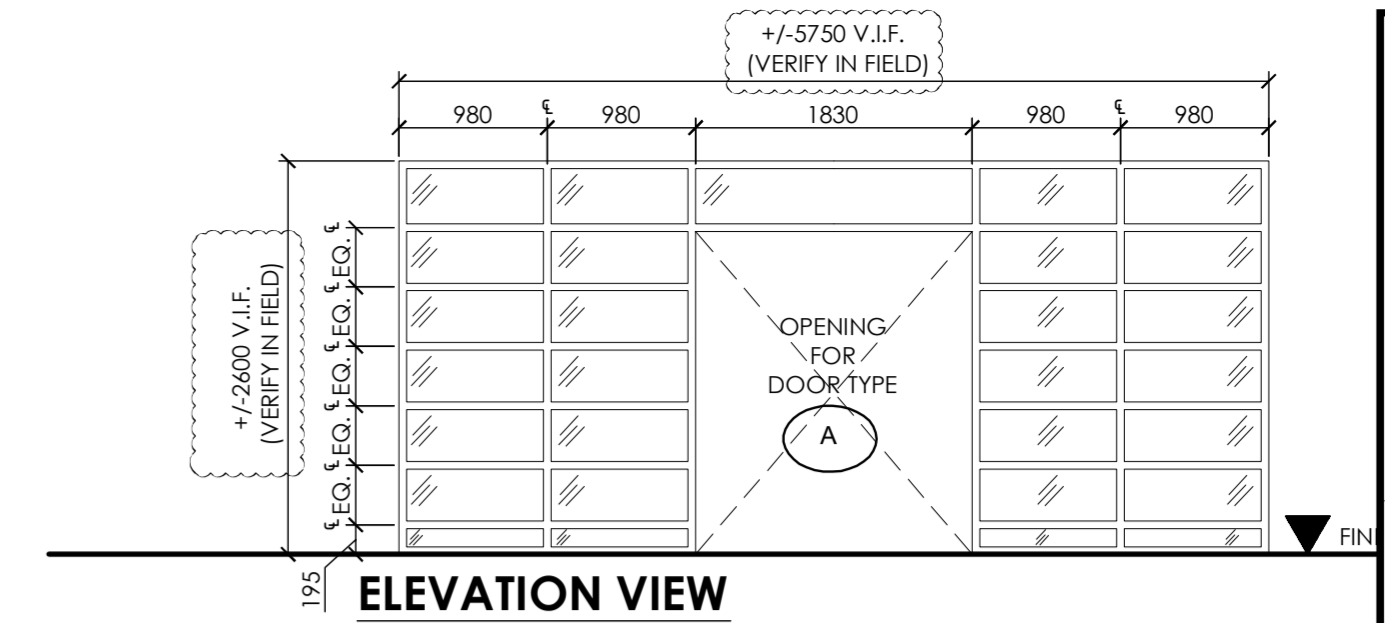


ELEVATION VIEW

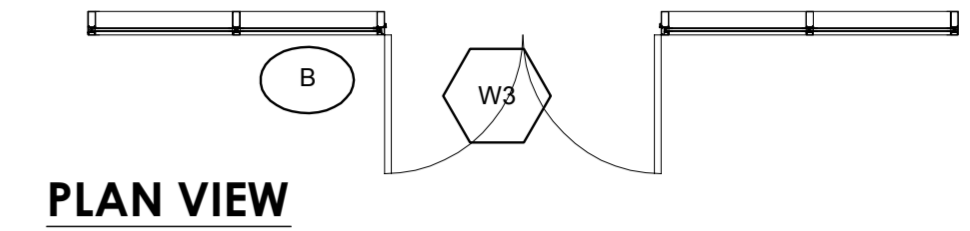


PLAN VIEW

- WINDOW TYPE 'W2'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

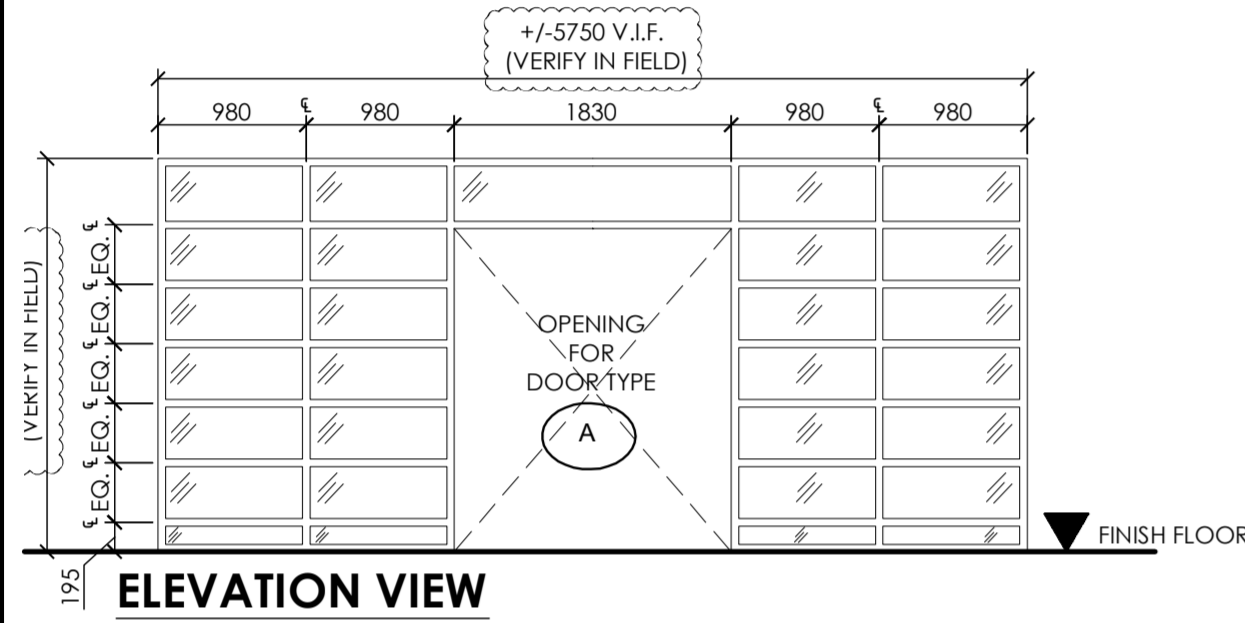


