

# 942252 ALBERTA LTD

## VISIONS ELECTRONICS / FABRICLAND PROPERTY UPGRADES

2530 / 2540 / 2570 VICTORIA AVENUE EAST, REGINA

CIVIL	<p>BUILDING DESIGN</p> <p><b>WALKER PROJECTS</b></p> <p>Consulting Engineers • Project Managers</p> <p><small>109 - 1621 Albert Street, Regina, Saskatchewan S4P 2S5 Telephone (306) 522-9434 Fax (306) 522-9431 www.walkerprojects.com</small></p>	<p>STRUCTURAL</p> <p><b>WALKER PROJECTS</b></p> <p>Consulting Engineers • Project Managers</p> <p><small>109 - 1621 Albert Street, Regina, Saskatchewan S4P 2S5 Telephone (306) 522-9434 Fax (306) 522-9431 www.walkerprojects.com</small></p>	MECHANICAL	ELECTRICAL
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CV1.1....	<p>A0.1 CODE ANALYSIS  A0.2 NOTES / SPECIFICATION  A1.1 SITE PLAN  A2.1 EXISTING ELEVATIONS - VISIONS  A2.2 EXISTING ELEVATIONS - FABRICLAND  A3.1 BUILDING ELEVATIONS - VISIONS  A3.2 BUILDING ELEVATIONS - FABRICLAND  A5.1 EXISTING FLOOR PLANS  A5.2 PROPOSED FLOOR PLANS  A5.3 PROPOSED FINISHES  A8.1 SECTIONS AND DETAILS  A8.2 SECTIONS AND DETAILS  A8.3 SECTIONS AND DETAILS  A8.4 DETAILS</p>	<p>S01 NOTES, SPECIFICATIONS  S1.0 FOUNDATION &amp; FRAMING PLANS / SECTIONS  S2.0 TRUSS ELEVATION &amp; SECTIONS / DETAILS</p>	M0.1....	E0.1....
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SEALS



ASSOCIATION OF PROFESSIONAL ENGINEERS  
OF SASKATCHEWAN  
WALKER PROJECTS INC.  
CERTIFICATE OF AUTHORIZATION  
#C783  
PERMISSION TO CONSULT HELD BY:  
DARYL ANDREW #13217 STRUCTURAL



**SECTION 1.1.1.1 - APPLICATION**

1.1.1.1 (1) CHANGE OF OCCUPANCY TO PART OF EXISTING BUILDING - GROUP E TO F3. OCCUPANCY TO REMAINDER OF EXISTING BUILDING TO REMAIN UNCHANGED - GROUP E.

**SECTION 3.1 - GENERAL**

3.1.2.1.(1) MAJOR OCCUPANCY: STORE-GROUP E / CAR INSTALLATION SHOP-F3(STORAGE GARAGE)  
BUILDING AREA (Overall): 3,233 m<sup>2</sup> (34,800 ft<sup>2</sup>)  
BUILDING AREA (Between Firewalls): 2,490 m<sup>2</sup> (26,800 ft<sup>2</sup>)  
SECOND FLOOR AREA: 95 m<sup>2</sup> (1,023 ft<sup>2</sup>)  
BUILDING HEIGHT: 2 STOREYS  
BUILDING FACING (# OF) STREETS: 2 STREETS  
FIREWALL: YES - 2 x SEPARATE AREAS EACH 371.5 m<sup>2</sup> (4,000 ft<sup>2</sup>)


3.1.17 OCCUPANT LOAD: 490 PERSONS

**SECTION 3.2 - BUILDING FIRE SAFETY**

3.2.2.18 MINOR CHANGES TO EXISTING BUILDING - GROUP E:  
SPRINKLERS: NOT REQUIRED  
CONSTRUCTION: COMBUSTIBLE (C.C.) or NON COMBUSTIBLE (N.C.)  
FLOOR ASSEMBLIES: 45 min FS if C.C.  
LOAD BEARING SUPPORTS: = 45 min FRR or N.C.

**3.2.5 - PROVISIONS FOR FIREFIGHTING**

3.2.5.5 ACCESS ROUTES PROVIDED

**SECTION 3.3 - SAFETY WITHIN FLOOR AREAS**

3.3.5.5 STORAGE GARAGES REQUIRE 1.5 hr FIRE SEPARATION FROM ADJACENT OCCUPANCIES

**SECTION 3.7 - HEALTH REQUIREMENTS**

3.7.2.2.B EXISTING 1 MALE AND 1 FEMALE WATER CLOSETS TO REMAIN

**CITY ZONING - EXAMPLE**

EXISTING ZONE:	MAC 3
PROPOSED USE:	NO CHANGE

SITE REQUIREMENTS (CHAPTER 5):	REQUIRED:	PROVIDED:
MINIMUM LOT AREA	500.0m <sup>2</sup>	3,513 m <sup>2</sup>
MINIMUM FRONTAGE	15.0m	EXISTING
MINIMUM FRONT YARD SETBACK	6.0m	EXISTING
MINIMUM REAR YARD SETBACK	5.0m	EXISTING
MINIMUM SINGLE SIDE YARD SETBACK	1/4 WALL - MAX 6m	2.0m
MAXIMUM SITE COVERAGE	40.0%	23.1%
MAXIMUM FLOOR AREA RATIO	3.00	23.1%
MAXIMUM BUILDING HEIGHT	13.0m	8.7m

**ADDITIONAL SITE NOTES (CHAPTERS 6-10):**

- SIDE YARD REDUCTION
- AQUIFER OVERLAY ZONE

PARKING REQUIREMENTS (CHAPTER 14):	NO CHANGE:	PROVIDED:
EXISTING PARKING (1 PER SUITE)	-	-
EXISTING ENCLOSED PARKING	-	-
NEW RESIDENTIAL (1 PER SUITE)	-	-
TOTALS:	-	-
BARRIER-FREE PARKING STALLS (2%):	-	-
LOADING SPACES:	-	-

LANDSCAPING REQUIREMENTS (CHAPTER 15):	NO CHANGE:	PROVIDED:
MINIMUM SITE LANDSCAPING (5%)	-	-
TREES (1/40 m <sup>2</sup> )	-	-
SHRUBS (1/20 m <sup>2</sup> )	-	-
PERIMETER LANDSCAPING	-	-
INTERIOR LANDSCAPING (10%)	-	-
INTERIOR TREES (1/40 m <sup>2</sup> )	-	-
INTERIOR SHRUBS (1/20 m <sup>2</sup> )	-	-

LANDSCAPING PLANT LIST

**SITE DRAINAGE CALCULATIONS**

EXISTING BUILDINGS - NO CHANGE


A	ISSUED FOR PERMIT	15-06-25
REV.	DESCRIPTION	DATE

DRAWING TITLE  
**CODE ANALYSIS**

PROJECT  
**VISIONS ELECTRONICS  
VICTORIA AVENUE EAST  
PROPERTY UPGRADES**  
2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-06-24	A

PROJECT NO.	DRAWING NO.
20150053	A0.1



**DIVISION 6 - WOOD & PLASTICS**

- 6.1 GENERAL**  
 1. GENERAL SPECIFICATIONS TO CONFORM TO NATIONAL BUILDING CODE (LATEST EDITION) AND CAN/CSA-086-01 (R2006) 'ENGINEERING DESIGN IN WOOD'.  
 2. ROOF TRUSSES AND FLOOR TRUSSES TO BE DESIGNED AND FABRICATED IN ACCORDANCE WITH CAN/CSA-086-01 (R2006) PREFABRICATED TRUSSES TO PROFILES, DIMENSIONS AND LOADS SHOWN ON DRAWINGS. TRUSS SUPPLIER TO DESIGN TRUSSES IN ACCORDANCE WITH PART 4 OF NBC OF CANADA TO LOADS NOTED. PROVIDE SHOP DRAWINGS BEARING THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN SASKATCHEWAN.  
 3. TRUSS SUPPLIER TO SIZE AND PROVIDE ALL REQUIRED CONNECTIONS, INCLUDING HANGERS AND "HURRICANE CLIPS" U.N.O.  
 4. MISCELLANEOUS FRAMING, BLOCKING, NAILING STRIPS (NON LOAD BEARING) TO BE MINIMUM "CONSTRUCTION GRADE" SPRUCE, PINE, OR FUR.  
 5. RELATED FASTENERS INCLUDING NAILS, SCREWS, STAPLES, NUTS, BOLTS, AND WASHERS SIZED TO SUIT INTENDED APPLICATION. MIN STANDARD SIZE CSA B111.  
 6. PROVIDE BLOCKING, NAILING STRIPS AS REQUIRED FOR SUPPORT OF WALL HUNG ITEMS, ETC.  
 7. ALL NAILING PATTERNS AND NAILS TO BE IN ACCORDANCE WITH PART 9 OF THE NATIONAL BUILDING CODE OF CANADA, U.N.O.  
 8. ALL CONNECTIONS IN ACCORDANCE WITH NATIONAL BUILDING CODE OF CANADA, PART 4 U.N.O.

- 6.2 SHEATHING**  
 1. ROOF SHEATHING TO BE MINIMUM 12.7mm PLYWOOD CONFORMING TO CSA 0121, CSA 0151, OR 15.5mm OSB CONFORMING TO CSA 0452 TYPE 1 RATED GRADE C8. CSA 0325 PANEL MARK FOR BOTH MATERIALS 2R40.  
 2. WALL SHEATHING TO BE 9.5mm D-FIR PLYWOOD. SHEATHING NAILING PATTERN TO BE 150mm EDGE NAILING AND 300mm FIELD NAILING UNO.  
 3. SUBFLOOR TO BE 19.1mm TONGUE AND GROOVE SPRUCE PLYWOOD UNLESS NOTED OTHERWISE ON THE DRAWINGS. SUBFLOOR TO BE NAILED AND GLUED.

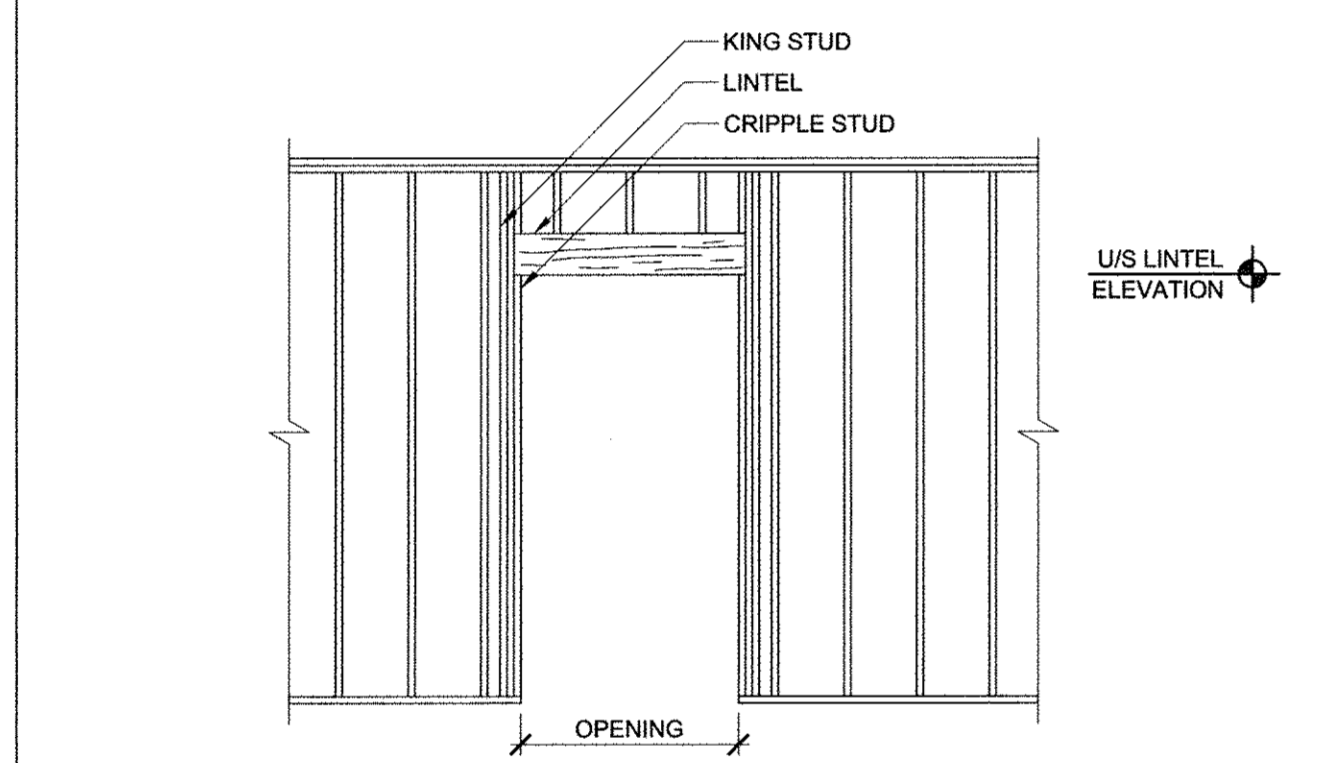
- 6.3 STUDS AND DIMENSIONAL LUMBER**  
 1. MINIMUM SPF #2 OR BETTER

- 6.4 LVL'S**  
 1. LVL'S TO BE EQUAL TO GANG-LAM 2560 B-2.0E BY LOUISIANA PACIFIC.

- 6.5 BLOCKING**  
 1. CO-ORDINATE WITH OTHER TRADES. PROVIDE BLOCKING WHERE REQUIRED.  
 2. PROVIDE BLOCKING AT 1200mm o.c. ON ALL LOAD BEARING WALLS.  
 3. BLOCKING TO BE MINIMUM SPF NO.3 OR BETTER.

- 6.6 LINTELS**  
 1. 2 PLY 38x235 DOUGLAS FIR #2 OR BETTER U.N.O. COMPLETE WITH 1 CRIPPLE AND 1 KING STUD EACH SIDE. CRIPPLES AND KING STUDS TO MATCH WALL.

TYPICAL WALL OPENINGS  
 SEE ARCHITECTURAL FOR SIZE & LOCATIONS OF WINDOWS / DOORS



- 6.7 TIMBER**  
 1. TIMBER FRAMING - DOUGLAS FIR #2 OR BETTER.

- 6.8 FINISH CARPENTRY/CUSTOM MILLWORK**  
 1. FABRICATE CABINETS TO AWMAC (1998) STANDARDS; CUSTOM GRADE.  
 2. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO FABRICATION/INSTALLATION.  
 3. SCRIBE COUNTER TOPS/SPLASH BACKS TO ADJACENT WALLS.  
 4. SEAL ALL LOCATIONS WHERE MILLWORK UNITS MEET WALLS, AND WHERE BACK SPLASH ABUTS COUNTERTOPS; SEALANT MUST BE CLEAR TYPE, OR PAINTABLE.  
 5. TYPICAL CABINET CONSTRUCTION (UNLESS NOTED OR DETAILED):  
 1. COUNTERTOPS/NOSING/SPLASH: PLASTIC LAMINATE FINISH ON 19.1mm MDF; 38mm NOSING THICKNESS; BACK SPLASH 75mm HIGH - SEAL AT TOP EDGE TO WALL SURFACE.  
 2. BASE CABINETS: 19.1mm MDG GABLES; PLASTIC LAMINATE FINISHED EDGES AND EXPOSED FACES; WHITE INTERIORS-PREDRILLED FOR SHELF SUPPORT (VERTICAL METAL STANDARDS WHERE NOTED); 6.1mm PRE-FINISH. HARDBOARD BACK TO MATCH GABLES; RECESSED.  
 3. CABINET DOORS AND DRAWER FRONTS: PLASTIC LAMINATE FINISHED FACES AND EDGES; 19.1mm MDF CORE.  
 4. DRAWER BODIES: 12.7mm MELAMINE SIDES, SUB-FRONT & BACK C/W EDGING; 6.1mm PRE-FINISHED HARDBOARD BOTTOM. DADO TO SIDES; WHITE FINISH.  
 5. ADJUSTABLE SHELVES: 19.1mm MDF; PLASTIC LAMINATE FINISHED AT EXPOSED LOCATIONS; 19.1mm MELAMINE (WHITE) C/W EDGING AT INTERIOR CABINETS.  
 6. CABINET HARDWARE:  
 1. HINGES: EUROPEAN STYLE; FULLY CONCEALED; SELF CLOSING; ALL METAL; 120 DEGREE OPENING; BLUM OR HETTICH.  
 2. DOOR/DRAWER PULLS: RICHELIEU #459, 100mm D STYLE, 195 BRUSHED NICKEL FINISH.  
 3. DRAWER SLIDES: ROLLER CARRIAGE; FULL EXTENSION SLIDES; 34 KF CAPACITY; MANUFACTURER - BLUM 230 M SELF-CLOSING OR EQUIVALENT.  
 4. ADJUSTABLE SHELF SUPPORTS: 5mm PIN NYLON DESIGN C/W STEEL PIN; FOR INSTALLATION IN PRE-DRILLED HOLES AT 32mm (1 1/4") O.C. IN CABINET SIDE. K & V, HAFELE OR RICHELIEU.  
 5. BUMPERS: TRANSPARENT, SELF-ADHESIVE 2 PER DOOR/DRAWER.  
 6. DOOR/DRAWER LOCKS: NATIONAL LOCK C8053-14A DISC CAM LOCK; 2 KEYS/LOCK.  
 7. WIRING GROMMETS: 2 PIECE; PLASTIC; 58mm (2 1/4") DIA.; HAFELE #429.88.

