



CANADA – DESIGN GUIDELINES FOR RENOVATION OF EXISTING BUILDINGS

STORE # _____

ADDRESS 2723 Faithful Avenue

CITY Saskatoon

Province Saskatchewan

SEE ATTACHED 3 PAGE FLOOR PLAN

LAYOUT INFORMATION

Building Dimension:	_____	x	_____	ft. (O.D.)	_____	gross sq. ft.
Sales Area:	_____	x	_____	ft. (I.D.)	_____	net sq. ft.
Staging Area:	_____	x	_____	ft. (I.D.)	_____	net sq. ft.
General Office Area:	_____	x	_____	ft. (I.D.)	_____	net sq. ft.
Other:	_____	x	_____	ft. (I.D.)	_____	net sq. ft.
	_____	x	_____	ft. (I.D.)	_____	net sq. ft.
	_____	x	_____	ft. (I.D.)	_____	net sq. ft.
	_____	x	_____	ft. (I.D.)	_____	net sq. ft.

INTENT

It is the intent of these Design Guidelines to communicate the design requirements for the new construction of Sherwin-Williams' stores and buildings. The provisions for these guidelines are intended to be used and coupled with the designer's knowledge of site conditions, economical materials and local codes in order to develop a suitable, efficient, attractive facility, and any LEED specifications if required.

In all cases requiring an interpretation of the content or intent of these guidelines regarding materials or equipment selection, the Sherwin-Williams Project Engineer shall approve in writing the quality, type, and/or color.

Where conflicts exist between these guidelines and local codes, the contractor will ensure that the most restrictive provisions shall prevail. The contractor will also notify the Sherwin-Williams Engineer of any discrepancies.

Where standards are referenced in these guidelines, they shall be considered part of these requirements. The latest edition at time of design shall be used.

The contractor shall use the parts worded "Deviation _____" in addition to or in lieu of the guidelines included by the Sherwin-Williams Project Engineer.

NOTE – Consider alternatives with Sherwin-Williams Senior Project Engineer for cost saving or time saving alternatives.

GENERAL

In the event that there should be any conflict between these Guidelines and any other parts of this lease agreement, then these Guidelines shall be paramount and shall have preference and priority over all other parts of this lease agreement. Wherever the term "contractor" appears in these Guidelines, it shall be taken to refer to the Lessor.

Drawings, showing all facets of the layout, elevations, and other details, shall be submitted to Lessee within 21 days of Lessor's being notified of Lessee's acceptance of the lease. Said drawings shall be submitted in triplicate to The Sherwin-Williams Company, 313 Technology Drive, Malvern, Pennsylvania 19355 Attention: Project Engineer.

The Lessee shall have access to and use of the demised premises for the purpose of installing Lessee's fixtures, equipment, signs, and merchandise, and for decorating and otherwise preparing the premises for occupancy. This use by Lessee may run concurrently with Lessor's construction activity, and will not necessarily constitute acceptance by Lessee, and Lessee shall not unduly hinder or interfere with Lessor's workmen.

These written Guidelines and drawings attached, hereto, said drawings being part of these Guidelines and lease agreement, shall be strictly adhered to. Any deviation(s) required by unforeseen circumstances must have the prior consent of Bud Emig, Division Engineer and be confirmed in writing by this person before the change is authorized. Unauthorized changes and/or, substitutions shall be rectified at Lessor's own cost and expense; or Lessee may, at Lessee's option, elect to cancel this lease; or Lessee may elect to adjust rental amount payments as a consideration for accepting such deviations(s).

Subsequent to Lessor's approving and signing these Guidelines, should the Lessee request any changes, Lessee agrees to pay additional costs, if any, as additional rent over the primary term of the lease; and, conversely, any changes affording the Lessor a savings in costs shall be reflected in a directly proportional reduction in rental payments during the primary term of this lease.

When Lessor determines that the premises are fully completed in accordance with these Guidelines, Lessor shall provide written notice in accordance with the lease. The Lessee shall subsequently conduct the final inspection of the premises, and upon his approval a letter will be provided to the Lessor, which shall formally establish the commencement date of this lease and correspondingly alter other dates affected by this date. No Sherwin-Williams Company employee, other than the person(s) specified above, may accept the building for the Lessee, verbal or written communications notwithstanding.

Premises shall be delivered to Lessee in broom-clean condition: all rubbish, trash, waste, scrap, and/or debris having been removed from the premises. All construction and improvements, new or existing, shall be first-class materials and workmanship, and work shall proceed promptly and diligently to completion.

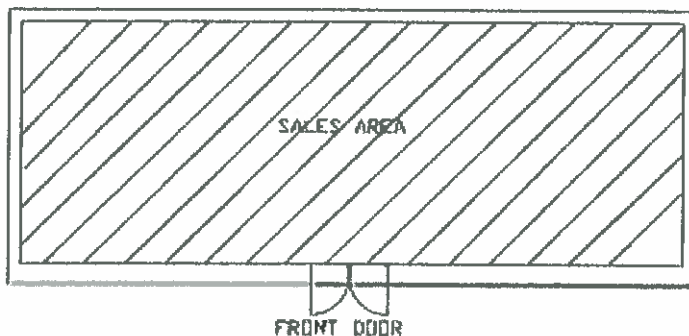
1. **EXTERIOR WALLS** - Existing
2. **ROOF** - Existing
3. **FLOORS** - Floors shall be of poured 3,000 psi concrete of smooth metal trowel finish to be dead level within (+/-) 1/4" overall, and at a minimum shall be a full 4" slab thickness with one layer of 6x6x10/10 welded wire fabric and with sufficient control joints. Poured concrete floors in the staging area will receive - 2 COATS B65A00775 - ARMORSEAL 1K WATER BASED URETHANE FLOOR EPOXY HAZE GRAY. Appropriate expansion joints and 1/4" x 1" settling cuts are to be included.