ELEVATION VIEW

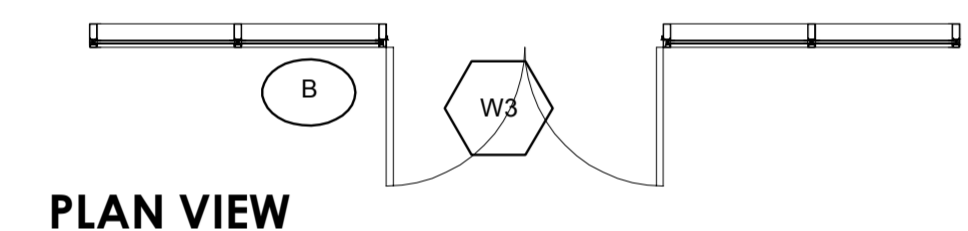


PLAN VIEW

- WINDOW TYPE 'W3'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

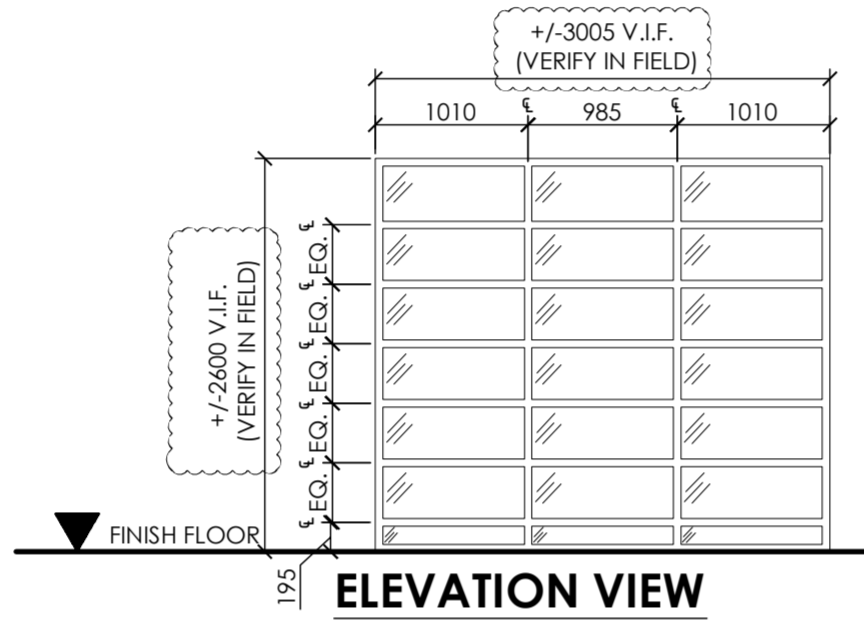


ELEVATION VIEW