**DIVISION 7 - THERMAL AND MOISTURE PROTECTION**

- 7.1 GENERAL**  
 1. REFER TO DRAWINGS FOR LOCATION
- 7.2 SHEET VAPOUR RETARDER AND AIR/VAPOUR BARRIER**  
 1. POLYETHYLENE FILM TO CONFORM TO CAN/CGSB-51.34  
 2. JOINT SEALING TAPE TO BE AIR RESISTANT PRESSURE SENSITIVE ADHESIVE TAPE EQUAL TO 3M CONTRACTOR'S TAPE.  
 3. INSTALL SHEET VAPOUR RETARDER ON WARM SIDE OF EXTERIOR WALL AND CEILING ASSEMBLIES PRIOR TO INSTALLATION OF GYPSUM BOARD TO FORM CONTINUOUS RETARDER.  
 4. AIR BARRIER TO BE INSPECTED FOR CONTINUITY. REPAIR ALL PUNCTURES AND TEARS WITH SEALING TAPE BEFORE WORK IS CONCEALED.  
 5. SEAL ALL LAP JOINTS OF AIR BARRIER WITH ACOUSTICAL SEALANT. ENSURE NO GAPS EXIST IN THE SEALANT BEADS. ALL JOINTS TO BE AT WALL STUDS OR CEILING FRAMING MEMBERS TO PROVIDE SOLID BACKING. STAPLE ALL JOINTS THROUGH ACOUSTICAL SEALANT.  
 6. PROVIDE A CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT TOP AND BOTTOM PLATES OF ALL STUD WALLS.  
 7. SEAL ALL ELECTRICAL PENETRATIONS THROUGH THE AIR BARRIER.

- 7.3 RIGID INSULATION**  
 1. EXTRUDED POLYSTYRENE TO CONFORM TO CAN/CGSB-51.40.  
 2. FOR EXPANDED POLYSTYRENE INSULATION - REFER TO DIVISION 7 - EXTERIOR INSULATED FINISHING SYSTEMS.  
 3. ADHESIVES TO CONFORM TO CGSB-71-CP-24M.  
 4. WHEN REQUIRED, PROVIDE IMPALE TYPE MECHANICAL FASTENERS WITH MINIMUM 25mm DIAMETER LOCKING WASHER.  
 5. ENSURE ALL SUBSTRATES ARE CLEAN AND FREE OF DEBRIS PRIOR TO INSTALLATION OF EXTRUDED POLYSTYRENE INSULATION.  
 6. INSTALL INSULATION IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS U.N.O.  
 7. WHERE INSULATION ACTS AS AN AIR BARRIER, ALL JOINTS ARE TO BE SEALED. SEAL SHEET POLYETHYLENE AIR BARRIER TO INSULATION TO FORM A CONTINUOUS BARRIER.  
 8. SECURE RIGID INSULATION TO FOUNDATION WHERE INDICATED ON DRAWINGS.

- 7.4 THERMAL BATT INSULATION**  
 1. FRICTION FIT MINERAL FIBRE BATT INSULATION TO CONFORM TO CSA-A101  
 2. FOR THICKNESS, LOCATION AND RSI VALUE, REFER TO DRAWINGS.  
 3. CUT AND TRIM BATTS NEATLY TO FIT SPACES.  
 4. DO NOT COMPRESS INSULATION.

- 7.5 SOUND ATTENUATING BATT INSULATION**  
 1. SOUND ATTENUATING BATT INSULATION TO BE ROCK WOOL FIBRE FRICTION FIT  
 2. FOR THICKNESS AND LOCATION, REFER TO DRAWINGS.  
 3. CUT AND TRIM BATTS NEATLY TO FIT SPACES.  
 4. DO NOT COMPRESS INSULATION.

- 7.6 METAL FLASHING AND TRIM**  
 1. ALL METAL FLASHING TO BE 24ga PRE-FINISHED AS PER FINISH SCHEDULE.  
 2. ALL FLASHING SHALL HAVE POSITIVE DRAINAGE AWAY FROM BUILDING ASSEMBLIES. PROFILE TO MATCH DRAWINGS  
 3. INSTALL FLASHINGS IN ACCORDANCE WITH THE DRAWINGS  
 4. ALLOW FOR EXPANSION AT ALL JOINTS. LAP JOINTS MINIMUM OF 100mm.  
 5. USE CONCEALED FASTENERS EXCEPT WHERE APPROVED BEFORE INSTALLATION

- 7.7 SEALANTS AND CAULKING**  
 1. CLEAN ALL SURFACES THAT ARE TO RECEIVE SEALANT.  
 2. INSTALL SEALANT AND BACKING RODS AT ALL LOCATIONS INDICATED ON DRAWINGS. BACKING RODS ARE TO BE POLYETHYLENE, URETHANE, NEOPRENE OR VINYL.  
 3. APPLY ALL SEALANTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. CLEAN ADJACENT SURFACES IMMEDIATELY AND LEAVE WORK NEAT AND CLEAN.

- 7.10 SOFFITS, FASCIA, GUTTERS AND DOWNSPOUTS**  
 1. PRE-FINISHED SOFFITS AND FASCIA TO CONFORM TO CAN/CGSB 93.2M91.  
 2. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOURS.  
 3. INSTALL SOFFITS, FASCIA, GUTTERS AND DOWNSPOUTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
 4. SLOPE GUTTERS A MINIMUM OF 1/240 (0.5%).  
 5. SET SPLASH PADS UNDER DOWNSPOUTS OR PROVIDE DIVERTER PIPES TO PROVIDE DRAINAGE AWAY FROM FOUNDATION.  
 6. REFER TO DRAWINGS FOR SIZE AND NUMBER OF GUTTER AND DOWNSPOUTS.

**DIVISION 8 - DOORS & WINDOWS**

- 8.1 GENERAL**  
 1. REFER TO DOOR AND WINDOW SCHEDULES.  
 2. PROVIDE ULC LABELS TO DOORS AND FRAMES AS NOTED ON DOOR SCHEDULE.  
 3. SUBMIT SHOP DRAWINGS TO CONSULTANT FOR REVIEW PRIOR TO ORDERING.  
 4. PROVIDE BLOCKING ON BOTH SIDES OF THE JAMB FRAMING AT LOCK HEIGHT OF ALL EXTERIOR DOORS TO RESIST SPREADING BY FORCE.  
 5. CONTRACTOR TO CONFIRM THE DIMENSIONS OF ALL OPENINGS PRIOR TO ORDERING UNITS.  
 6. INSTALL ALL UNITS IN ACCORDANCE WITH THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATIONS.  
 7. BE SURE TO MAINTAIN A CONTINUOUS AIR/VAPOUR BARRIER AS DETAILED ON THE DRAWINGS. PROVIDE REQUIRED FLASHINGS, TRIMS, AND CAULKING REQUIRED TO MAINTAIN A WATERPROOF BUILDING ENVELOPE.

- 8.2 WOOD DOORS/FRAMES**  
 1. WOOD DOORS:  
 1. MATERIALS TO CSA 0132.2 SERIES 90 /CSA 0188; FABRICATE TO AWMAC (1998) STANDARDS - CUSTOM GRADE  
 2. MEDIUM DENSITY PARTICLE BOARD CORE; FACE FINISH - TO MATCH EXISTING STAIN GRADE; STILES 38mm AND RAILS 32mm SOLID WOOD; 48mm TOTAL THICKNESS.  
 2. WOOD FRAMES:  
 1. FABRICATE IN ACCORDANCE WITH AWMAC STANDARD (1998); ARTICLE 501.3 - INTERIOR FRAMES/TRIM; PREMIUM GRADE; SOLID OR VENEERED MATERIAL. TO MATCH EXISTING DOORS.  
 2. JAMBS AND HEAD 19mm x WALL THICKNESS; APPLIED STOPS/REVEALS AS DETAILED.

- 8.3 METAL DOORS/FRAMES**  
 1. HOLLOW METAL DOORS:  
 1. FABRICATE IN ACCORDANCE WITH NFPA-80, CURRENT EDITION.  
 2. DOORS: ZINC ALLOY COATED STEEL, ZF75 (A25); SWING TYPE, FLUSH; 18 GAUGE; WELDED SEAMS; REINFORCED & TEMPLATED FOR HARDWARE; 48mm TOTAL THICKNESS.  
 2. PRESSED STEEL FRAMES:  
 1. FABRICATE IN ACCORDANCE WITH NFPA-80, CURRENT EDITION; PROVIDE ULC LABELS AS SCHEDULED.  
 2. FRAMES: ZINC ALLOY COATED STEEL, ZF75 (A25); MITRED CORNERS; FULLY WELDED JOINTS; 18 GAUGE MATERIAL. MORTISE & REINFORCE FRAMES TO RECEIVE HARDWARE.  
 3. PROVIDE FOR APPROPRIATE ANCHORAGE TO WALL AND FLOOR CONSTRUCTION. PROVIDE THREE (3) RUBBER SILENCERS PER SINGLE OPENING.

**8.4 DOOR HARDWARE**

1. HARDWARE ITEMS:  
 1. ALL HARDWARE TO BE MINIMUM STANDARD DUTY COMMERCIAL GRADE U.N.O.  
 2. REFER TO DOOR HARDWARE SCHEDULE.

**8.5 ALUMINUM DOORS / WINDOWS / FRAMES / HARDWARE**

1. ALUMINUM DOORS / WINDOW FRAMES TO BE MINIMALLY BROKEN UNITS; ANODIZED FINISH. REFER TO SCHEDULES FOR COLOUR.  
 2. DOOR HARDWARE: REFER TO DOOR HARDWARE SCHEDULE.  
 3. ELECTRONIC POWER ASSISTED DOOR OPENER: SERIES 4000 LE EXTRA HEAVY-DUTY LOW-ENERGY OPERATOR MANUFACTURED BY HORTON AUTOMATICS C/W PUSH PLATES: 114mm ROUND PART ACE-625 & 44.5mm x 120mm JAMB STYLE PART ACE-615. CONNECTION AND WIRING BY DIVISION 16, REFER TO ELECTRICAL DRAWINGS TO DETERMINE EXACT EXTENT OF WORK REQUIRED. REFER TO DRAWINGS FOR NUMBER AND LOCATIONS.  
 4. GLAZING: ALL WINDOWS TO BE DOUBLE GLAZED, ARGON FILLED WITH LOW-E COATING UNLESS NOTED OTHERWISE.

**DIVISION 9 - FINISHES**

- 9.1 GENERAL**  
 1. NEW PARTITIONS TO EXTEND TO 150mm ABOVE THE NEW CEILING GRID UNLESS OTHERWISE SCHEDULED OR NOTED; PROVIDE MILLOR EDGING AT TOP OF C/WB & 20mm REVEAL TO MATCH. EXTEND PARTITIONS FULL HEIGHT TO EXISTING STRUCTURE AT DEMISING WALLS.  
 2. PROVIDE ALL BRACKETS, ACCESSORIES, SUPPORTS, OR BLOCKING WITHIN WALLS FOR MILLWORK OR OTHER WALL HUNG ITEMS AS DIRECTED BY THE CONSTRUCTION MANAGER.

- 9.2 GYPSUM BOARD**  
 1. GYPSUM BOARD INSTALLATION TO CSA A82.27, A82.30 & A82.31.  
 2. TAPE, FILL AND SAND GYPSUM BOARD IN PREPARATION TO RECEIVE INTERIOR FINISHES.  
 3. LEAVE FINISHED WORK SMOOTH, SEAMLESS, PLUMB, TRUE AND FLUSH WITH SQUARE, NEAT CORNERS.  
 4. PROVIDE FIRE RATED TYPE 'X' GYPSUM BOARD AT LOCATIONS AS DETAILED.  
 5. MAINTAIN CONTINUITY OF REQUIRED FIRE SEPARATIONS / RATINGS.  
 6. PROVIDE 3mm VERTICAL VINYL CONSTRUCTION / MOVEMENT JOINT EVERY 9.0m o.c. MAX

**9.4 FLOORING BASE / ACCESSORIES**

1. PREPARE EXISTING SLAB IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS FOR TYPE OF FLOORING OVER.  
 1. PROVIDE SHIM/COAT TOPPING TO AREAS AS REQUIRED TO PROVIDE SMOOTH TRANSITIONS FOR INSTALLATION OF FLOORING MATERIALS. IF CEMENTITIONS REPAIR MATERIAL IS USED, SURFACES ARE TO BE CLEANED WITH A STIFF BROOM, PRE-WETTED AND TOPPING MATERIAL IS TO BE PLACED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS (I.E. USE OF BONDING AGENTS, MIXING, ETC.)  
 2. CARPET: INSTALL GLUEDOWN CARPET IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION USING NON-RELEASE TYPE ADHESIVE. ALL CARPET NAP TO RUN IN SAME DIRECTION IN ANY GIVEN ROOM / AREA.  
 3. RUBBER BASE: APPLY USING ADHESIVE RECOMMENDED BY MANUFACTURER'S; APPLY TIGHTLY TO WALL SURFACES; WRAP TIGHT FIT EXTERNAL CORNERS.  
 4. INTERSECT STRIPS: INSTALL TRANSITION STRIP EDGING WHERE FLOORING TYPES TERMINATE / INTERSECT  
 5. VINYL COMPOSITE TILE: APPLY FINISH WITH PROTECTIVE COATING OVER TILE SURFACE AS PER MANUFACTURER'S INSTRUCTIONS PRIOR TO TURN OVER OF SPACE.  
 6. PROVIDE 3% EXTRA VINYL COMPOSITE TILE, PORCELAIN TILE AND RUBBER BASE OF EACH COLOUR FOR OWNERS MAINTENANCE PURPOSES.

**9.5 CEILING**

1. GRID SYSTEM: 12.5mm OR 22mm WHITE CROSS T's AND MAIN T's; 600mm x 1200mm AND 600mm x 600mm GRID SUSPENDED; MANUFACTURER AS RECOMMENDED BY PANEL SUPPLIER. MOUNT TO HEIGHTS SHOWN. REFER TO FINISH SCHEDULE.  
 2. ACOUSTIC PANELS: 600mm x 1200mm x 19mm AND 600mm x 600mm x 19mm; PATTERN: REFER TO FINISH SCHEDULE; COLOUR: STANDARD WHITE U.N.O. OBTAIN APPROVAL FOR EQUIVALENT FROM CONSULTANT PRIOR TO SUBMITTING PRICING.  
 3. CO-ORDINATE WITH MECHANICAL AND ELECTRICAL FOR LOCATION OF LIGHT FIXTURES AND DIFFUSERS.  
 4. PROVIDE ONE CARTON OF EXTRA TILE FOR OWNERS MAINTENANCE PURPOSES.