Vinyl composition tile floor covering (V.C.T.) provided by the contractor shall be installed on the Sales Area, Tint Area, office and corridor floors. Standard 4" coved vinyl wallbase shall be installed at the floor line on all drywall surfaces in the Sales Area, office, corridor and Staging Area. Approved supplier and product are:

Flooring: Armstrong LUXE Plank Amendoim Best A6894 Natural installed on a 45 Degree Angle – see below

Base: Johnsonite 4" Cove base black

Vinyl Transition Strips: Johnsonite 2 1/2" Black vinyl transition strip CTA-XX-J or equivalent where Floor Tile meets concrete floor.



VCT TILE FLOOR ON 45 DEGREE ANGLE

RESTROOM: Floor and Wall Finishes – See Page 13

4. **STORE FRONT AND FAÇADE** - Entrances shall be located as per attached floor plan drawing, with two 3'-0" x 7'-0" glass doors at the main entrance. At door thresholds, concrete shall be ramped to flat level to meet all governmental requirements. This change in elevation shall be beveled with a slope no greater than 1:2. The design of storefront and glass shall be consistent with existing store fronts. All entries, walks, ramps and stairs shall meet all governmental requirements. A curb ramp for wheelchair traffic shall be provided. The ramp shall have a slip proof finish. Curb ramps shall have a minimum width of 36". The maximum slope of the transition in accessible routes shall not exceed 1:20 with the maximum slope of side flares not exceeding 1":12" or 1:1. The maximum rise for any transition run shall be 30".
5. **CEILING AND VERTICAL CLEARANCE** - Staging Area overhead shall be exposed joists and/or beams with no ceiling and a minimum clear height of 12'-6" (or higher if building conditions allow).

Sprinklers shall be installed throughout the premises as required per local code. Lights, piping, sprinklers, etc., shall be above this height (or higher if building conditions allow).

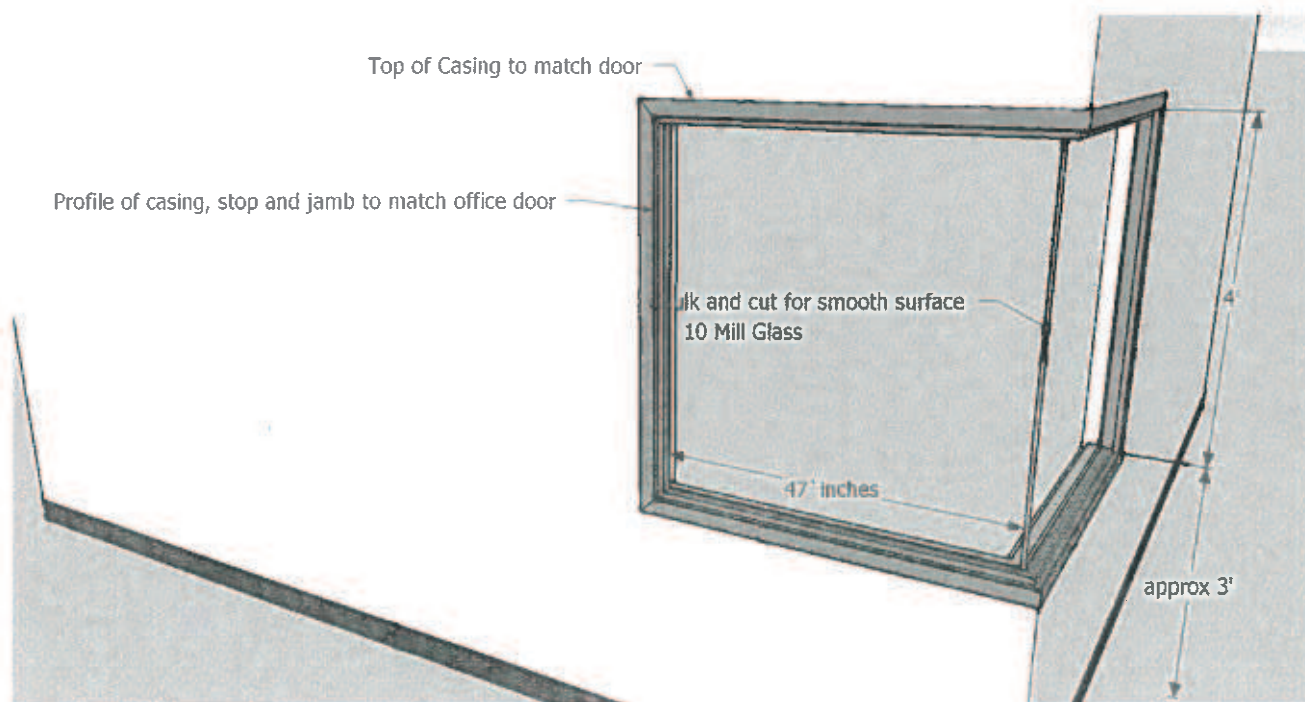
Sales Area overhead shall be exposed joists and/or beams with no ceiling and a minimum clear height of 12'-6" (or higher if building conditions allow).

The office and restrooms shall have a ceiling height of 10'-0". A finished suspended T-bar grid ceiling (color White) shall be provided. Lay-in panels shall be a minimum 5/8" thick, 2'x4', non-combustible, acoustic type, mineral fiber with fissured non-directional design. Light reflectance shall be 75 percent. Batt insulation, rated R-12, is required over all T-bar grid ceilings.