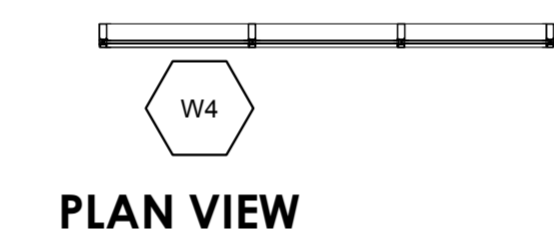


PLAN VIEW

- WINDOW TYPE 'W3'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

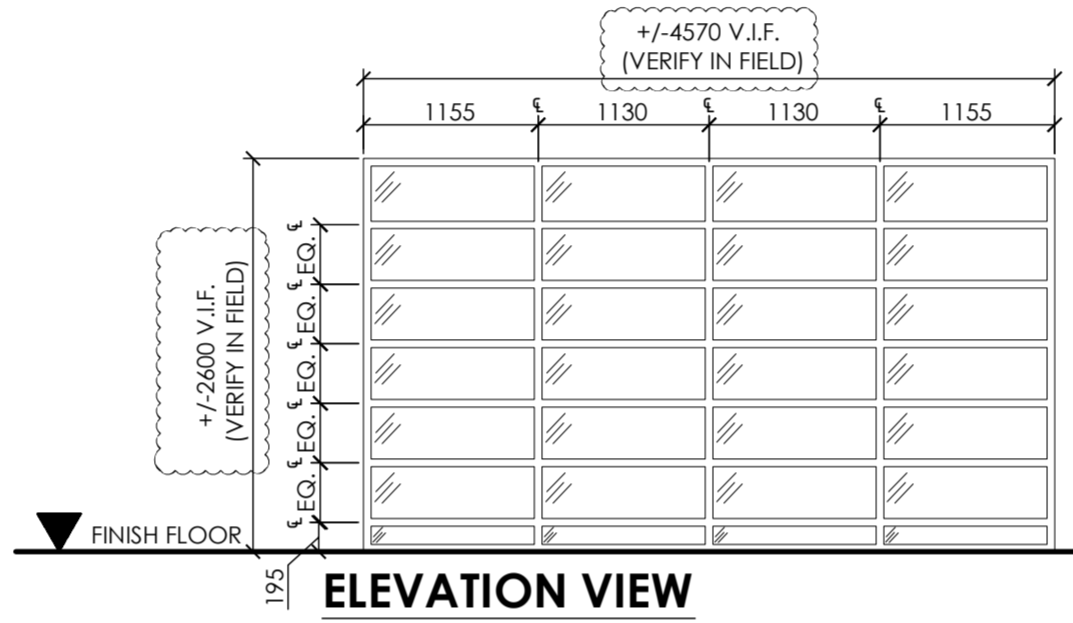


ELEVATION VIEW

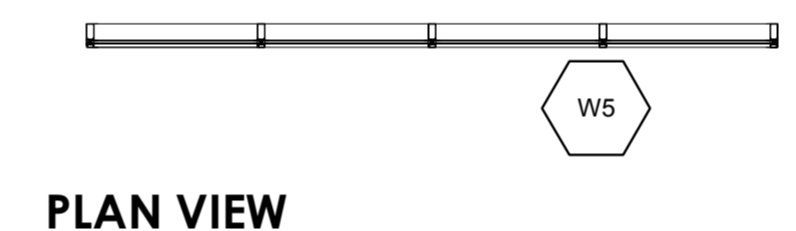


PLAN VIEW