**9.6 PAINTING**

1. GENERAL  
 1. REFER TO SCHEDULES AND DETAILS FOR EXTENT OF PAINTING / STAINING.  
 2. REFER TO FINISHES LIST FOR COLOURS / MANUFACTURERS.  
 3. SUBMIT COLOUR SAMPLES TO CONSULTANT FOR APPROVAL PRIOR TO PAINTING / STAINING ANY SURFACE.  
 4. TOP AND BOTTOM OF DOORS ARE TO BE PAINTED / STAINED AS SPECIFIED FOR DOOR FACES.  
 PAINTING / STAINING REQUIREMENTS:  
 1. PAINTED METAL FRAMES / DOORS / MISC. METAL ITEMS ETC.  
 2.1.1. 1 COAT PRIMER  
 2.1.2. 2 COATS SEMI-GLOSS ACRYLIC LATEX.  
 2. PAINTED WOOD DOORS / MISC WOOD ITEMS / MILLWORK ITEMS ETC.  
 2.2.1. 1 COAT PRIMER  
 2.2.2. 2 COATS SEMI-GLOSS ACRYLIC LATEX.  
 3. STAINED WOOD SURFACES  
 2.3.1. 1 COAT STAIN / CLEAR FINISH  
 4. GYPSUM WALLBOARD:  
 2.4.1. 1 COAT LATEX PRIMER TO 1-GP-119M  
 2.4.2. 2 COATS ACRYLIC LATEX; EGGSHELL FINISH  
 5. STEEL  
 2.5.1. PAINT ALL STEEL EXPOSED TO ELEMENTS WITH 2 COATS MARINE PAINT.  
 6. VINYL WALL COVERINGS  
 7. PRIME AND SEAL SUBSTRATE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPLY ADHESIVE AND INSTALL WALL VINYL IN STRICT ACCORDANCE WITH INSTRUCTIONS OVER PRIMED SURFACES. INSTALL FABRIC SECURE, SMOOTH, CLEAN, WITHOUT WRINKLES, GAPS OR OVERLAPS.  
 8. PROVIDE 2% EXTRA MATERIAL FOR OWNERS' MAINTENANCE PURPOSES.

**DIVISION 15 - MECHANICAL**

- 15.1 GENERAL**  
 1. MECHANICAL DESIGN BY MECHANICAL CONTRACTOR TO MEET ALL APPLICABLE CSA, ASTM, AND ASHRAE STANDARDS.  
 2. SELECTION OF MECHANICAL SYSTEMS IS SUBJECT TO CONSULTANT'S APPROVAL. SUBMIT PRODUCT INFORMATION PRIOR TO ORDERING MATERIALS.  
 3. MECHANICAL CONTRACTOR TO COORDINATE DESIGN LOADS WITH ELECTRICAL CONTRACTOR.  
 4. ALL MECHANICAL PENETRATIONS THROUGH THE BUILDING ENVELOPE AND/OR THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED WITH APPROVED MATERIALS.

**DIVISION 16 - ELECTRICAL**

- 16.1 GENERAL**  
 1. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR. DESIGN SHALL MEET ALL APPLICABLE CSA, ASTM, AND IEEE STANDARDS.  
 2. SELECTION OF ELECTRICAL FIXTURES IS SUBJECT TO OWNER'S APPROVAL. SUBMIT PRODUCT INFORMATION TO CONSULTANT BEFORE ORDERING MATERIALS.  
 3. ELECTRICAL CONTRACTOR TO COORDINATE ALL DESIGN LOADS WITH MECHANICAL CONTRACTOR.  
 4. ALL ELECTRICAL PENETRATIONS THROUGH THE BUILDING ENVELOPE AND/OR THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED WITH APPROVED MATERIAL.  
 5. ANY SCHEMATICS, REFLECTED CEILING PLANS, AND/OR ELECTRICAL LAYOUTS PROVIDED ON THE DRAWINGS SHALL NOT BE THE FULL SCOPE OF WORK OF THE ELECTRICAL CONTRACTOR. ELECTRICAL DESIGN IS TO MEET ALL CODES, STANDARDS AND IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY OTHER ELEMENTS REASONABLY REQUIRED TO MEET THE ABOVE.

**SURFACE WORKS NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BARRICADING, SIGNING AND TRAFFIC CONTROL IN ACCORDANCE WITH THE MINISTRY OF HIGHWAYS INFRASTRUCTURE SPECIFICATIONS.  
 2. PLAN AND EXECUTE WORK ON MAJOR ARTERIES TO PROVIDE FOR A REASONABLE MINIMUM OF DISRUPTION TO TRAFFIC FLOW.  
 3. PLACE WARNING SIGNS AND BARRICADES TO KEEP TRAFFIC OFF OILED SURFACES.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING FROM DAMAGE AND ADJUSTING ALL EXISTING UNDERGROUND UTILITIES AND SERVICES AND RELATED SURFACE STRUCTURES.  
 5. ALL EXISTING ROADWAYS, DITCHES, CULVERTS AND OTHER SURFACE FEATURES AFFECTED BY THE CONTRACTOR'S OPERATIONS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION UPON COMPLETION OF THE WORK.  
 6. ALL CONCRETE SHALL BE COMPOSED OF TYPE HS HIGH SULFATE RESILIENT CEMENT, FINE AND COURSE AGGREGATE, WATER AND ENTRAINED AIR. THE CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 30 MPa AFTER 28 DAYS, WITH AIR CONTENT OF 4 TO 6 % BY VOLUME. SLUMP SHALL BE LESS THAN 75MM FOR FORMED METHOD AND LESS THAN 25MM FOR MACHINE PLACED. ALL MATERIALS AND TESTING PROCEDURES SHALL BE IN ACCORDANCE WITH CSA A23.1/A23.2-09.  
 7. TRANSVERSE CONTRACTION JOINTS SHALL BE PLACED EVERY 3M, ALTERNATING WITH SURFACE JOINTS PLACED EVERY 3M. LONGITUDINAL SURFACE JOINTS SHALL BE PLACED ALONG THE INTERFACE BETWEEN THE WALK AND CURB AND GUTTER PORTION OF A MONOLITHIC STRUCTURE, WHERE APPLICABLE. EXPANSION JOINTS SHALL BE PLACED AROUND STRUCTURES WITHIN THE CONCRETE WORK, AND CONSTRUCTION JOINTS SHALL BE MADE WHEREVER OR WHENEVER THERE WILL BE A 30 MINUTE OR GREATER INTERRUPTION OF PLACEMENT OPERATIONS. SUCH JOINTS SHALL CONTAIN ONE NO. 10M REINFORCING BAR FOR EVERY 300MM OF WIDTH OF THE STRUCTURE, AND THE BARS SHALL EXTEND A MINIMUM OF 600MM INTO BOTH THE EXISTING AND FUTURE POUR.  
 8. ALL CONCRETE WORK CONSTRUCTED OVER ALL RECENT SERVICE TRENCHES AND ADJACENT TO CATCH BASINS SHALL BE REINFORCED WITH 2 - 10M BARS X 5.0M FOR CURB AND CURB AND SIDEWALK.  
 9. THE CONTRACTOR SHALL BACKFILL IN FRONT OR ALONG THE FACE OF THE CURB AS SOON AS PRACTICAL AFTER PLACEMENT. THE BACKFILL SHALL BE MECHANICALLY TAMPED TO A MINIMUM DENSITY OF 98% STANDARD PROCTOR DENSITY.  
 10. GRADE, TRIM AND COMPACT SUBGRADE THOROUGHLY TO 98% STANDARD PROCTOR DENSITY TO SPECIFIED GRADE AND CROSS-SECTION PRIOR TO PLACEMENT OF GRANULAR MATERIALS.  
 11. ALL GEOTEXTILE SHALL BE MEDIUM WEIGHT NON-WOVEN GEOTEXTILE NILEX 4512, GEOTEX 1201, OR APPROVED EQUIVALENT. ALL GEO-GRID SHALL BE TENSAR TX-5 AND INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS. ALL GEOTEXTILE AND GEO-GRID ROLL SHALL BE LABELED OR TAGGED TO PROVIDE PRODUCT IDENTIFICATION SUFFICIENT FOR INVENTORY AND QUALITY CONTROL PURPOSES.  
 12. GRANULAR BASE AND SUBBASE MATERIALS SHALL BE TO THE TYPE INDICATED ON THE DRAWINGS AND CORRESPONDING GRADUATION AS DEFINED BY THE SASKATCHEWAN HIGHWAYS AND TRANSPORTATION. SPREAD IN COMPACTED LIFTS NOT EXCEEDING 150MM IN HEIGHT PER LIFT TO A MINIMUM DENSITY OF 100% OF STANDARD PROCTOR DENSITY. FINISHED SURFACE SHALL BE TRUE TO SPECIFIED GRADES AND CROSS - SECTIONS.  
 13. HOT MIX ASPHALTIC CONCRETE (HMCA) SHALL CONSIST OF CRUSHED AGGREGATE AND PENETRATION GRADE ASPHALT CEMENT. MAXIMUM AGGREGATE SIZE SHALL BE 16MM. 50 BLOW MARSHAL STABILITY SHALL NOT BE LESS THAN 10 KN; AIR VOID IN TOTAL MIX SHALL BE 3% TO 5%. FLOW INDEX SHALL BE 2 TO 5 MM. ALL MATERIALS SHALL COMPLY WITH THE CITY OF REGINA SPECIFICATIONS (ARTERIAL ROADWAY STANDARD 2329).  
 14. ASPHALT TO BE SPREAD BY SELF-PROPELLED MECHANICAL SPREADER IN COMPACTED LIFTS NOT EXCEEDING 75 MM PER LIFT. FINISHED SURFACE SHALL BE TRUE TO THE REQUIRED PROFILE AND CROSS SECTION.  
 15. THE COMPACTED PAVEMENT SHALL HAVE A DENSITY OF NOT LESS THAN 98% OF LABORATORY TESTED DENSITY.  
 16. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL DEBRIS RESULTING FROM OPERATIONS. SURPLUS MATERIAL AND ALL EQUIPMENT AND TOOLS SHALL BE REMOVED. THE SITE SHALL BE NEATLY GRADED, TRIMMED AND LEFT IN A NEAT AND ORDERLY CONDITION ACCEPTABLE TO THE OWNER AND THE ENGINEER.

**CONSULTANT**

**WALKER PROJECTS**

Consulting Engineers - Project Managers  
 100 - 1621 Abbott Street, Regina, Saskatchewan S4P 2S5  
 Telephone (306) 522-9434 Fax: (306) 522-9431  
 www.walkerprojects.com

**SEALS**



ASSOCIATION OF PROFESSIONAL ENGINEERS OF SASKATCHEWAN  
 WALKER PROJECTS INC.  
 CERTIFICATE OF AUTHORIZATION  
 #C793  
 PERMISSION TO CONSULT HELD BY:  
 DARYL ANDREW #13217 STRUCTURAL



REV.	DESCRIPTION	DATE
A	ISSUED FOR PERMIT	15-07-07

**NOTES / SPECIFICATION**

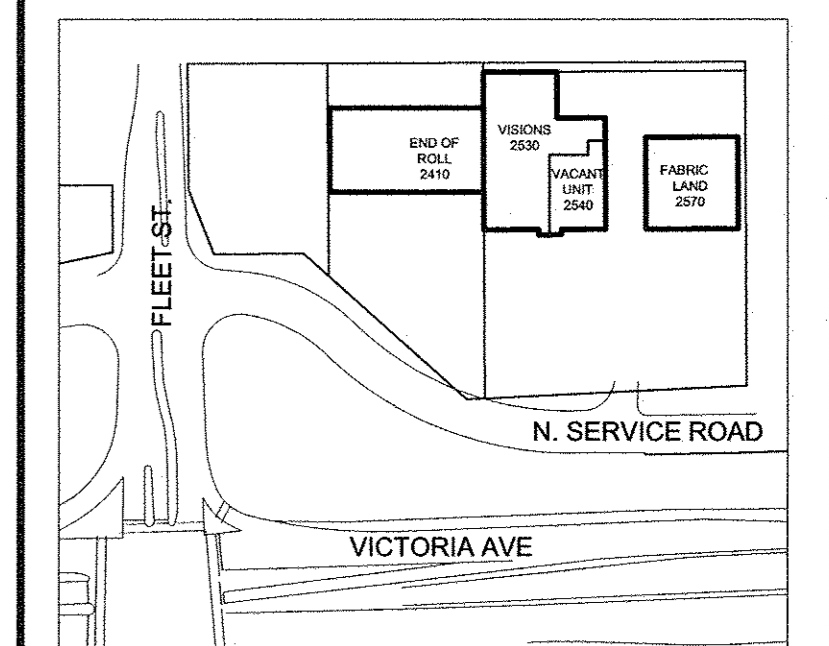
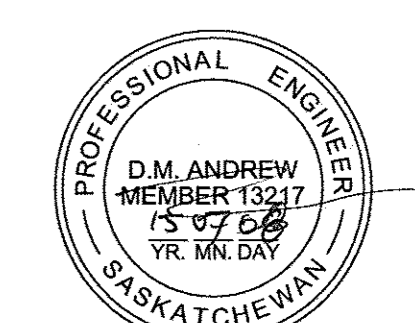
PROJECT  
**VISIONS ELECTRONICS**  
**VICTORIA AVENUE EAST**  
**PROPERTY UPGRADES**  
 2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-06-24	A

PROJECT NO. **20150053** DRAWING NO. **A0.2**





KEY PLAN- FOR LOCATION PURPOSES ONLY 1/18

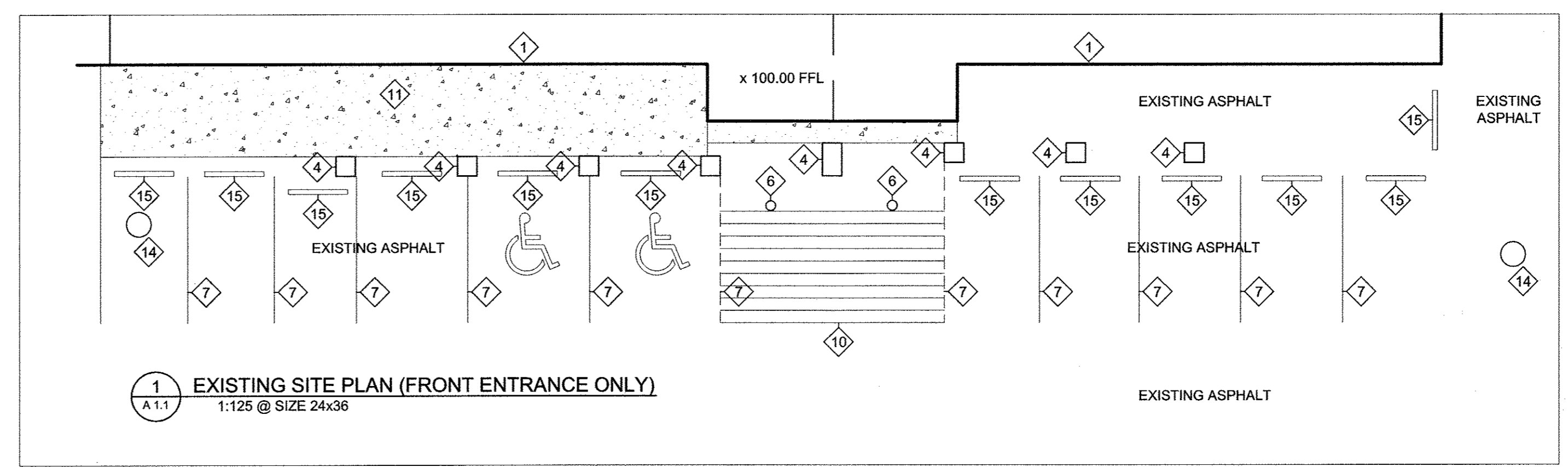

B	MINOR AMENDMENT	15-07-07
A	ISSUED FOR PERMIT	15-06-25
REV	DESCRIPTION	DATE

DRAWING TITLE  
**SITE PLAN**

PROJECT  
**VISIONS ELECTRONICS  
 VICTORIA AVENUE EAST  
 PROPERTY UPGRADES**  
 2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-06-19	B
PROJECT NO.	DRAWING NO.		
20150053	A 1.1		



**1 EXISTING SITE PLAN (FRONT ENTRANCE ONLY)**  
 1:125 @ SIZE 24x36

**LEGEND**

- x 99.95 NEW ELEVATION
- x E.G. EXISTING GRADE ELEVATION

**NOTES:**

- 1 OUTLINE OF EXISTING BUILDING
- 2 EXISTING FIREWALL
- 3 EXISTING DEMISING WALL
- 4 EXISTING COLUMN, BRICK BASE AND PILECAP REMOVED TO BELOW GRADE (SEE ELEVATIONS)
- 5 NEW PILE AND PILECAP (SEE ELEVATIONS)
- 6 EXISTING BOLLARD TO REMAIN
- 7 EXISTING YELLOW LINES TO BE REMOVED
- 8 NEW YELLOW LINES (TYPICAL) TO SUIT NEW ARRANGEMENT
- 9 EXISTING CONCRETE PARKING STOPS (TYPICAL) TO BE RE-POSITIONED TO SUIT NEW PARKING STALLS AND RE-FIXED TO NEW ASPHALT SURFACE
- 10 AREA OF EXISTING YELLOW LINES IN FRONT OF MAIN ENTRANCE TO BE REPAINTED AND EXTENDED TO SUIT NEW ARRANGEMENT
- 11 APPROXIMATE AREA OF EXISTING CONCRETE TO BE REMOVED
- 12 REMOVE EXISTING ASPHALT SPLASHPAD AND REPLACE WITH NEW CONCRETE SPLASHPAD
- 13 NEW CONCRETE SPLASHPAD
- 14 EXISTING MANHOLE TO REMAIN
- 15 EXISTING CONCRETE WHEELSTOP TO BE RE-USED AND FIXED IN NEW POSITION WITH REBAR SECURED INTO ASPHALT

CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.