6. DOORS, HARDWARE, WINDOWS

Location of openings, windows, doors (including direction of swing) shall be shown on the Floor Plan and Elevation drawings. Storefront glass shall be installed.

A 48" x 48" X 48""x48" corner glass window - 10 Mil glass to meet in corner both polished edges meet inside, open gap outside. 3/16" Clear Silicone bead on inside corner - 10mil bead on outside corner cut neat with blade. Casing, jamb and stop to match appearance of Door assembly to office. Top of window casing to match top of door casing height



Interior doors, unless otherwise noted, shall be solid core, 1-3/4" thick and shall be hung with one and a half hinge pairs on 18-gauge hollow metal frames with silencers. Office and restroom doors shall each be undercut 1".

The Staging Area shall have both exit and overhead doors as follows: Exit from the Staging Area shall be a 3' x 7' 16-gauge flush hollow metal door in a 16-gauge hollow metal frame, equipped with non-pull hinge pins, closer, interior panic bar override for emergency egress, cylinder lock and hand grip, weather-stripping, threshold sweep, low profile aluminum threshold, and security bar, local code permitting.

As shown on drawings, provide an 8' wide by 10' high heavy-duty 20-gauge flush sectional steel, overhead door(s) installed against a weatherstripped frame. Clear headroom below opened door shall be as high as possible. Exposed jambs shall be covered with a primed and painted steel 3/16" Thick C-section for the full height of the opening, sized to lap at least 2 inches onto the inside and outside of

wall. Provide and install a steel folding security gate at each overhead door. Gate shall be 8' wide, or as required per floor plan, 6' high, recess mounted outside, single or double.

The hollow metal exterior doors, and the overhead door shall be fitted with an angled dark bronze color aluminum rain shield mounted just above the doorframe to minimize water penetration from driving rains.

7. **INTERIOR FINISH AND PARTITIONS** - All interior partitions shall be constructed of an approved 5/8" gypsum board drywall system with 3-1/2" metal studs, 25 gauge on 16" centers, with fully taped, bedded, and sanded joints. All partitions shall be insulated with 3-1/2" fiberglass batts. Perimeter walls of the Sales Area shall be covered with the same drywall system, and shall be free of extended pilasters or columns. All interior partitions shall be non-load bearing, except in the case of load bearing party walls. Gypsum board wall surfaces shall be free of any blemishes or imperfections, and shall be completely smooth with no applied texture or sand finish and ready for paint.

Unless otherwise noted or required by code, all other floor-to-ceiling partitions shall extend 6" above the ceiling and be located as shown on the Floor Plan drawing.

The bulkhead wall shall be constructed per the Floor Plan drawings.

8. **DELIVERY AREA** - Street level unloading facilities shall have a reinforced concrete apron outside of the door. Unless otherwise noted on the site plan, the concrete apron will be a minimum width of 10'-0", extend away from the building 15'-0", and be at a depth of 6" with 6"x 6" WWM top and bottom of slab. Building side of apron shall be even with interior floor level and sloped 1% or 1° away from building. Surrounding pavement shall be flush with the edges of the apron. Where concrete apron meets pavement, corners of the concrete apron will have 12" angle to prevent corners from cracking.

9. **HVAC** - The heating/cooling system design shall be the most economical available for the area and use the latest energy conservation guidelines, and meet LEED specifications if required.

- A. **SALES, STAGING AREA, RESTROOMS AND OFFICE AREA** - Heating and refrigerative air conditioning equipment shall be preferably located on the rooftop on appropriate curbing and shall be complete with all required concealed, insulated foil-backed ducts, diffusers, returns, grilles, drains, vents, and enclosures. Roof top units shall have direct down-flow supply and return air. Air dispersion shall be through round or square ducts (determined by Sherwin-Williams) and shall be engineered in such a manner as to allow comfortable heating and cooling conditions. Return air shall be ducted with acceptable air filters. Landlord shall use low profile units (outside) with economizer cycle when climatologically practical as part of the shell building. Where aesthetics dictate, architecturally screen from visual sight. A condensate drip pan and drain shall be installed below the unit. Provide one (1) unit unless otherwise specified on the drawing. SEER rating shall be 10.0 or higher.

The heating system shall be designed to maintain a temperature of 68 degrees inside under local design conditions outside. Contractor shall use natural gas for all heating units, if it is available.

Refrigerative air conditioning shall produce a temperature of not more than 80 degrees dry bulb and a relative humidity of not more than 50% when outside conditions are 95 degrees dry bulb and 78 degrees wet bulb.

The thermostat control for both heating and air conditioning shall be located as shown on the Electrical Drawing and enclosed in a non-tamper transparent enclosure.

B. RESTROOM (S)

Restrooms shall be provided with an exhaust fan capable of exhausting 0.5 c.f.m. per square foot of area or 80CFM, whichever is greater. This unit shall be interlocked to the light switch of the room.

10. PLUMBING

A. RESTROOMS AND EQUIPMENT

There shall be one restroom sized to meet all governmental codes clear floor space requirements. If local code requires two restrooms, the plans shall be revised to meet this requirement. All fixtures and equipment and design to meet LEED specifications if required. A minimum clear floor space of 60" by 60" shall be provided in front of the water closet and 30" x 48" in front of the lavatory.