- WINDOW TYPE 'W4'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

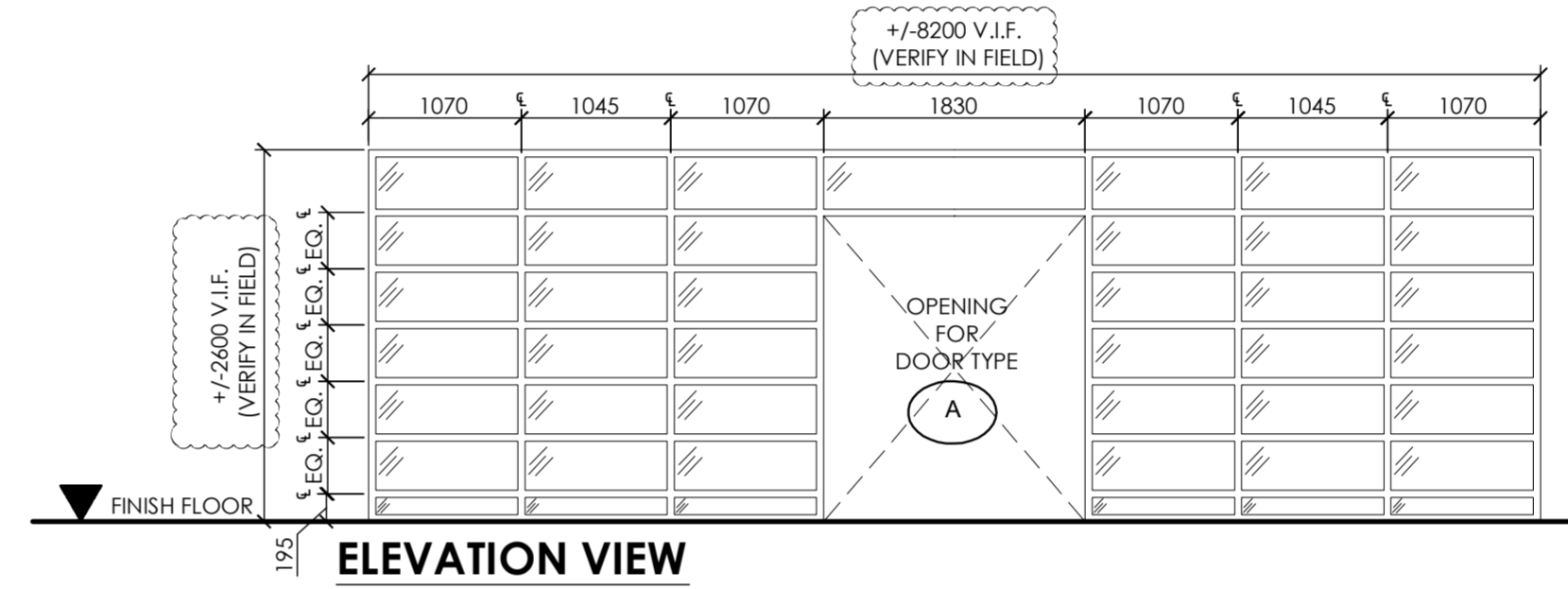


ELEVATION VIEW

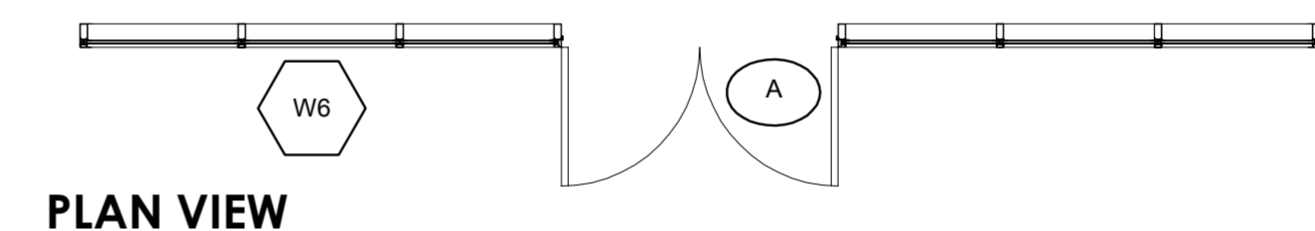


PLAN VIEW

- WINDOW TYPE 