PROVIDE AND MAINTAIN HOARDING, ELECTRICAL AND FIRE ALARM AND GUARD RAIL TO PROTECT OCCUPANTS, WORKERS AND GUESTS AND AS REQUIRED BY REGULATORY AUTHORITY

RELOCATE ALL ELECTRICAL OUTLETS, DEVICES, OR ANY OTHER ELECTRICAL / MECHANICAL DEVICES ON DEMOLISHED WALLS

PRIOR TO CUTTING NEW OPENINGS ENSURE IT IS CLEAR OF ANY EXISTING SERVICES AND RELOCATE IF NECESSARY

CONFORM TO ALL CODES FOR CONTROL OF DUST, SAFETY OF STRUCTURE AND MATERIALS DURING DEMOLITION

MAKE GOOD ALL FINISHES

REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO THE OWNER / LANDLORD AND ARCHITECT

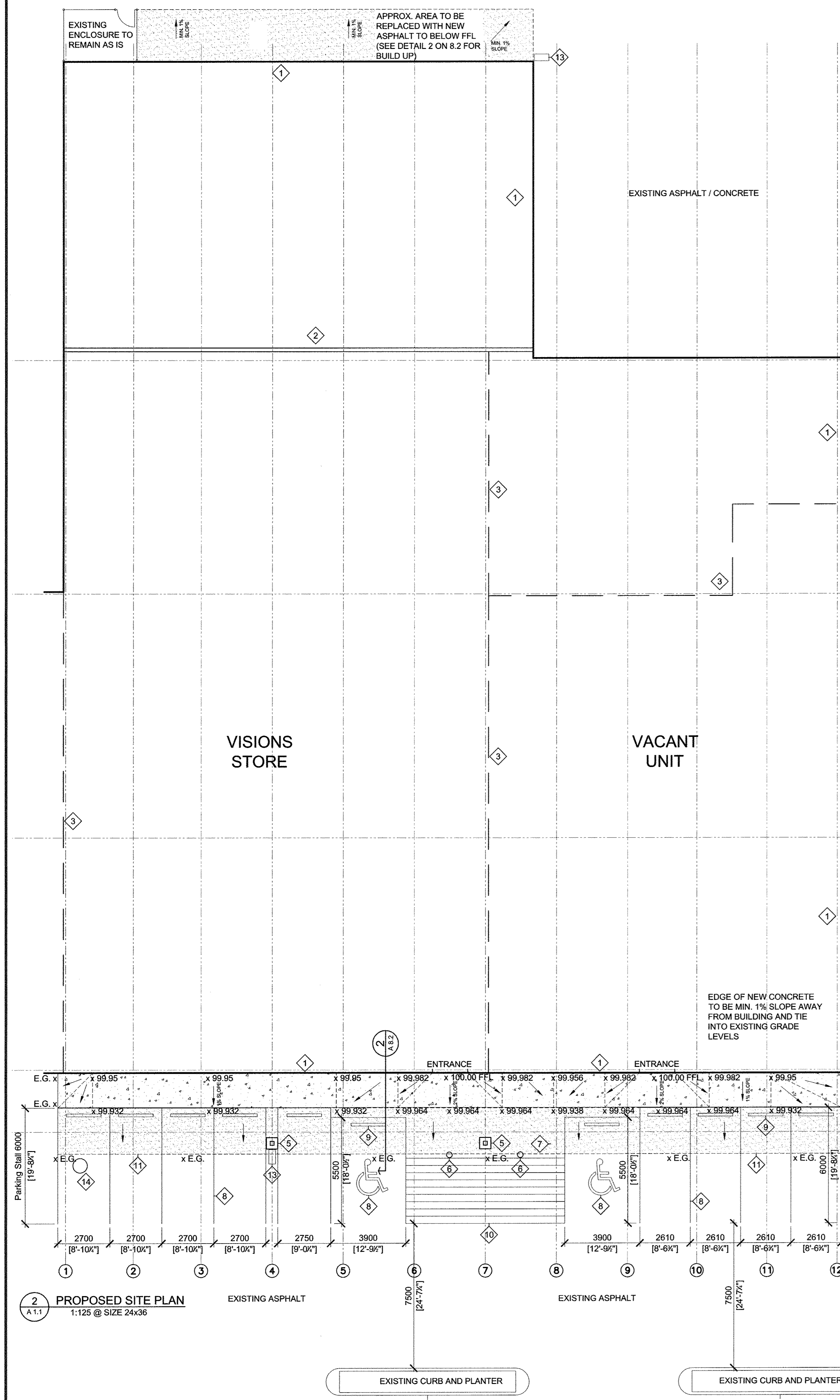
ALL DEMOLISHED MATERIALS NOT FOR RE-USE TO BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY

PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION

DURING DEMOLITION SHOULD ANYTHING UNEXPECTED BE UNCOVERED PLEASE CONTACT CLIENT / ARCHITECT BEFORE PROCEEDING

**GENERAL NOTES:**

IT IS THE INTENT OF THESE DRAWINGS THAT THE AREAS SHOWN IN THE SCOPE OF WORK BE PREPARED FOR NEW RENOVATION BY SELECTIVE DEMOLITION AND REMOVAL OF ITEMS INDICATED. SOME ITEMS WILL REQUIRE CAREFUL REMOVAL, STORAGE AND INVENTORY FOR RE-USING WITHIN THE RENOVATIONS.



**2 PROPOSED SITE PLAN**  
 1:125 @ SIZE 24x36

EXISTING ASPHALT

EXISTING PARKING STALLS REMAIN AS IS

**FABRICLAND STORE  
 (FACADE WORK ONLY.  
 REFER TO ELEVATIONS)**

EXISTING CONCRETE SIDEWALK REMAINS AS IS

EXISTING PARKING STALLS REMAIN AS IS

EXISTING ASPHALT

EXISTING ASPHALT

EXISTING CURB AND PLANTER

EXISTING CURB AND PLANTER

EXISTING ASPHALT / CONCRETE

**VISIONS STORE**

**VACANT UNIT**

EDGE OF NEW CONCRETE TO BE MIN. 1% SLOPE AWAY FROM BUILDING AND TIE INTO EXISTING GRADE LEVELS

APPROX. AREA TO BE REPLACED WITH NEW ASPHALT TO BELOW FFL (SEE DETAIL 2 ON 8.2 FOR BUILD UP)

EXISTING ENCLOSURE TO REMAIN AS IS

MIN. 1% SLOPE

MIN. 1% SLOPE

ENTRANCE

ENTRANCE

NEW CONCRETE SIDEWALK (SEE DETAIL 2 ON 8.2)

APPROX. AREA TO BE REPLACED WITH NEW ASPHALT (SEE DETAIL 2 ON 8.2)

Parking Stall 8000 [19'-0x1]

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CONSULTANT

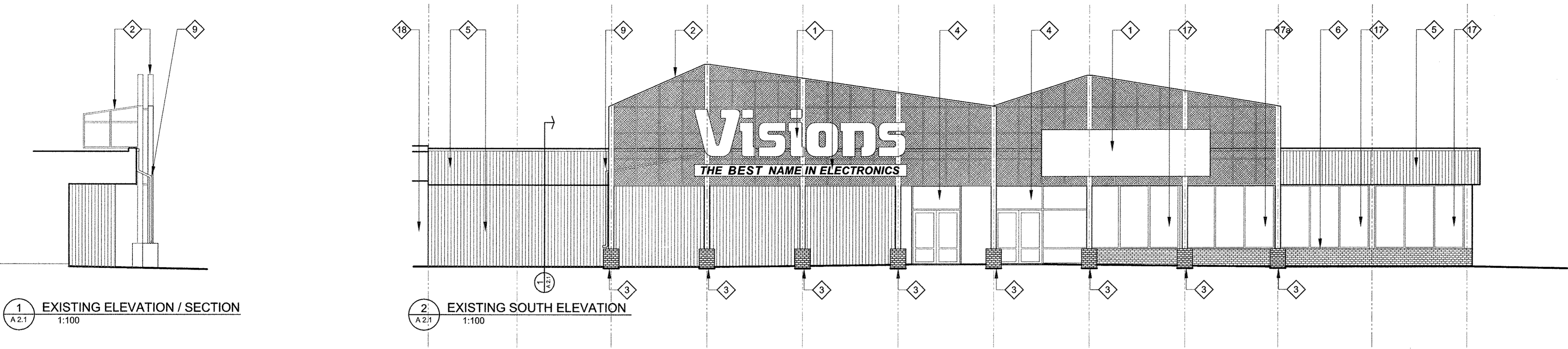
# WALKER PROJECTS

Consulting Engineers · Project Managers  
109 - 1621 Albert Street, Regina, Saskatchewan S4P 2S5  
Telephone: (306) 522-0434 Fax: (306) 522-9431  
www.walkerprojects.com

SEALS

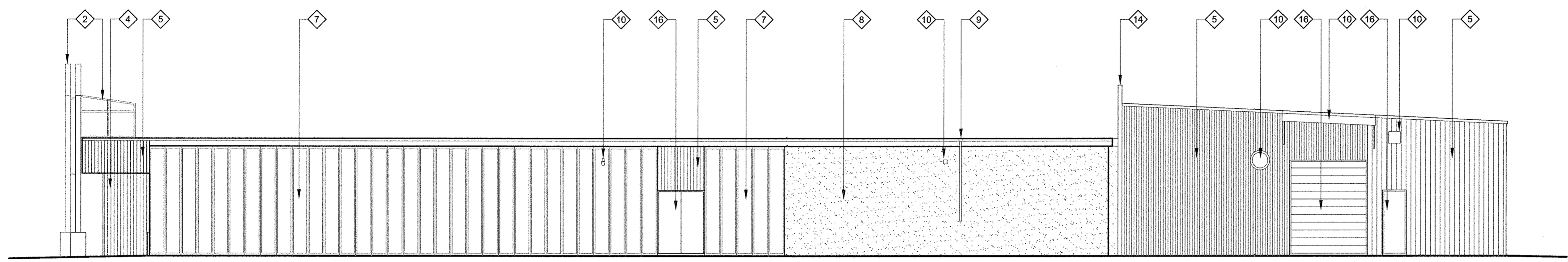


ASSOCIATION OF PROFESSIONAL ENGINEERS  
OF SASKATCHEWAN  
WALKER PROJECTS INC.  
CERTIFICATE OF AUTHORIZATION  
HCIF 93  
PERMISSION TO CONSULT HELD BY:  
DARYL ANDREW #13217 STRUCTURAL

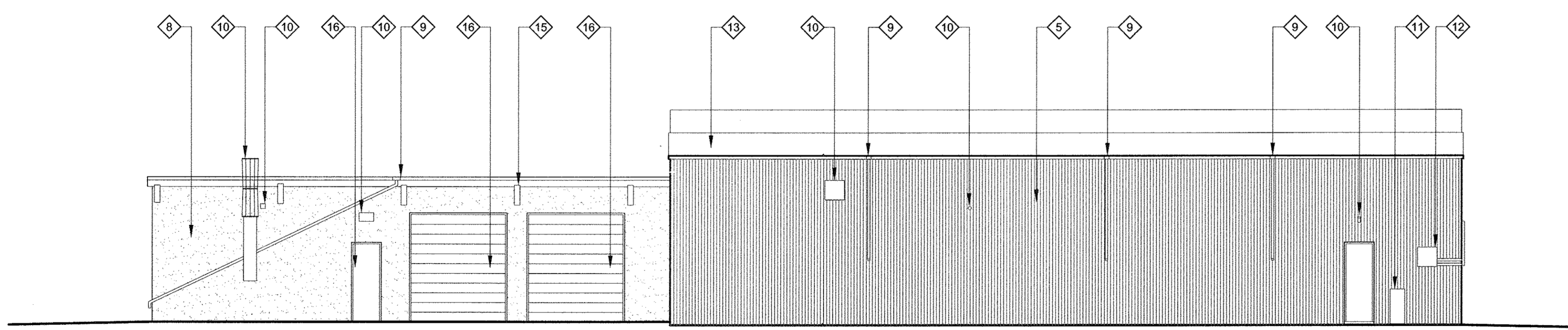


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A 2.1  
1:100

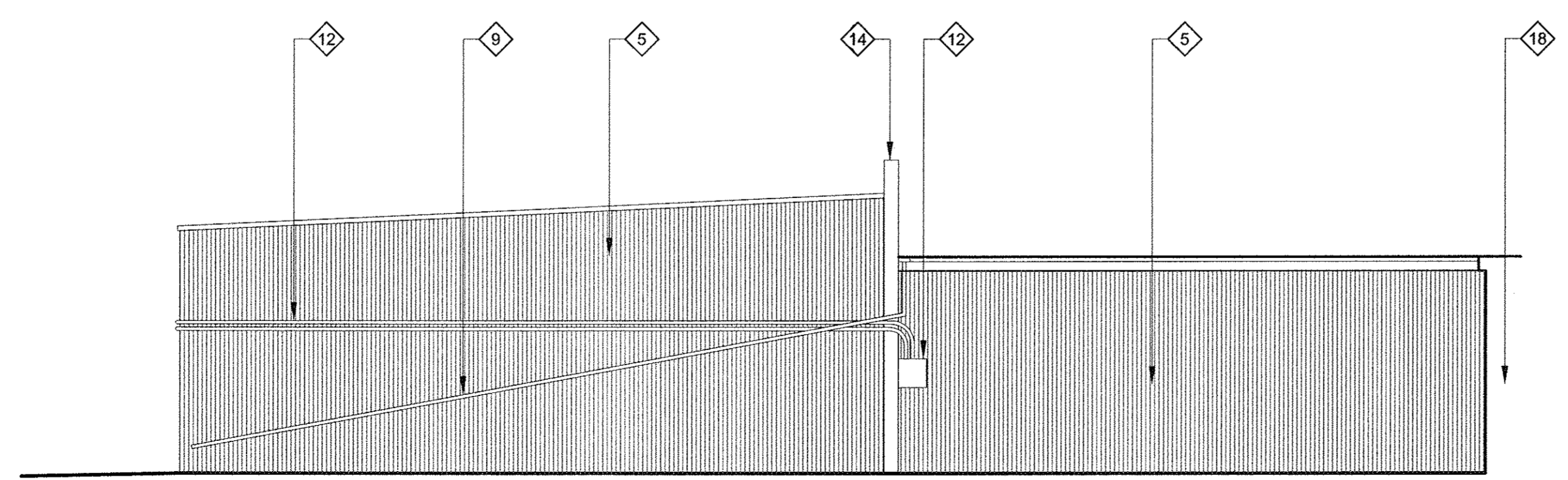
2 EXISTING SOUTH ELEVATION  
A 2.1  
1:100



3 EXISTING EAST ELEVATION  
A 2.1  
1:100



4 EXISTING NORTH ELEVATION  
A 2.1  
1:100



5 EXISTING WEST ELEVATION  
A 2.1  
1:100

### NOTES:

- 1 SIGNAGE TO BE REMOVED AND HANDED TO CLIENT
- 2 METAL STRUCTURE TO BE REMOVED ENTIRELY.
- 3 BRICK BASE TO COLUMNS TO BE DEMOLISHED AND PILE CAP REDUCED TO BELOW GRADE
- 4 ENTRANCE DOORS / SCREEN / VESTIBULE TO BE REMOVED
- 5 INSULATED METAL PANELS TO BE REPLACED
- 6 BRICK BASE TO BE REMOVED
- 7 CONCRETE PANELS TO BE REMOVED
- 8 EXISTING STUCCO TO REMAIN. LOCALISED REMOVAL REQUIRED TO ALLOW FITMENT OF NEW PANELS
- 9 SCUPPER AND DOWNPIPE TO REMAIN BUT ALTERED IN ACCORDANCE WITH PROPOSED ELEVATIONS
- 10 EXISTING FIXTURE TO REMAIN
- 11 EXISTING GAS METER AND PIPEWORK TO REMAIN
- 12 ELECTRICAL PANELS AND CONNECTING CABLES / CONDUIT TO REMAIN
- 13 SLOPED ROOF REMAINS
- 14 FIREWALL REMAINS
- 15 ENDS OF EXISTING GLULAM BEAMS TO REMAIN
- 16 DOORS TO REMAIN
- 17 GLAZING TO REMAIN
- 17a GLAZED PANEL TO BE REMOVED AND SAFELY STORED FOR RE-USE (SEE PROPOSED ELEVATIONS)
- 18 EXISTING NEIGHBORING PROPERTY TO REMAIN UNDISTURBED. IF ANY DAMAGE OCCURS TO NEIGHBORING PROPERTY THE REPAIRS ARE TO BE CARRIED OUT AT NO EXPENSE TO OWNERS OF EITHER THE NEIGHBORING PROPERTY OR VISIONS ELECTRONICS