Equip as follows:

ITEM	DESCRIPTION
24" Grab Bars	Frost - 1001SP24"
30" Grab Bars	Frost - 1001SP30"
Men Sign c/w Accessibility symbol	Frost Code 962
Women Sign c/w Accessibility symbol	Frost Code 963
Washroom Sign c/w Accessibility symbol	Frost Code 965
Stainless Steel Shelf	Frost - 950-18
Paper Towel Holder	Frost Code 107
Trash Receptacle	Frost Code 326
Soap Dispensers	Frost Code 10A
Stainless Coat hooks on bath doors	Frost - 1139-S
Toilet Paper Holder	Frost 1134S
Mirror	Frost 941-1836
Stainless Steel Corner Protection	3" x 3" x 1/8" x 48" Stainless Steel - attach with PL premium - At all exposed drywall

Lavatory

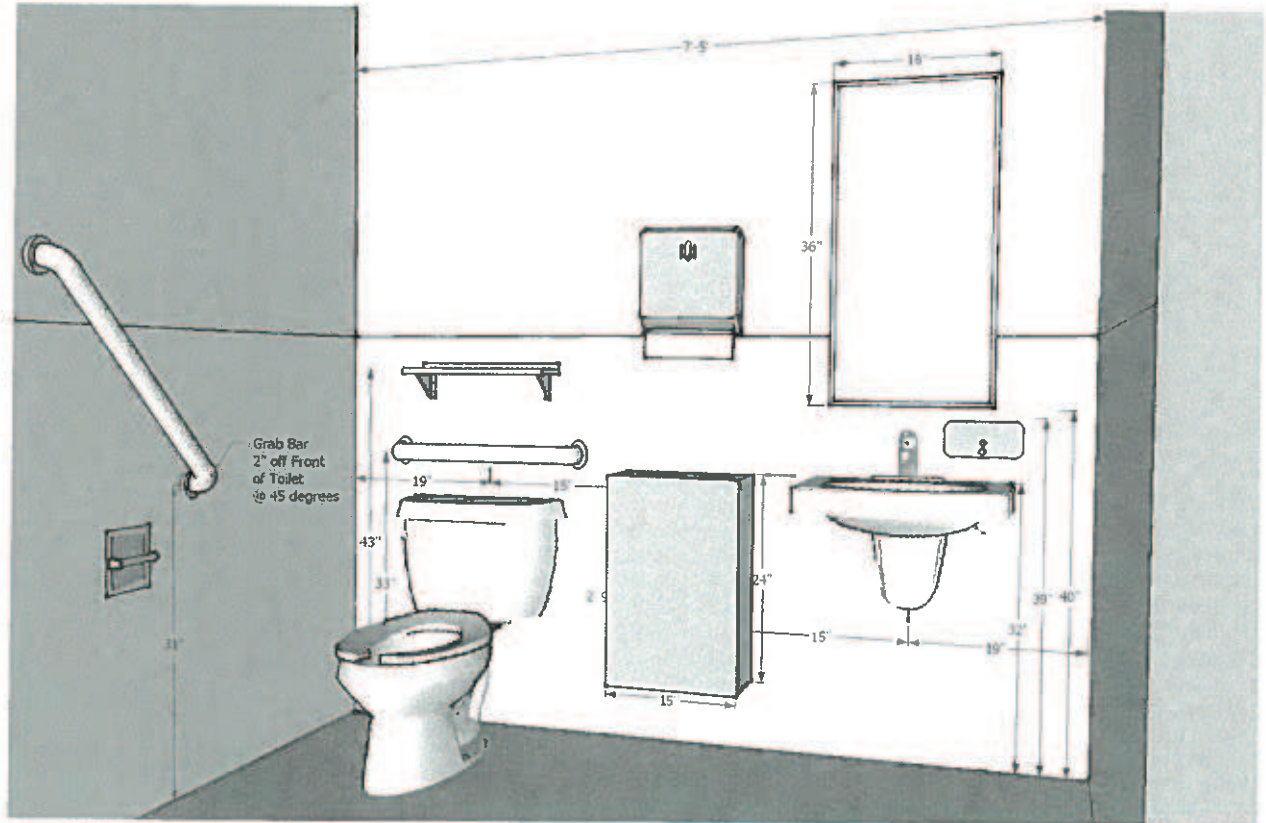
Wall Mounted Sink: American Standard Murro, 4" center set fitting. @ 34" AFFL

Lav Faucet: Moen L 4605 or equivalent Moen product with grid drain 29" clearance above the finished floor to the bottom of the apron.

Water Closet Shall be white vitreous china, American Standard White Cadet 3, close-coupled two-piece with elongated front, Seat elongated white with open front.

The height of water closets shall be 17"-19" measured to the top of the toilet seat

TYPICAL BATHROOM INSTALLATION



- 11. UTILITIES** - The Landlord shall provide for all services and utilities (water, water hydrants, electricity, gas, sanitary and storm sewers, telephone, etc.) to be installed and connected in accordance with local codes and/or local utility company requirements as part of the shell building. Separate electric and gas meters shall be located by the Landlord outside the building on the rear wall, or on the sidewall near the rear. The Landlord shall provide pipe bollards to protect meters when located in vehicular traffic areas.

When The Sherwin-Williams Company takes possession of the premises, Sherwin-Williams will transfer these utilities into its name.

- 12. FIRE SPRINKLER SYSTEM** - Space to be occupied by the Sherwin-Williams' store shall be fire sprinklered when required by the Fire Code or otherwise requested by Sherwin-Williams. The fire protection design shall be in compliance with National Fire Protection Association standards (NFPA-30 and NFPA-13) or the local applicable fire code for the specific Sherwin-Williams occupancy. In absence of code requirements design for ordinary Hazard, Group 2. At a minimum provide .25 gpm per square foot for most remote 2000 sq. ft., with 165°F heads at 100 sq. ft. per head. Upon completion of the installation, the system shall be approved and certified by local authorities that it will perform as required under the classification noted above. All fire suppression design and equipment must meet LEED specifications if required.