'W5'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

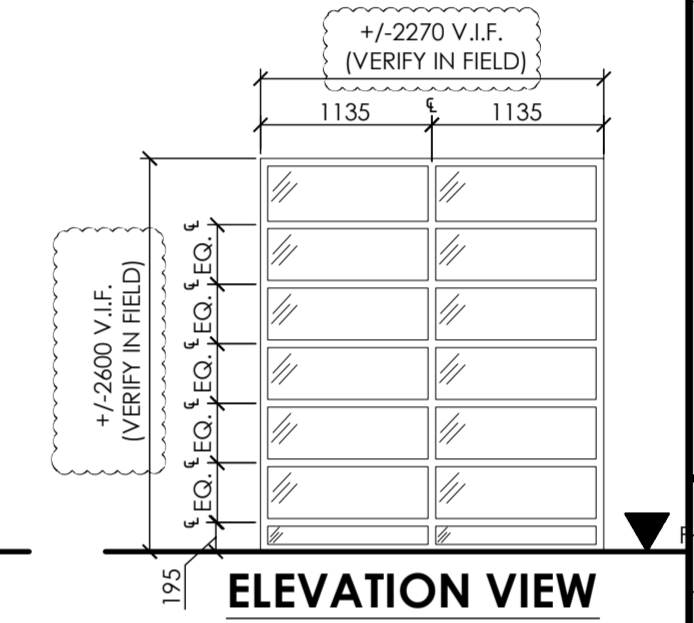


ELEVATION VIEW

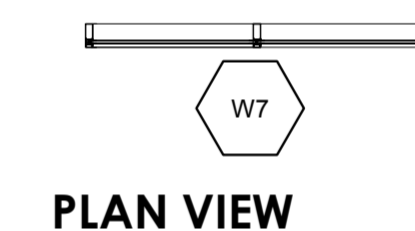


PLAN VIEW

- WINDOW TYPE 'W6'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.