REV.	DESCRIPTION	DATE
C	MINOR AMENDMENT	15-07-07
B	ISSUED FOR PERMIT	15-06-25
A	MINOR CHANGES	15-05-29

DRAWING TITLE  
**EXISTING ELEVATIONS  
VISIONS STORE**

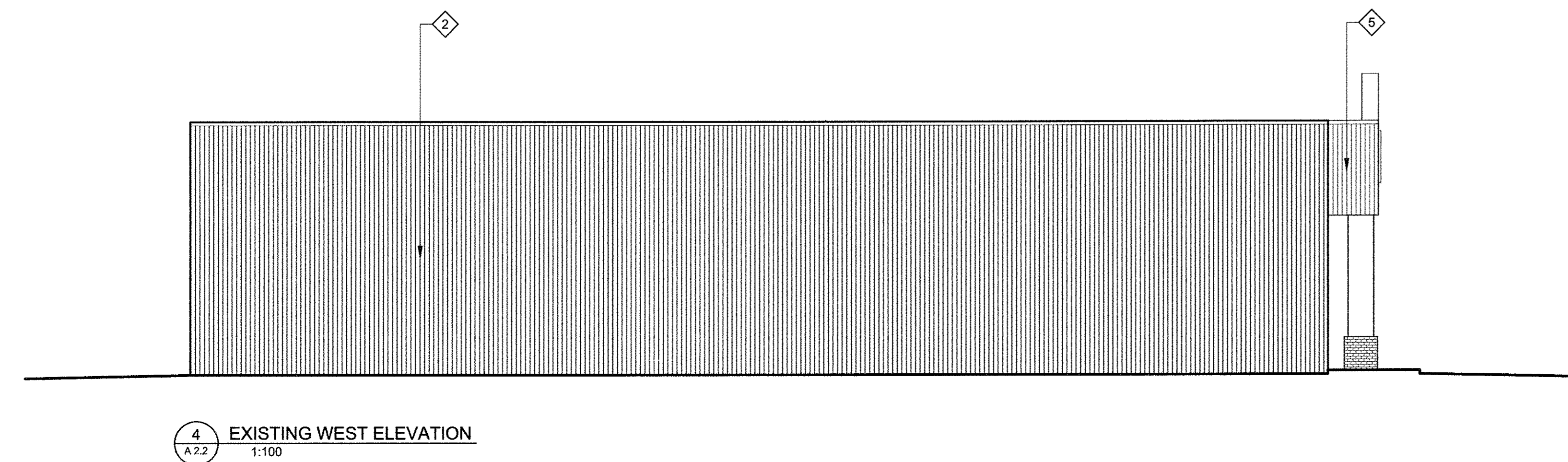
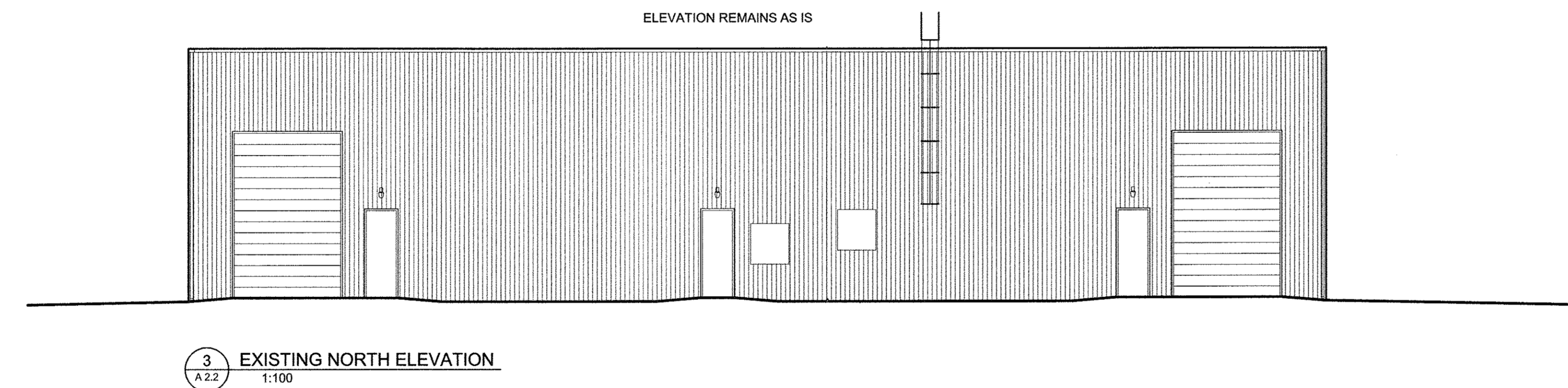
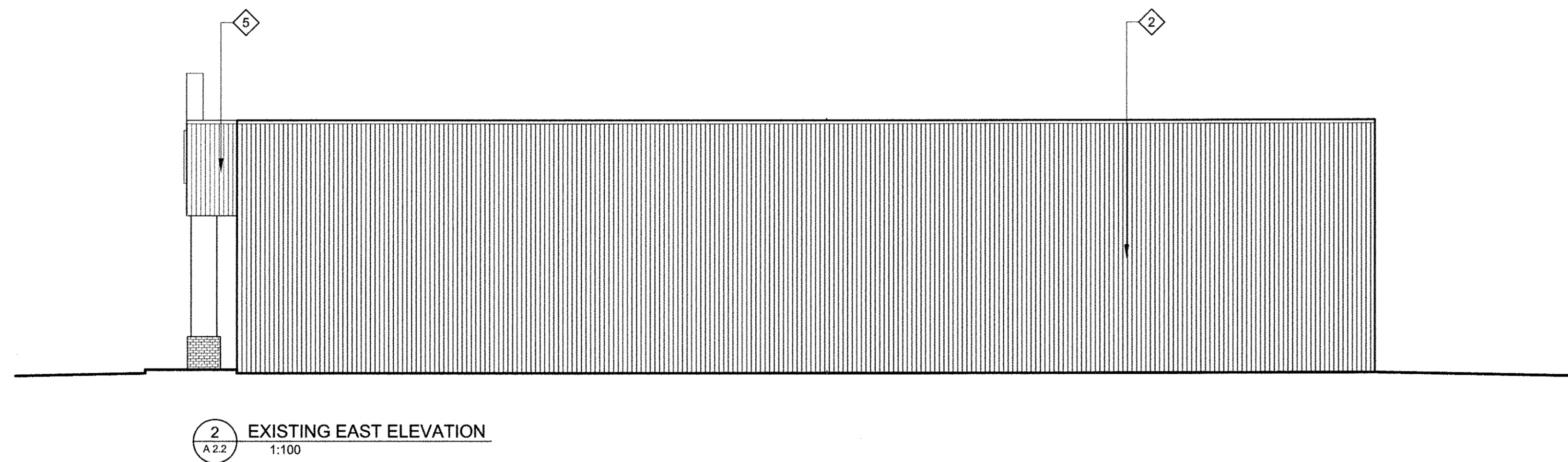
PROJECT  
**VISIONS ELECTRONICS  
VICTORIA AVENUE EAST  
PROPERTY UPGRADES**  
2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-05-06	C

PROJECT NO. **20150053** DRAWING NO. **A 2.1**





- NOTES:**
- 1 SIGNAGE TO BE REMOVED AND HANDED TO CLIENT
  - 2 METAL PANELS TO REMAIN AS IS
  - 3 BRICK BASE TO BE REMOVED
  - 4 GLAZING TO REMAIN
  - 5 INSULATED METAL PANELS TO BE REMOVED

SEALS

ASSOCIATION OF PROFESSIONAL ENGINEERS OF SASKATCHEWAN  
**WALKER PROJECTS INC.**  
 CERTIFICATE OF AUTHORIZATION  
 #C7933  
 PERMISSION TO CONSULT HELD BY:  
 DARYL ANDREW #13217 STRUCTURAL

REV.	DESCRIPTION	DATE
B	MINOR AMENDMENT	15-07-07
A	ISSUED FOR PERMIT	15-06-25

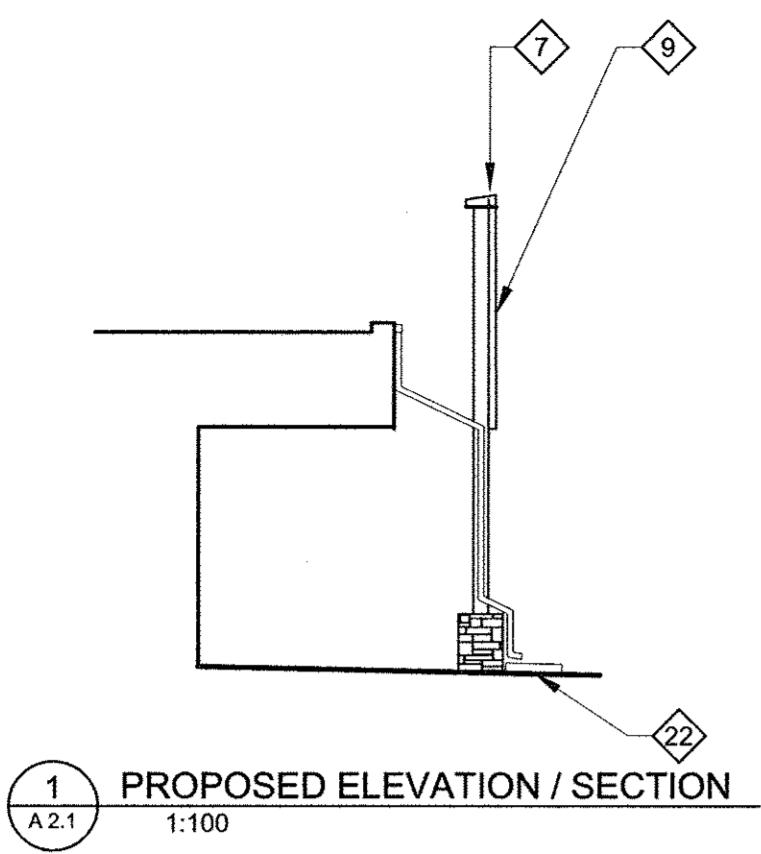
DRAWING TITLE  
**EXISTING ELEVATIONS  
 FABRICLAND STORE**

PROJECT  
**VISIONS ELECTRONICS  
 VICTORIA AVENUE EAST  
 PROPERTY UPGRADES**  
 2530 VICTORIA AVENUE EAST, REGINA

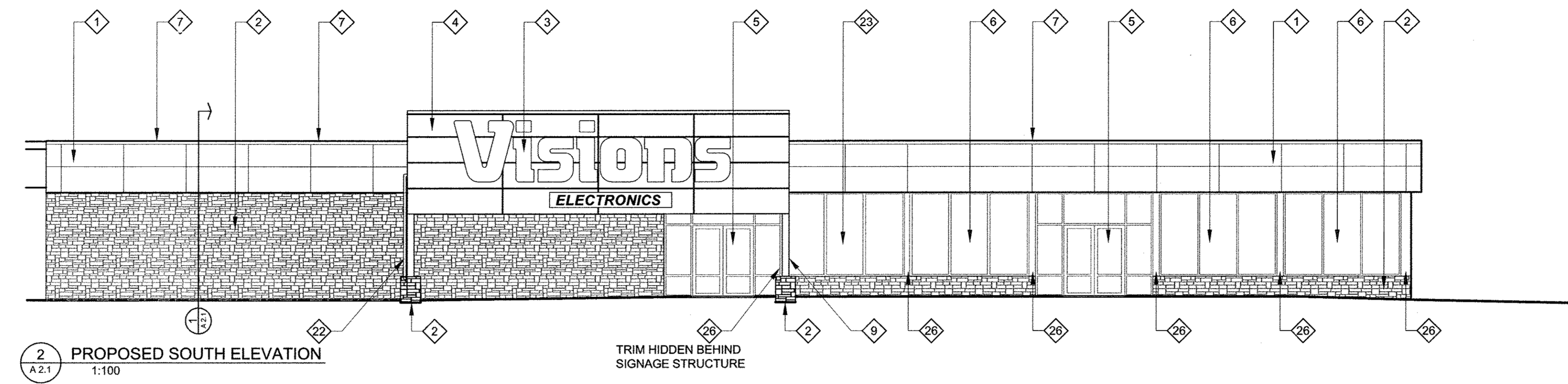
CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-05-06	B
PROJECT NO.		DRAWING NO.	
20150053		A 2.2	