13. **ELECTRICAL & LIGHTING** - The electrical service entrance and minimum 30 KVA transformer and main panel shall be sized according to all applicable codes, and the amount and type of electrical service shall be established to adequately handle the requirements of the store operation with a 10 percent allowance for expansion and shall be provided by the Landlord as part of the shell building. All circuits in the panel shall be clearly labeled on the panel door. The Service panel and the Circuit Breaker panel shall be located adjacent to the delivery door of the Staging Area unless otherwise approved by the Sherwin Williams. Service shall be as per prevalent local available voltage, and all equipment must be compatible. Whenever 220/440 volt, 3-phase, 60-cycle is available, it is preferred. All lighting design, fixtures, and equipment must meet LEED specifications if required.

Night-lights, exit lights and emergency lights shall be wired into a separate circuit, which shall be permanently locked on using a breaker lock device. Breaker lock devices shall also be attached to breaker switches for any circuit having a time clock device, the POS system or any other emergency-type system (e.g., security systems).

The primary service line to the building shall be run by the Landlord at a minimum clear height of 14'-0" to allow clearance for truck traffic.

A. SALES AREA AND TINT AREA IN STAGING AREA - Light illumination design shall be 90 foot-candles average maintained at floor level Lighting fixtures shall be 1x4 surface mount/suspended or 2'X4' recessed lay-in- grid type TY244254 B12 UNV Energy Saving Ballasts. Warrantee for fixtures will be 5 years. Warrantee for Ballasts will be 5 years.

B. OFFICE(S) - The light illumination design shall be 100 foot-candles average maintained at 30" AFF. Lighting fixtures shall be fluorescent 2'x4' recessed lay-in-grid type. Ballasts shall be CBM and/or ETL certified, Class P, Energy-Saving type, specifically designed to operate four 35 watt rapid start Energy-Saving fluorescent lamps, TY244254 T5 B12 UNV. Fixtures shall be switched locally in each office area. The corridor fixture shall be permanently lighted as a night-light on the night light circuit.

C. STAGING AREA - Lighting fixtures shall be suspended and shall be ECO 42 T5 5Y GBE. Bulbs and Ballasts shall be as described in E-3. Maintain a minimum of 40 foot-candles throughout the Staging Area at floor level. Installation height shall be 12'-6" minimum, and shall be above exposed joists and beams.

Fixtures shall be switched from switchbank, with selected fixtures connected as night-lights per Lighting Plan, and permanently locked on with a breaker lock device.

D. RESTROOM(S) - The lighting fixture shall be one (1) 2'x2' recessed lay-in-grid type. Bulbs and Ballasts shall be as described in E-3. The light shall be activated by a wall switch. One GFI duplex receptacle shall be provided at lavatory 40" A.F.F.

For All fixtures in Sales, Tinting, Office and Staging area will be T5 54w and 6500k for consistency

- E. EMERGENCY LIGHTING SYSTEM AND EXIT LIGHTS** - Provide and install battery-operated emergency lighting units complete with a battery (capable of 90-minute operation), charger, transfer relay, test switch, and two 12-watt lamps in amiable holders. Install one (1) unit in the Sales Area, and one (1) in the Staging Area, located per the Lighting Plan as high above finish floor as possible without obstruction of light.

Provide and install exit light fixtures, each equipped with battery-operated emergency back-up units, located per the Lighting Plan and local code requirements.

- F. HVAC TEMPERATURE CONTROLS** - Provide and install a standard commercial grade setback thermostat compatible with the HVAC system.

G. ILLUMINATED SIGNS

1. A Fascia Sign shall be supplied, installed, and wire connected by Sherwin-Williams. The contractor shall provide a junction box normally centered and inside the fascia canopy, with one 15 amp dedicated circuit installed through a Tork 1100 series 24-hour dial time clock at the breaker panel to all fascia sign locations
2. If an individual Letter Sign is used, it shall be supplied, installed and wire connected by Sherwin-Williams. The contractor will be advised if this type sign is used and, if so, shall provide a junction box normally centered inside the fascia canopy, with three 20-amp circuits through a time clock.
3. A Pylon Sign shall be supplied, installed and wire connected by Sherwin-Williams. The contractor shall provide one 20 amp dedicated circuit including time clock, conduit, wiring and underground wiring in conduit from proposed location of pylon sign shown on the drawings or specified by the Sherwin-Williams Project Engineer, through a time clock and to the service panel. Terminate the conduit and wiring above the ground at the pylon location in a watertight junction box.

The contractor will be advised of the number and location of signs.

NOTE: When a pylon sign is installed, two time clocks are required, one for the pylon and one to the fascia.

- H. CONVENIENCE RECEPTACLES** - There shall be convenience receptacles as specified on the Electrical Plan. In the absence of a drawing, there shall be receptacles spaced at 25'-0" intervals in the Sales Area and Staging Area. Four (4) receptacles shall be installed in the office.

A water-tight tamper-proof GFI type receptacle shall be provided on the outside, front wall.

Provide in the office, with location and height per plan, three (3) junction boxes and 1" EMT to the telephone equipment board for the installation of telephone service wires.

Contractor shall provide the electrical installation and equipment as noted on the attached floor plan drawings and must meet LEED specifications if required.

NOTE: Label panel box circuits as noted in boldface title. Label each junction box above ceiling with letter on cover plate.

Provide electrical circuitry including all conduit, wiring, outlets and circuit breakers for equipment supplied by Sherwin-Williams per the attached floor plans.

- I. All exterior entrances to the Sales Area shall be equipped with magnetic "break-contact" or photoelectric door switches as directed by the Sherwin-Williams Project Engineer. Door switch shall operate a chime located in the corridor, 90" A.F.F. The chime tone shall not be continuous.
- A waterproof push-button shall be installed outside of the hinged delivery door. It shall operate a buzzer signal device located in the corridor adjacent to the door switch chimes.