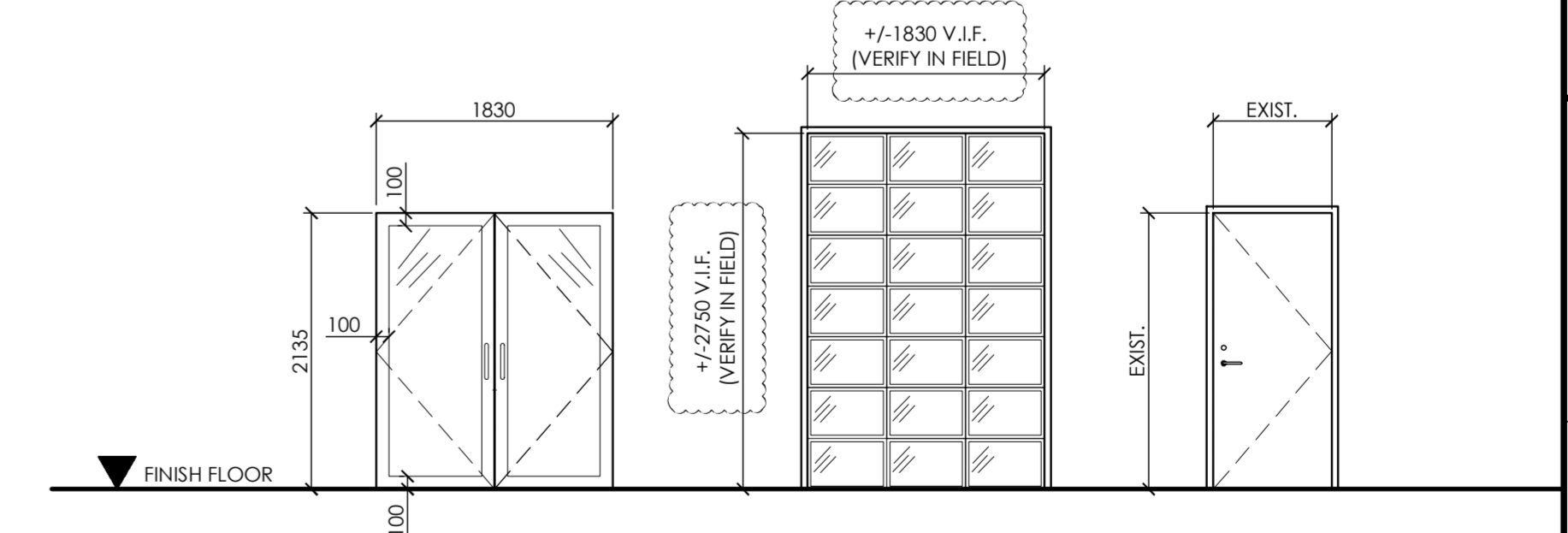


ELEVATION VIEW



PLAN VIEW

- WINDOW TYPE 'W7'**
 STOREFRONT WINDOW
- ANODIZED ALUMINUM
 - C/W TEMPERED SAFETY GLASS FOR GLAZING BELOW 915MM A.F.F.



- DOOR TYPE 'A'**
- ALUMINUM DOOR
 - STOREFRONT DOUBLE DOOR
 - DOUBLE GLAZED TEMPERED SAFETY GLASS
 - ACCESSIBLE OPENER
 - DOOR CLOSER
 - LOCKSET

- DOOR TYPE 'B'**
- OVERHEAD TEMPERED SAFETY GLASS DOOR
 - ELECTRIC MOTORIZED OPENER
 - LOCKABLE

- TYPE 'EX'**
- EXISTING INSULATED METAL DOOR
 - EXISTING STANDARD METAL FRAME
 - PAINT TO MATCH
 - ADJACENT FINISH TYP.
 - NEW PANIC HARDWARE
 - NEW LOCKSET
 - NEW DOOR CLOSER

SEAL

CONSULTANT

SEAL

6	2014-09-19	RE-ISSUED FOR PRICING	ML/KC	CK
5	2014-09-10	RE-ISSUED FOR PRICING	ML/KC	CK
4	2014-09-03	IFC - DRAFT - TO CONSULTANTS	ML/KC	CK
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PROJECT
SHOPPING CENTRE - EXTERIOR RENOVATION
 MUNICIPAL ADDRESS(S)
 #1, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #2, 2119 50 Ave, Red Deer, AB T4R 1Z4
 #100, 2127 50 Ave, Red Deer, AB T4R 1Z4
 #101, 2127 50 Ave, Red Deer, AB T4R 1Z4

DRAWING TITLE
DOOR-WINDOW SCHEDULE

DRAWING ISSUED
 ISSUED FOR CONSTRUCTION

PROJECT NO. 1203	PLOT DATE 2014-09-19
DRAWING NO. A13.01	SCALE AS NOTED
	REVISION