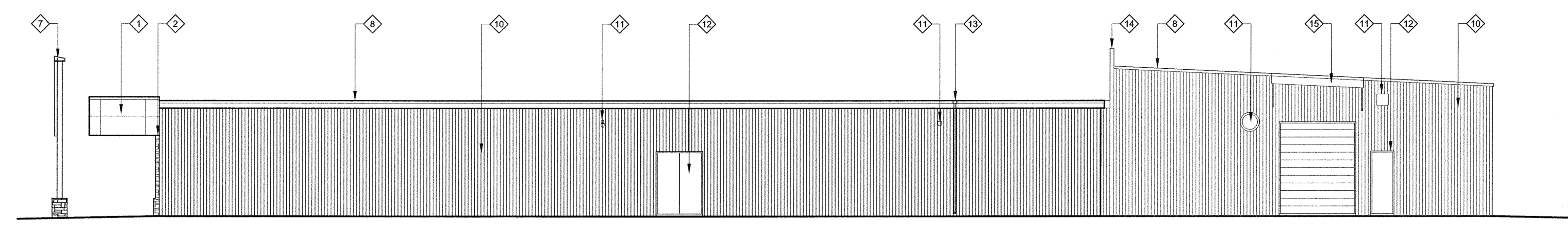


1 PROPOSED ELEVATION / SECTION  
A.2.1 1:100

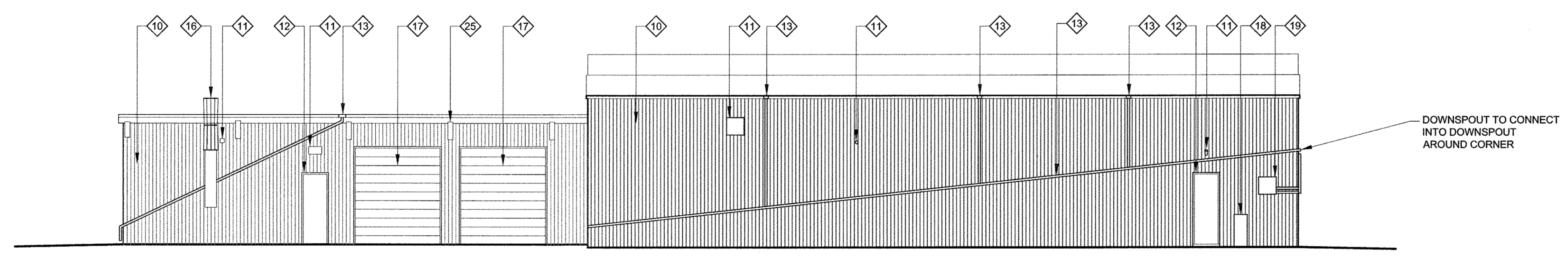


2 PROPOSED SOUTH ELEVATION  
A.2.1 1:100

TRIM HIDDEN BEHIND SIGNAGE STRUCTURE



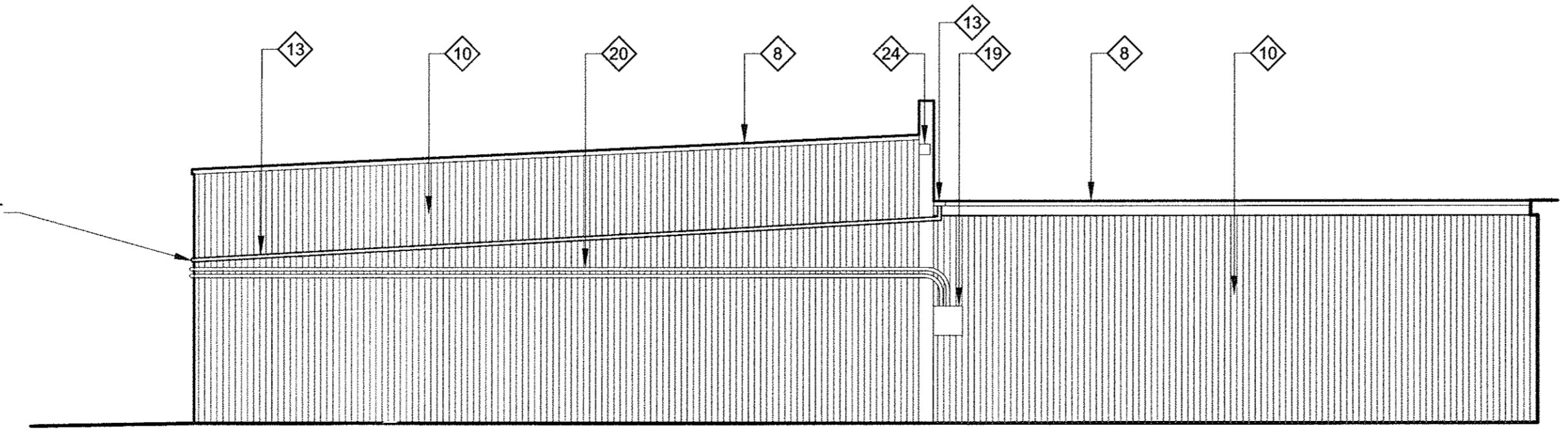
4 PROPOSED EAST ELEVATION  
A.3.1 1:100



5 PROPOSED NORTH ELEVATION  
A.3.1 1:100

DOWNSPOUT TO CONNECT INTO DOWNSPOUT AROUND CORNER

DOWNSPOUT TO CONNECT INTO DOWNSPOUT AROUND CORNER

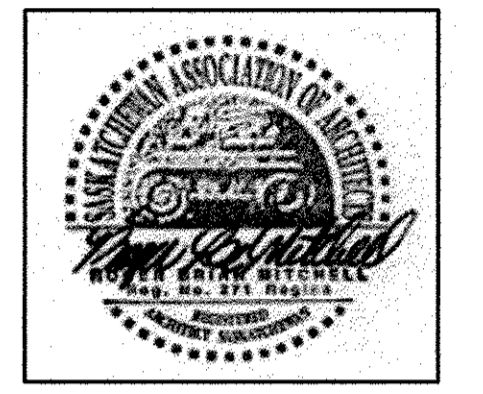


6 PROPOSED WEST ELEVATION  
A.3.1 1:100

- NOTES:**
- INSULATED METAL CLADDING (COLOR - ALUMINUM, SMOOTH FINISH)
  - NEW FEATURE STONE FACING (BY ELDORADO STONE OR SIMILAR) WITH PREFINISHED BLACK METAL CAPPING PIECE
  - STANDARD VISION SIGNAGE (26'10 1/2" WIDE x 7'10 1/2" HIGH - SEE VISIONS STANDARD DETAILS)
  - NEW INSULATED METAL PANELS (COLOR - PANTONE 302, SMOOTH FINISH WITH 50mm SHADOW GAP AT JOINTS)
  - NEW GLAZED ENTRANCE (FINISH - ALUMINUM)
  - EXISTING GLAZING
  - PRE-FINISHED METAL CAPPING (COLOR - BLACK). MIN. 1% SLOPE TOWARDS BUILDING
  - PRE-FINISHED METAL FASCIA (COLOR - BLACK)
  - NEW SIGNAGE STRUCTURE. SEE STRUCTURAL DRAWINGS
  - INSULATED METAL PANELS (COLOR - TBD, PROFILED FINISH)
  - EXISTING FIXTURE ALTERED TO SUIT
  - PAINT EXISTING DOORS AND FRAMES (COLOR - TBD). NEW PREFINISHED METAL TRIM AROUND DOORS TO SUIT NEW PANELS, COLOR TO MATCH PANELS
  - RAINWATER SCUPPER AND DOWNPIPE ALTERED TO SUIT. DOWNPIPE EXTENDED TO EXISTING SPLASHPAD
  - EXISTING FIREWALL PAINTED (COLOR - TBD)
  - EXISTING CANOPY ALTERED TO SUIT WITH NEW PREFINISHED METAL FASCIA (COLOR - BLACK)
  - EXISTING ROOF LADDER TO REMAIN. NEW METAL PANELS TO BE CUT AROUND EXISTING FIXINGS AND WEATHER SEALED
  - EXISTING ROLLER SHUTTER DOOR. NEW PREFINISHED METAL TRIM AROUND OPENING TO SUIT NEW PANELS, COLOR TO MATCH PANELS
  - EXISTING GAS METER AND PIPEWORK ALTERED TO SUIT
  - EXISTING ELECTRICAL PANEL ALTERED TO SUIT.
  - EXISTING ELECTRICAL CABLING ALTERED TO SUIT.
  - EXISTING GLAZED ENTRANCE
  - EXISTING RAINWATER DOWNPIPE ALTERED TO SUIT NEW SIGNAGE STRUCTURE AND NEW SPLASHPAD PROVIDED (SEE SITE PLAN)
  - EXISTING GLAZED WINDOW PANEL RE-USED
  - CLEAN AND PATCH AREA IN WALL WITH NEW MORTAR AND PAINT TO MATCH WALL
  - ENDS OF GLULAM BEAMS COVERED IN PREFINISHED METAL (TOTAL QUANTITY 5)
  - NEW PREFINISHED METAL CAPPING TO EXISTING GLULAM COLUMN
- GENERAL NOTE**  
ALL ALTERATIONS MUST BE ACCEPTABLE TO THE RELEVANT REGULATORY AUTHORITY

SEALS

ASSOCIATION OF PROFESSIONAL ENGINEERS OF SASKATCHEWAN  
**WALKER PROJECTS INC.**  
CERTIFICATE OF AUTHORIZATION  
#C793  
PERMISSION TO CONSULT HELD BY:  
DARYL ANDREW #13217 STRUCTURAL



REV.	DESCRIPTION / DETAIL ADDED	DATE
E	MINOR AMENDMENT	15-07-07
D	ISSUED FOR PERMIT	15-06-25
C	BUILDINGS SEPARATED	15-05-15
B	EXISTING SIGNAGE STRUCTURE RETAINED	15-05-13
A	FINISHES / DETAIL ADDED	15-05-04

DRAWING TITLE  
**PROPOSED ELEVATIONS  
VISIONS STORE**

PROJECT  
**VISIONS ELECTRONICS  
VICTORIA AVENUE EAST  
PROPERTY UPGRADES**  
2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-04-21	E

PROJECT NO. **20150053** DRAWING NO. **A 3.1**



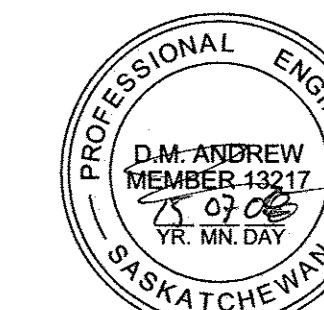
CONSULTANT

# WALKER PROJECTS

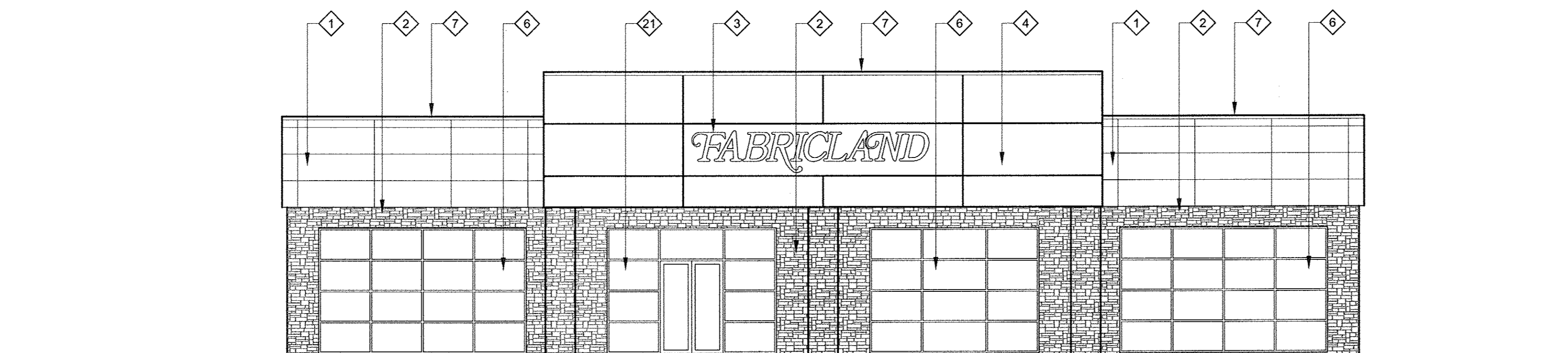
Consulting Engineers - Project Managers

109 - 1021 Albert Street, Regina, Saskatchewan S4P 2S6  
 Telephone: (306) 522-9434 Fax: (306) 522-9431  
 www.walkerprojects.com

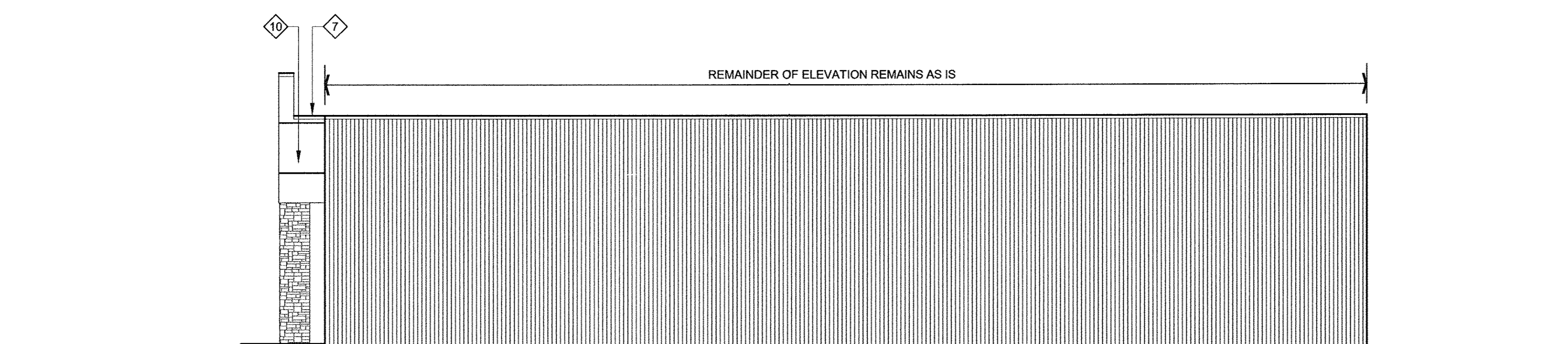
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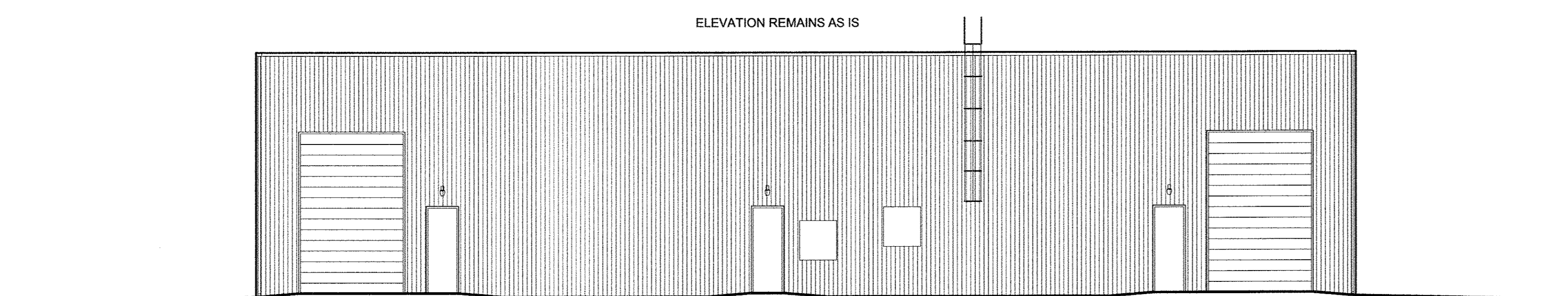
ASSOCIATION OF PROFESSIONAL ENGINEERS  
 OF SASKATCHEWAN  
**WALKER PROJECTS INC.**  
 CERTIFICATE OF AUTHORIZATION  
 #C793  
 PERMISSION TO CONSULT HELD BY:  
 DARYL ANDREW #13217 STRUCTURAL



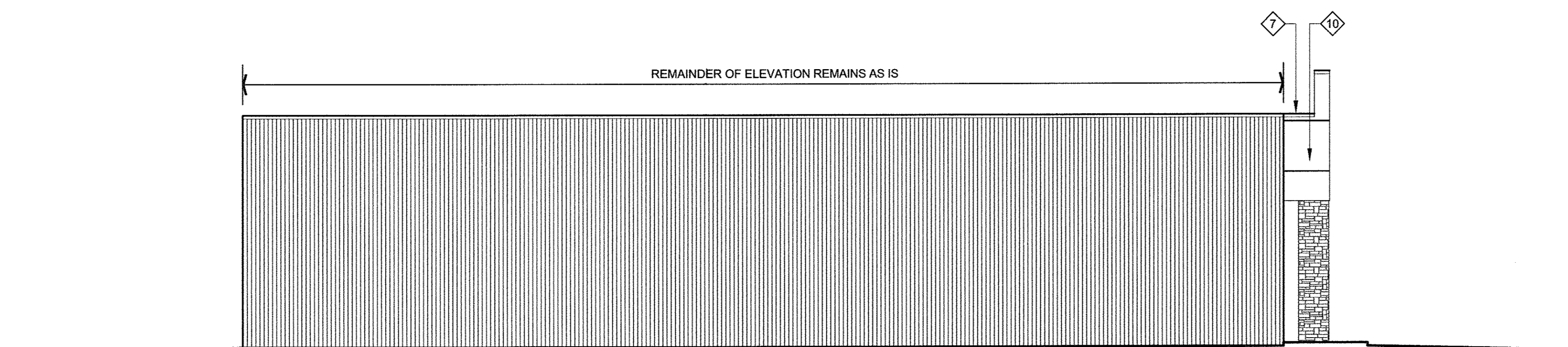
3 PROPOSED ELEVATION (FABRICLAND)  
 A 3.1 1:100



2 EXISTING EAST ELEVATION  
 A 2.2 1:100



3 EXISTING NORTH ELEVATION  
 A 2.2 1:100



4 EXISTING WEST ELEVATION  
 A 2.2 1:100

**NOTES:**

- 1 INSULATED METAL CLADDING (COLOR - ALUMINUM, SMOOTH FINISH)
- 2 NEW FEATURE STONE FACING (BY ELDORADO STONE OR SIMILAR) WITH PREFINISHED BLACK METAL CAPPING PIECE
- 3 SIGNAGE BY DICKSONS SIGNS (26'10 3/4" WIDE x 7'10 1/2" HIGH)
- 4 PAINTED CLADDING ON EXISTING STRUCTURE (COLOR - PANTONE 302)
- 5 NEW GLAZED ENTRANCE (FINISH - ALUMINUM)
- 6 EXISTING GLAZING
- 7 PRE-FINISHED METAL CAPPING (COLOR - BLACK)
- 8 PRE-FINISHED METAL FASCIA (COLOR - BLACK)
- 9 ALL METAL COLUMNS TO BE INSPECTED DURING DEMOLITION AND IF NECESSARY REPLACED WITH ONE OF THE REDUNDANT EXISTING COLUMNS AS AGREED WITH STRUCTURAL ENGINEER. NEW COLOR - PANTONE 302
- 10 INSULATED METAL PANELS (COLOR - TBD, PROFILED FINISH)
- 11 EXISTING FIXTURE ALTERED TO SUIT
- 12 PAINT EXISTING DOORS (COLOR - TBD)
- 13 RAINWATER SCUPPER AND DOWNPIPE ALTERED TO SUIT.
- 14 EXISTING FIREWALL PAINTED (COLOR - TBD)
- 15 EXISTING CANOPY ALTERED TO SUIT WITH NEW PRE-FINISHED METAL FASCIA (COLOR - BLACK)
- 16 EXISTING ROOF LADDER ALTERED TO SUIT
- 17 EXISTING ROLLER SHUTTER DOOR
- 18 EXISTING GAS METER AND PIPEWORK ALTERED TO SUIT
- 19 EXISTING ELECTRICAL PANEL ALTERED TO SUIT
- 20 EXISTING ELECTRICAL CABLING ALTERED TO SUIT
- 21 EXISTING GLAZED ENTRANCE