14. **TRASH ENCLOSURE** – A reinforced concrete slab must be provided large enough for an 8 cubic foot dry waste materials, front loader container, and extend 10 feet in front of container area where the dumpster truck maneuvers. It shall be poured to a minimum depth of 6", with two 6" diameter concrete filled steel posts on 4'-0" centers, extending 4'-0" above finish grade, primed and painted "safety yellow", and installed 12" inside rear edge of pad.

A trash enclosure shall be provided if required by local codes, ordinance, or when aesthetics dictate. A fence enclosing the slab shall stand 6'-0" above finished pavement, be of 9-gauge, zinc-on-steel woven wire with prewoven slatting of redwood, or polyethylene of a rustic brown color. A 10'-0" clear opening shall be provided for and protected by two concrete filled steel bollards installed in front of the fence line.

15. **PAINTING**

Paint all sprinkler piping (do not paint over sprinkler heads), HVAC equipment, and any steel. Surface must be clean, dry and in sound condition. Remove all oil, dust, grease, dirt, loose rust and other foreign material to ensure adequate adhesion. Stripe or paint sprinkler & gas pipes as per local code.

1. **Sales Area Ceiling assembly and walls to 12'-6" AFFL**

Two Coats: Waterborne Acrylic Dry Fall **Flat Black @7.0–11.0 mils wet**

Paint all sprinkler piping (do not paint over sprinkler heads), HVAC equipment, and any steel. Surface must be clean, dry and in sound condition. Remove all oil, dust, grease, dirt, loose rust and other foreign material to ensure adequate adhesion. Stripe or paint sprinkler & gas pipes as per local code.

Primer: Ductwork - DTM WASH PRIMER B66

2. **Drywall: Staging Area Walls**

Primer: Pro Mar 200 Ø VOC Interior Latex Primer White @ 4 mils wet

Two Coats: **PROGREEN EGG SHELL WHITE @ 4 mils wet/coat**

Color: **White**

3. **Drywall: Washroom Walls** (excluding bulkhead & wall facing front door)

Primer: Pro Mar 200 Ø VOC Interior Latex Primer White @ 4 mils wet

Two Coats: **Pro Mar 200 Ø VOC Semi-Gloss @ 4 mils wet/coat**

Color: **SW6147 PANDA WHITE - PM 200 0 VOC**

4. **Drywall: Sales Floor Walls** (excluding bulkhead & wall facing front door)

Primer: Pro Mar 200 Ø VOC Interior Latex Primer White @ 4 mils wet

Two Coats: **Pro Mar 200 Ø VOC Low Sheen @ 4 mils wet/coat**

Color: **SW 6408 Wheat Grass**

5. **Drywall: Office Inside/Outside Walls** (facing tint area)

Primer: Pro Mar 200 Ø VOC Interior Latex Primer White @ 4 mils wet

Two Coats: **Pro Mar 200 Ø VOC Low Sheen @ 4 mils wet**

Color: **SW6221 Moody Blue**

3 Drywall: Tint Area – Back and Left Walls (1/2 wall facing sales floor)

Primer: Pro Mar 200 Ø VOC Interior Latex Primer @ 4mils wet. to appropriate P-level Gray to ensure adequate color consistency and coverage of topcoat.
Two Coats: Pro Mar 200 Ø VOC Low Sheen @ 4 mils wet
Color: **SW6349 Pennywise**. Primer should be tinted

4 Previously Painted/Primed Trim, Door Jambs and Transition Doors

Two Coats: Pro Mar 200 Ø VOC Semi-Latex
Color: **SW7038 TONY TAUPE** -. Surface must be clean, dry and in sound condition. Remove all oil, dust grease, dirt, loose rust and other foreign material to ensure adequate adhesion.

5 Staging Concrete Floor

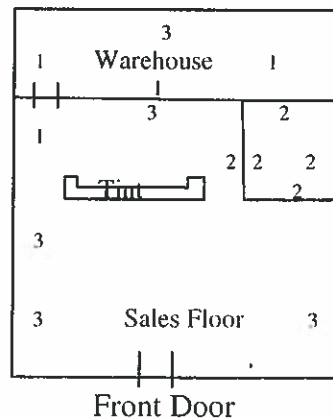
Two Coats: B65A00775 - ARMORSEAL 1K WATER BASED URETHANE FLOOR EPOXY

Color: **HAZE GRAY** -. Surface must be clean, dry and in sound condition. Remove all oil, dust grease, dirt, loose rust and other foreign material to ensure adequate adhesion.

6 Staging Ceiling Substrates

Two Coats: Waterborne Acrylic Dry Fall Flat **White** @7.0–11.0 mils wet
Paint all sprinkler piping (do not paint over sprinkler heads), HVAC equipment, and any steel. Surface must be clean, dry and in sound condition. Remove all oil, dust, grease, dirt, loose rust and other foreign material to ensure adequate adhesion. Stripe or paint sprinkler & gas pipes as per local code.
Primer: Ductwork - DTM WASH PRIMER B66

Sample Drawing



LEGENDS, SCHEDULES, SYMBOLS

ROOM FINISH SCHEDULE

ROOM	FLOOR	BASE	WALLS				CEILING		REMARKS
			N	S	E	W	MATERIAL	HEIGHT	
Sales Area	Option 1 or Option 2	Vinyl Cove Wall Base 4"					2x4 Lay-In Acoustical Tile Panels	10' - 0"	See Guidelines
Staging Area	Sealed Concrete	Vinyl Cove Wall Base - See Remarks					Painted Open Construction	12' - 6" Clear	Omit Vinyl Base at Masonry Walls
Office & Tintroom	Option 1 or Option 2	Vinyl Cove Wall Base					2x4 Lay-In Acoustical Tile Panels	8' - 0"	See Guidelines
Restroom (s)	Ceramic Tile Dal-Tile 12"x12" #5202 "Gold Dust" Grout = Custom #380 "Haystack"		Ceramic Tile Wainscot (4' High) Dale-Tile 6" x 6" #5202 "Gold Dust" Grout = Custom #380 "Haystack" or equal				2x4 Lay-In Acoustical Tile Panels	8' - 0"	See Page 14 for Finish Specifications.
Corridor	Option 1 or Option 2	Vinyl Cove Wall Base					2x4 Lay-In Acoustical Tile Panels	8' - 0"	See Guidelines

ROOM FINISH LEGEND:

1. 5/8" Gypsum Board on Furring or Studs @ 16" O.C., both with insulation between as required.
2. Metal Studs @ 16" O.C., w/1 layer of 5/8" gypsum board each side of studs, insulated with 3-1/2" fiberglass batts.
3. Metal Studs @ 16" O.C. w/1 layer of 5/8" gypsum board each side of studs (1hr. rated wall), insulated with 3-1/2" batts.
4. Masonry block wall filled, primed and painted.

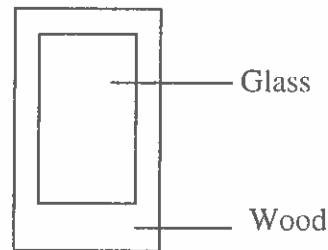
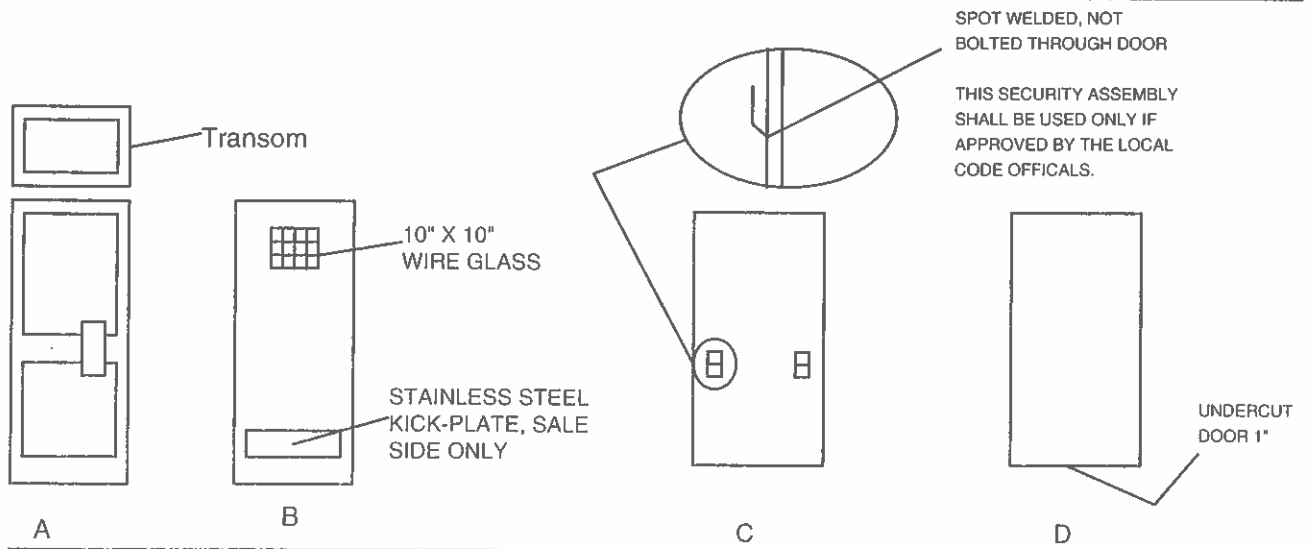
*** NOTES: See Painting Schedule and Wall Finishes.**

Floor:	Dal-Tile 12"x12" #5202 "Gold Dust" or equal
Wainscot:	4' high Dal-Tile 6"x6" #5202 "Gold Dust" or equal
Grout:	Custom #380 "Haystack"
Lavatory counter tops and edges:	Same tile as the wainscot
Lavatory vertical supports and plumbing screens:	Formica #466-58 "Porcelain" matte finish or equal