REV.	DESCRIPTION	DATE
B	MINOR AMENDMENT	15-07-07
A	ISSUED FOR PERMIT	15-06-25

DRAWING TITLE  
**PROPOSED ELEVATIONS  
 FABRICLAND STORE**

PROJECT  
**VISIONS ELECTRONICS  
 VICTORIA AVENUE EAST  
 PROPERTY UPGRADES**  
 2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY  
 RMG

DESIGNED BY  
 RMG

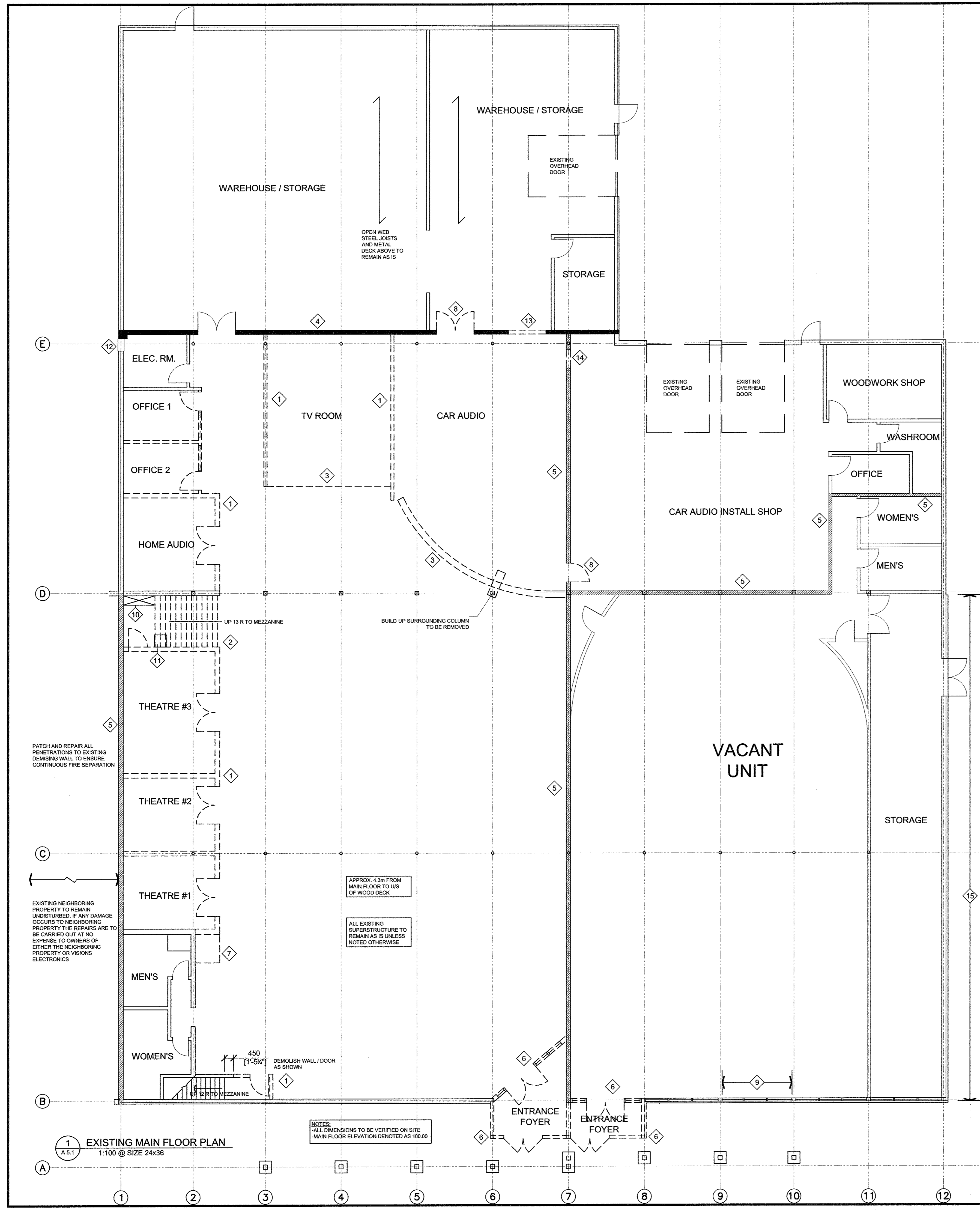
DATE  
 2015-04-21

REVISION NO.  
**B**

PROJECT NO.  
 20150053

DRAWING NO.  
 A 3.2





- NOTES:**
- DEMOLISH AND REMOVE EXISTING WALLS AND DOORS AS SHOWN
  - DEMOLISH AND REMOVE EXISTING STAIRCASE TO MEZZANINE
  - DEMOLISH AND REMOVE BULKHEAD AND T-BAR CEILING OVER INCLUDING BUILD OUT AROUND COLUMN
  - EXISTING FIREWALL TO REMAIN
  - EXISTING DEMISING WALL TO REMAIN
  - DEMOLISH AND REMOVE GLAZED SCREENS AND DOORS TO VESTIBULE
  - DEMOLISH AND REMOVE MEZZANINE FLOOR AND WALLS AS SHOWN
  - REMOVE EXISTING DOOR AND FRAME
  - CAREFULLY REMOVE GLAZED PANEL AND STORE FOR RE-USE
  - EXISTING ELECTRICAL PANEL TO BE RELOCATED. LOCATION TBD. BY OTHERS
  - EXISTING DATA / SOUND SERVER PANEL TO BE RELOCATED. LOCATION TBD. BY OTHERS
  - EXISTING ELECTRICAL SERVICE PANEL TO REMAIN
  - FORM NEW OPENING IN FIREWALL TO SUIT NEW DOUBLE DOORS. SEE DETAILS
  - FORM NEW OPENING IN DEMISING WALL TO SUIT NEW DOOR. SEE DETAILS
  - REMOVE EXISTING CONCRETE WALL PANELS. SEE ELEVATIONS
  - REMOVE EXISTING 3' x 4' DOOR AND MOULDING

- LEGEND**
- EXISTING WALL / DOOR TO BE DEMOLISHED AND REMOVED
  - EXISTING WALL / DOOR TO REMAIN
  - EXISTING FIRE WALL TO REMAIN
  - EXISTING DEMISING WALL TO REMAIN

**GENERAL NOTES:**  
 IT IS THE INTENT OF THESE DRAWINGS THAT THE AREAS SHOWN IN THE SCOPE OF WORK BE PREPARED FOR NEW RENOVATION BY SELECTIVE DEMOLITION AND REMOVAL OF ITEMS INDICATED. SOME ITEMS WILL REQUIRE CAREFUL REMOVAL, STORAGE AND INVENTORY FOR RE-USING WITHIN THE RENOVATIONS.

CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.

PROVIDE AND MAINTAIN HOARDING, ELECTRICAL AND FIRE ALARM AND GUARD RAIL TO PROTECT OCCUPANTS, WORKERS AND GUESTS AND AS REQUIRED BY REGULATORY AUTHORITY

RELOCATE ALL ELECTRICAL OUTLETS, DEVICES, OR ANY OTHER ELECTRICAL / MECHANICAL DEVICES ON DEMOLISHED WALLS

PRIOR TO CUTTING NEW OPENINGS ENSURE IT IS CLEAR OF ANY EXISTING WIRING / DEVICES AND RELOCATE WIRING / DEVICES IF NECESSARY

CONFORM TO ALL CODES FOR CONTROL OF DUST, SAFETY OF STRUCTURE AND MATERIALS DURING DEMOLITION

MAKE GOOD ALL FINISHES

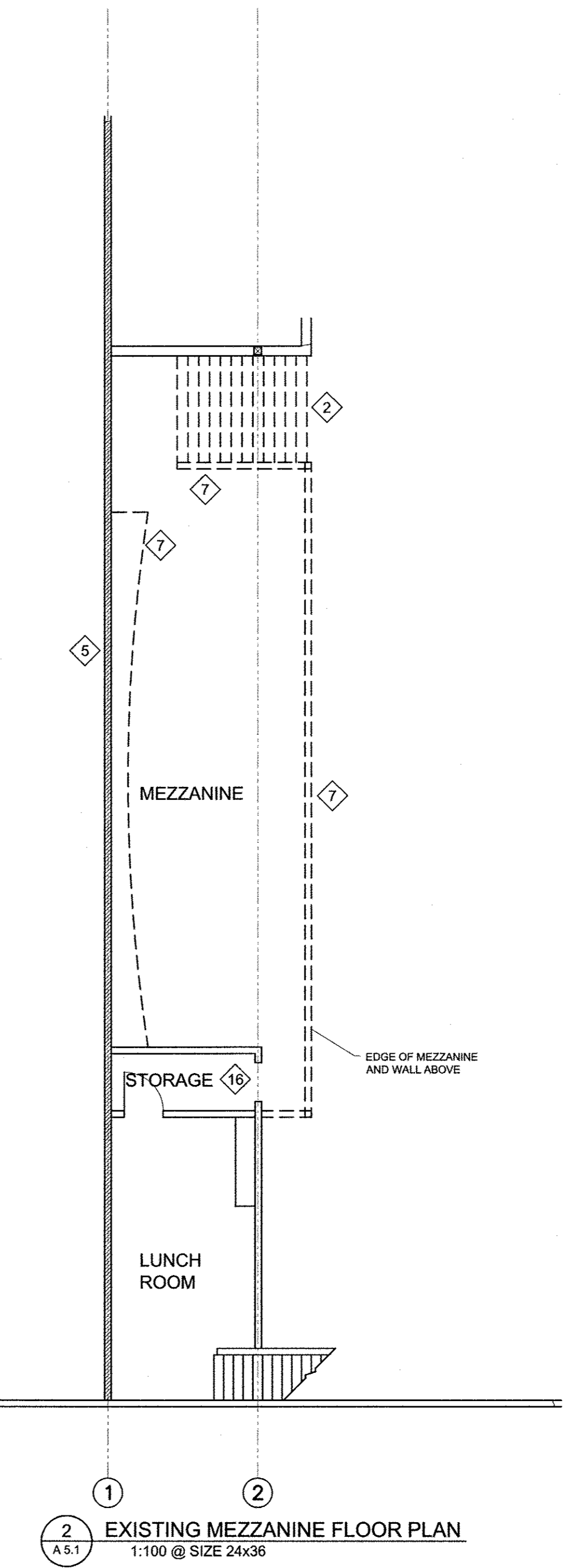
REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO THE OWNER / LANDLORD AND ARCHITECT

ALL DEMOLISHED MATERIALS NOT FOR RE-USE TO BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY

PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION

DURING DEMOLITION SHOULD ANYTHING UNEXPECTED BE UNCOVERED PLEASE CONTACT CLIENT / ARCHITECT BEFORE PROCEEDING

CONTRACTOR TO EXPOSE RELEVANT PORTIONS OF EACH EXISTING EXTERNAL WALL TO ENABLE AN ASSESSMENT BY THE STRUCTURAL ENGINEER / ARCHITECT. WALL DETAILS MAY CHANGE BASED UPON FINDINGS



PATCH AND REPAIR ALL PENETRATIONS TO EXISTING DEMISING WALL TO ENSURE CONTINUOUS FIRE SEPARATION

EXISTING NEIGHBORING PROPERTY TO REMAIN UNDISTURBED. IF ANY DAMAGE OCCURS TO NEIGHBORING PROPERTY THE REPAIRS ARE TO BE CARRIED OUT AT NO EXPENSE TO OWNERS OF EITHER THE NEIGHBORING PROPERTY OR VISIONS ELECTRONICS

APPROX. 4.3m FROM MAIN FLOOR TO UIS OF WOOD DECK

ALL EXISTING SUPERSTRUCTURE TO REMAIN AS IS UNLESS NOTED OTHERWISE

**NOTES:**  
 \*ALL DIMENSIONS TO BE VERIFIED ON SITE  
 \*MAIN FLOOR ELEVATION DENOTED AS 100.00

REV.	DESCRIPTION	DATE
D	MINOR AMENDMENT	15-07-07
C	ISSUED FOR PERMIT	15-06-25
B	MINOR REVISIONS	15-06-19
A	CLIENT REVIEW	15-06-16

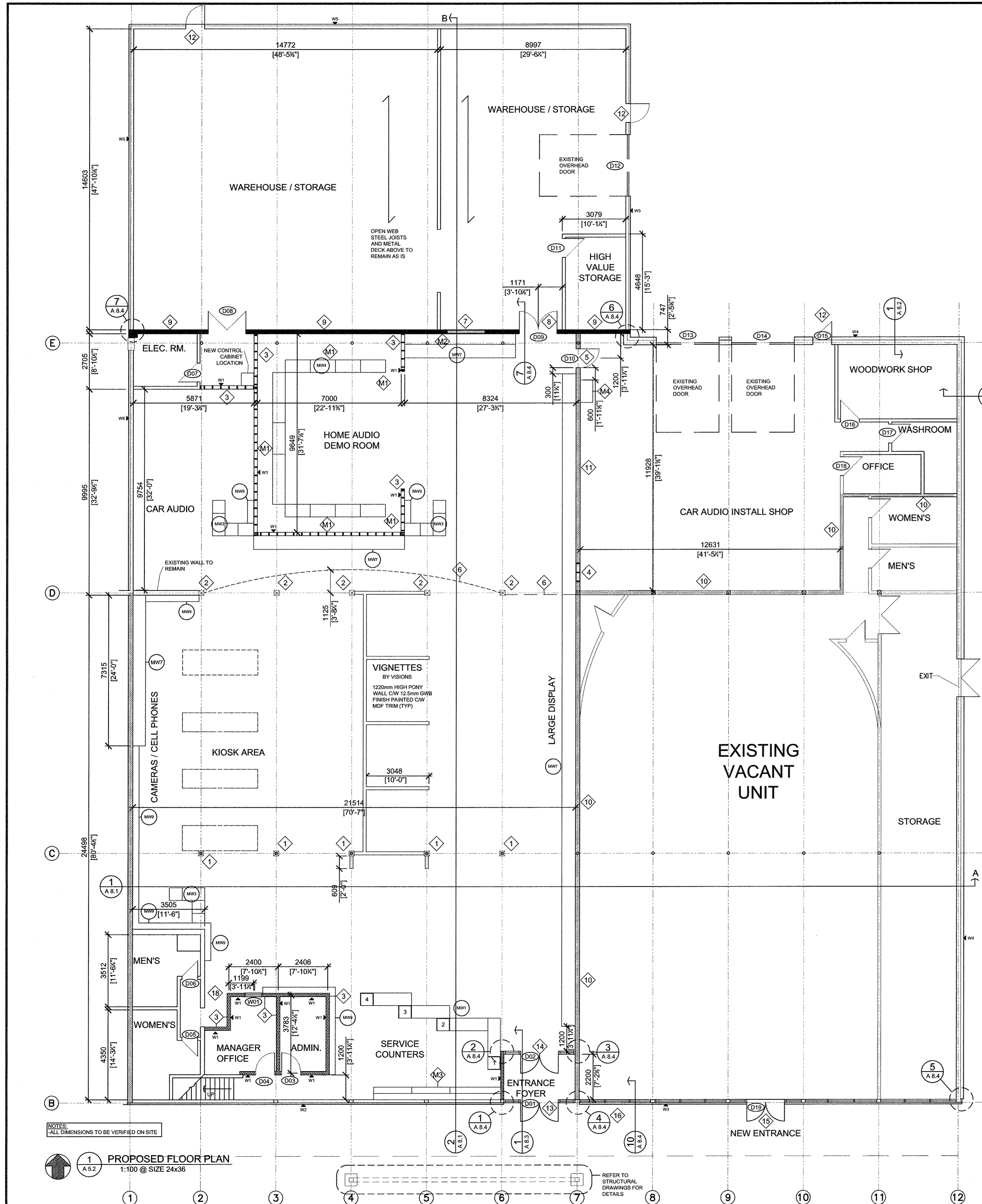
DRAWING TITLE  
**EXISTING FLOOR PLANS / DEMOLITION**

PROJECT  
**VISIONS ELECTRONICS  
 VICTORIA AVENUE EAST  
 PROPERTY UPGRADES**  
 2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-04-10	D
PROJECT NO. <b>20150053</b>		DRAWING NO. <b>A 5.1</b>	