FORM D1

DOOR SCHEDULE & TYPES

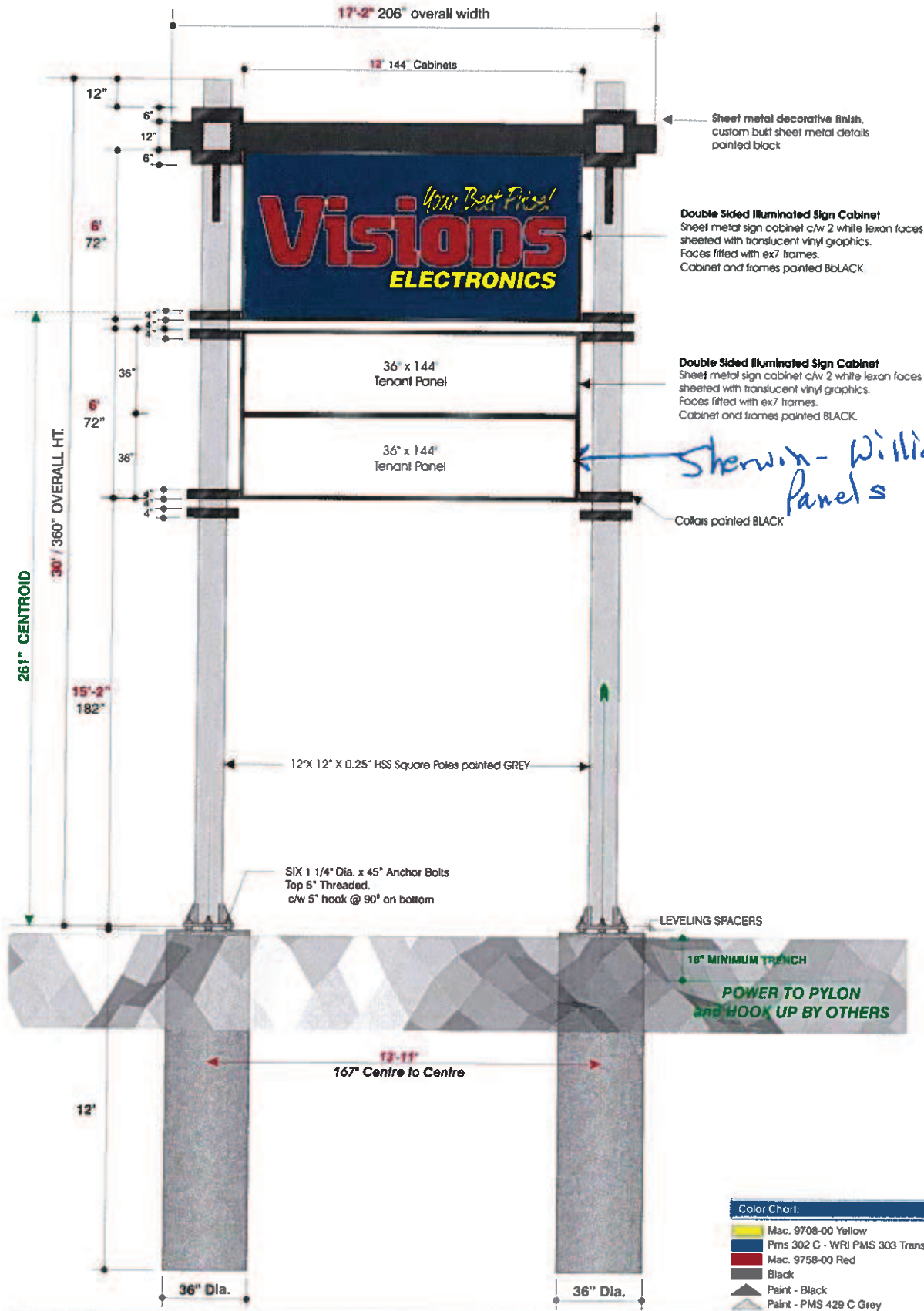
MARK	SIZE	TYPE	MATERIAL	FRAME	LOCKSET	REMARKS (SEE SECTION A-7)
1	3'-0" x 7'-0" x 1-3/4"	A	Alum. Bronze Duranodic	Aluminum	Cylinder Lock	Closer. Glass transom above door
2	3'-0" x 7'-0" x 1-3/4"	A	Alum. Bronze Duranodic	Aluminum	Cylinder Lock	Closer. Omit glass transom above door
3	4'-0" x 7'-0" x 1-3/4"	C	16 Ga. Flush Hollow Metal	16 Ga. Hollow Metal	Cylinder lock with hand grip	Closer w/ Interior Panic Bar override
4	3'-0" x 7'-0" x 1-3/4"	C	16 Ga. Flush Hollow Metal	16 Ga. Hollow Metal	Cylinder lock with hand grip	Closer w/ Interior Panic Bar override
5	4'-0" x 7'-0" x 1-3/4"	B	18 Ga. Flush Hollow Metal	16 Ga. Hollow Metal	Passage set	Closer. Class "B" Fire Label
6	3'-0" x 7'-0" x 1-3/4" 2 required.	B	18 Ga. Flush Hollow Metal	16 Ga. Hollow Metal	Passage set	Closer. Class "B" Fire Label
7	3'-0" x 8'-0" x 1-3/4" (2 required)	B	18 Ga. Flush Hollow Metal	16 Ga. Hollow Metal	Passage set	Closer Class "B" Fire Label , Astragal.
8	3'-0" x 6'-8" x 1-3/4"	D	Hollow-Core Flush Birch Veneer	18 Ga. Hollow Metal	Lockset w/ push button Inside (Restroom) only	Undercut Door 1" (restroom)
9	3'-0" x 6'-8" x 1-3/4"	D	Hollow-Core Flush Birch Veneer	18 Ga. Hollow Metal	Key Lockset w/ Push Button Inside (Office) only	Undercut Door 1" (office)
10	8'-0" x 10'-0"	Overhead	20 Ga. Steel Sectional	Steel	Latch Bar	See section A-7
11	10'-0" x 10'-0"	Overhead	20 Ga. Steel Sectional	Steel	Latch bar	See section A-7
E	Existing					



E (Office Door)

FORM D-2

Revised 2.14.11



Color Chart:

Mac. 9708-00 Yellow
Pms 302 C - WRI PMS 303 Trans.
Mac. 9758-00 Red
Black
Paint - Black
Paint - PMS 429 C Grey



The Design Depicted herein is the sole property of LANDALE SIGNS™ and may not be reproduced in whole or in part without the written permission of that Company's Principal Officer. Colors shown on this presentation are strictly representational. Those actually used in production may vary due to the translucency of vinyls, digital print inks, acrylic paints and the luminosity of neon. All Sizes Shown Are Approximate.

110612 Visions Realty VS
 Marv Wirth / Sales
 Andrew Wnek / Designer
 July 7, 2011

Scale: 1/4" = 1'

Customer Approval

This Drawing Approved by: _____

Dated: _____