**NOTES:**

- LINE OF EXISTING COLUMNS TO BE BUILT OUT WITH DRY WALL TO 254x254mm FOR POWER OUTLETS AND CABLING.
- LINE OF EXISTING COLUMNS TO BE STRIPPED OF EXISTING WOOD COVER PANELS AND BUILT OUT WITH DRY WALL TO 254x254mm FOR POWER OUTLETS AND CABLING.
- NEW 152mm METAL STUD WALL AND 1 LAYER 12.5mm DRYWALL EACH SIDE. CONTINUE WALLS UP TO UNDERSIDE OF ROOF.
- CLOSE UP EXISTING OPENING IN DEMISING WALL WITH METAL STUD AND DRYWALL TO PROVIDE 1.5 HR FRR AND MAKE GOOD FINISHES. 1 LAYER OF 12.5mm TYPE "X" GYPSUM TO BOTH SIDES ON 152mm STEEL STUDS.
- FORM NEW OPENING IN DEMISING WALL AND DOOR TO PROVIDE 1.5HR FRR. DOOR REQUIRES 1 HR FRR AND MAKE GOOD FINISHES.
- LINE OF NEW BULKHEAD (300mm WIDE) OVER FORMED FROM STUDWORK AND DRYWALL AT 2.7m ABOVE FFL.
- BLOCK UP EXISTING OPENING IN FIREWALL WITH CONCRETE BLOCKWORK TO MATCH EXISTING TO FORM 1.5 HR FRR AND MAKE GOOD FINISHES. BLOCKWORK TO BE MINIMUM 190mm THICK OR MINIMUM 140mm THICK WITH 12.5mm REGULAR GYPSUM TO BOTH SIDES.
- FORM NEW OPENING IN FIREWALL AND DOOR TO MATCH EXISTING DOOR TO PROVIDE 1.5 HR FRR. DOOR REQUIRES 1 HR FRR AND MAKE GOOD FINISHES.
- EXISTING CONCRETE BLOCK FIREWALL.
- EXISTING DEMISING WALL BETWEEN C.R.U.'s
- EXISTING DEMISING WALL BETWEEN CAR AUDIO WORKSHOP AND SHOWROOM
- EXISTING FIRE EXIT
- DEMOLISH EXISTING ENTRANCE VESTIBULE AND REPLACE WITH NEW IN SAME LOCATION
- DEMOLISH EXISTING INTERNAL GLAZED STOREFRONT AND FORM NEW INTERNAL GLAZED STOREFRONT IN NEW LOCATION AS SHOWN
- REMOVE EXISTING EXTERNAL GLAZED STOREFRONT AND RETAIN. FORM NEW GLAZED OPENING TO MATCH EXISTING
- EXISTING ENTRANCE VESTIBULE REMOVED AND REPLACED WITH RETAINED GLAZED SCREEN FROM ITEM 15 ABOVE AS SHOWN. CONFIRM EXISTING SIZES AND ROUGH OPENING.
- FORM NEW STUDWALL AND DOORWAY TO TOP OF STAIRS
- CLOSE UP EXISTING OPENING WITH 152mm STUDS AND 12.5mm GYPSUM BOTH SIDES
- PROVIDE A MIN. 920mm UNOBSTRUCTED WIDTH FOR BARRIER FREE PATH OF TRAVEL

**GENERAL NOTES**

- QUANTITY AND LOCATION OF ALL ELECTRICAL / DATA RECEPTILES TO BE DETERMINED BY CLIENT
- ALL DIMENSIONS ARE INDICATIVE ONLY AND SHOULD BE CHECKED ON SITE
- FLOAT ALL INTERIOR WALLS. PROVIDE 12mm MOVEMENT JOINT

**MILLWORK NOTES**

- SEE VISION STANDARD DETAIL DRAWINGS FOR DETAILS (MW REFERENCES). FINAL DETAILS TO BE AGREED WITH CLIENT
- M1 750MM CLEARANCE TO REAR AND SIDES OF MILLWORK IN DEMO ROOM
- M2 VOID TO REAR OF EVOWALL DUE TO EXISTING COLUMNS
- M3 LOW LEVEL LOCKABLE STORAGE WITH SLATWALL (MW9) OVER
- M4 NEW COUNTER IN CAR AUDIO INSTALL SHOP. DETAILS TBD

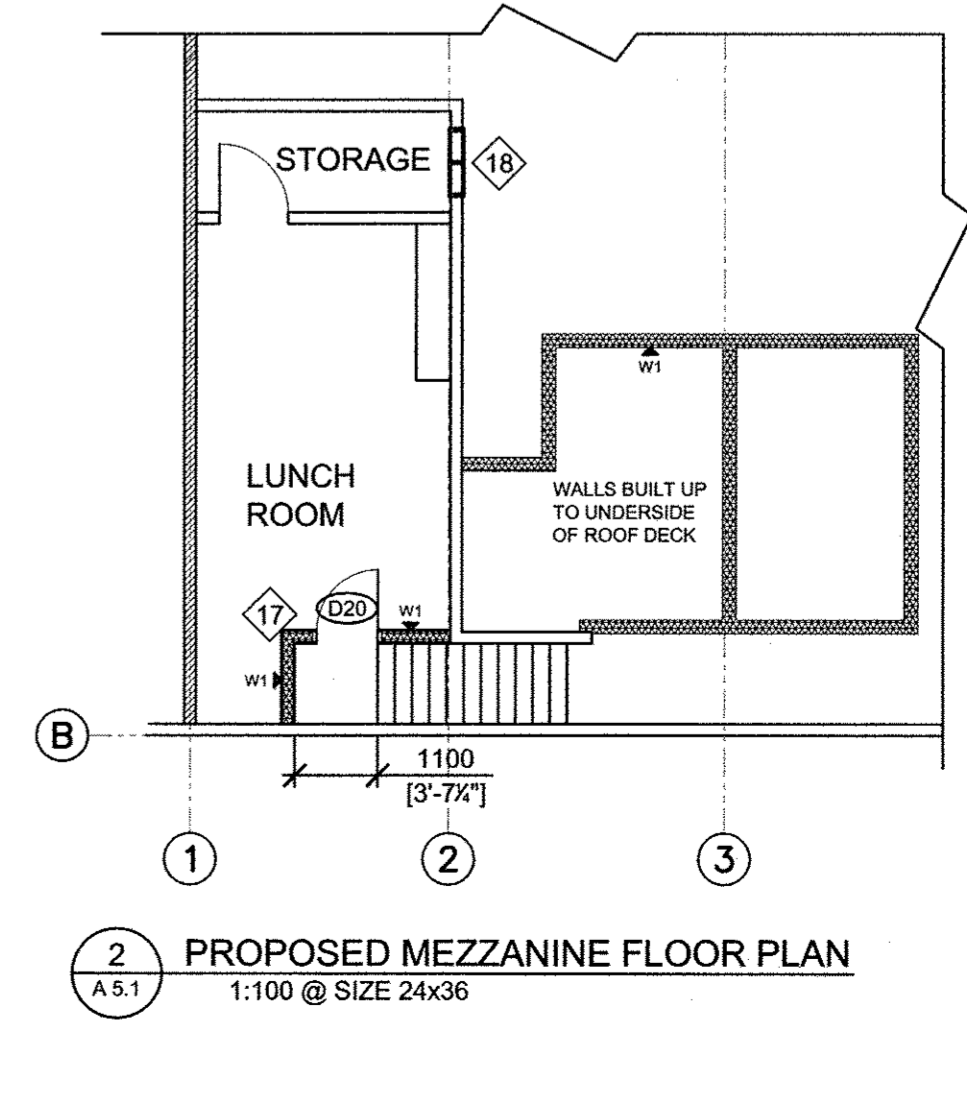
**KEY**

- EXISTING WALL / DOOR TO REMAIN
- EXISTING FIRE WALL TO REMAIN
- EXISTING DEMISING WALL TO REMAIN
- NEW WALLTYPE / DOOR

<b>W1 - INTERIOR WALL</b>	RATINGS - 12.5mm GYPSUM BOARD FRR - 38x89mm STUD FRAME @ 406mm O.C. STC - 12.5mm GYPSUM BOARD NBC -	HEIGHT TO UNDERSIDE OF ROOF STRUCTURE
<b>W2 - EXTERIOR WALL</b>	RATINGS - EXISTING STRUCTURE FRR - 12.5mm GYPSUM BOARD STC - 6mm POLY NBC - 38x89mm TAMBER STUDS WITH 50mm INSULATION BETWEEN	EXT. INT.
<b>W3 - EXTERIOR WALL</b>	RATINGS - SAME AS W2 EXCEPT PARTIAL GLAZED WALL. SEE ELEVATIONS / SECTIONS.	EXT. INT.
<b>W4 - EXTERIOR WALL</b>	RATINGS - EXISTING STRUCTURE FRR - 12.5mm GYPSUM BOARD STC - 6mm POLY NBC - 38x89mm TAMBER STUDS WITH 50mm INSULATION BETWEEN	EXT. INT.
<b>W5 - EXTERIOR WALL</b>	RATINGS - EXISTING STRUCTURE FRR - 12.5mm GYPSUM BOARD STC - 6mm POLY NBC - METAL STUDS - HORIZONTAL GIRTS @ 1220mm O.C.	EXT. INT.
<b>W6 - EXTERIOR WALL</b>	RATINGS - EXISTING STRUCTURE FRR - 12.5mm GYPSUM BOARD STC - 6mm POLY NBC - 38x89mm TAMBER STUDS WITH 50mm INSULATION BETWEEN - HORIZONTAL GIRTS @ 1066mm O.C.	EXT. INT.

**WALL NOTES**

- SHOULD ANY ELEMENT OF EXISTING WALL DIFFER FROM BELOW CONTACT CONSULTANT FOR CLARIFICATION BEFORE PROCEEDING
- ALL EXISTING COMPONENTS TO BE CHECKED FOR DAMAGE AND REPAIRED AS NECESSARY
- CARE TO BE TAKEN WHEN REMOVING ANY PART OF EXISTING WALLS TO MINIMIZE DAMAGE TO REMAINING. ANY DAMAGE TO EXISTING SUPERSTRUCTURE TO BE REPORTED IMMEDIATELY TO CONSULTANT.
- FLOAT ALL INTERIOR WALLS. PROVIDE 12mm MOVEMENT JOINT
- MANUFACTURERS RECOMMENDATIONS TO BE FOLLOWED



ASSOCIATION OF PROFESSIONAL ENGINEERS OF SASKATCHEWAN  
D.M. ANDREW  
MEMBER 13217  
YR. MN. DAY

ASSOCIATION OF PROFESSIONAL ENGINEERS OF SASKATCHEWAN  
WALKER PROJECTS INC.  
CERTIFICATE OF AUTHORIZATION  
#C793  
PERMISSION TO CONSULT BY:  
DARYL ANDREW #15217 STRUCTURAL



REV.	DESCRIPTION	DATE
K	MINOR AMENDMENT	15-07-07
J	RE-ISSUED FOR PERMIT - WINDOW DIM ADD	15-06-29
I	ISSUED FOR PERMIT	15-06-25
H	DIMENSIONS ADDED	15-06-22

**PROPOSED FLOOR PLANS**

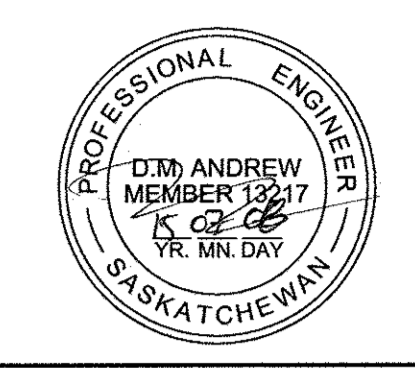
PROJECT  
**VISIONS ELECTRONICS VICTORIA AVENUE EAST PROPERTY UPGRADES**  
2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-04-10	K

PROJECT NO. **20150053** DRAWING NO. **A 5.2**





ASSOCIATION OF PROFESSIONAL ENGINEERS OF SASKATCHEWAN  
**WALKER PROJECTS INC.**  
 CERTIFICATE OF AUTHORIZATION  
 #C793  
 PERMISSION TO CONSULTED BY:  
 DARYL ANDREW #13217 STRUCTURAL



### WINDOW LEGEND

WINDOW 'W01'

PAINTED KD-METAL FRAME TO MATCH DOOR WITH SINGLE GLAZED 6mm CLEAR GLASS

### PAINT FINISH KEY

PT1	SHERWIN WILLIAMS VE1010 GOLDEN TAN
PT2	SHERWIN WILLIAMS VE1013 OAKBUFF
PT3	SHERWIN WILLIAMS VE2220 CLOVER
PT4	SHERWIN WILLIAMS VE3117 BLACK ORCHID
PT5	SHERWIN WILLIAMS VE102 TENNE

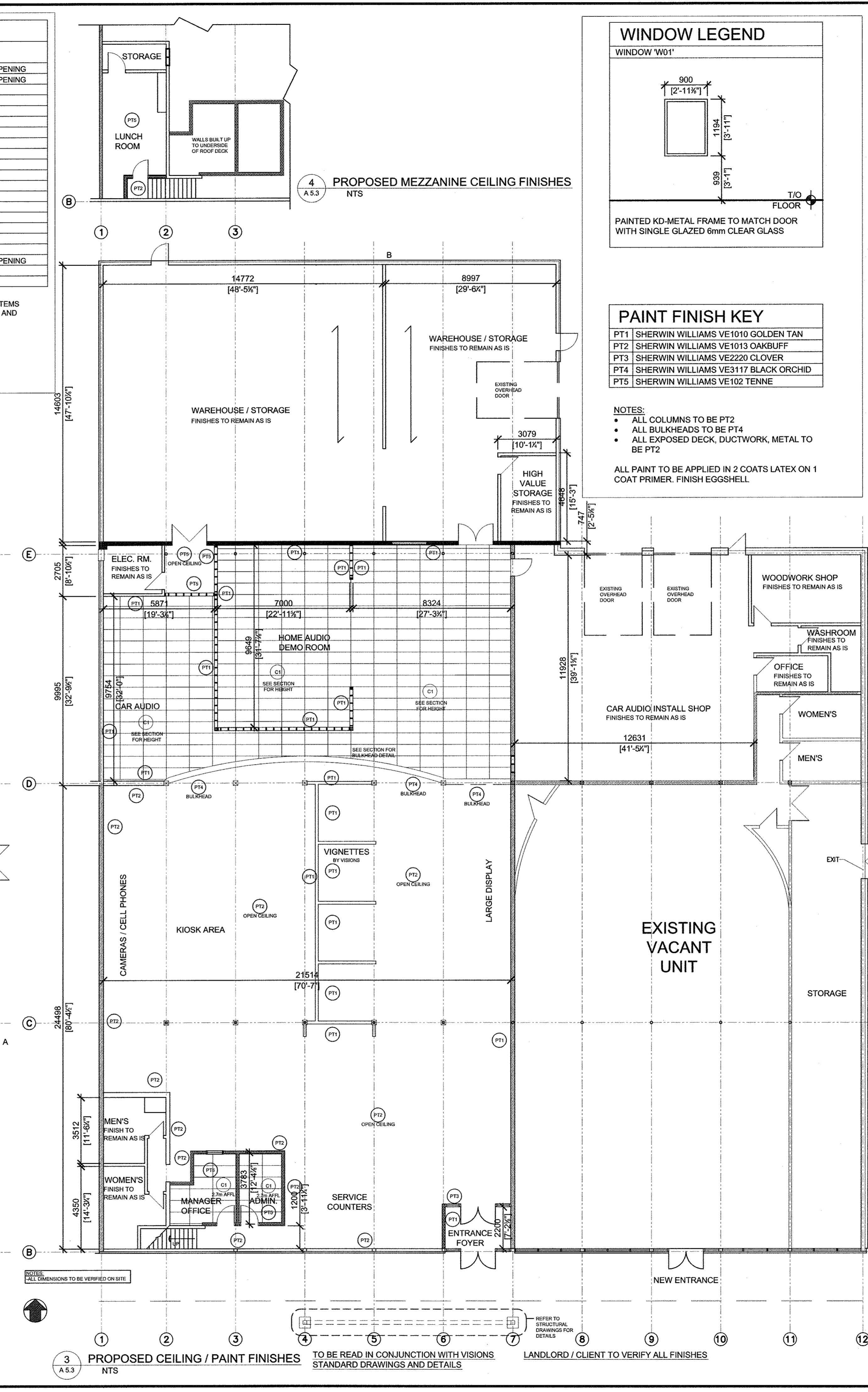
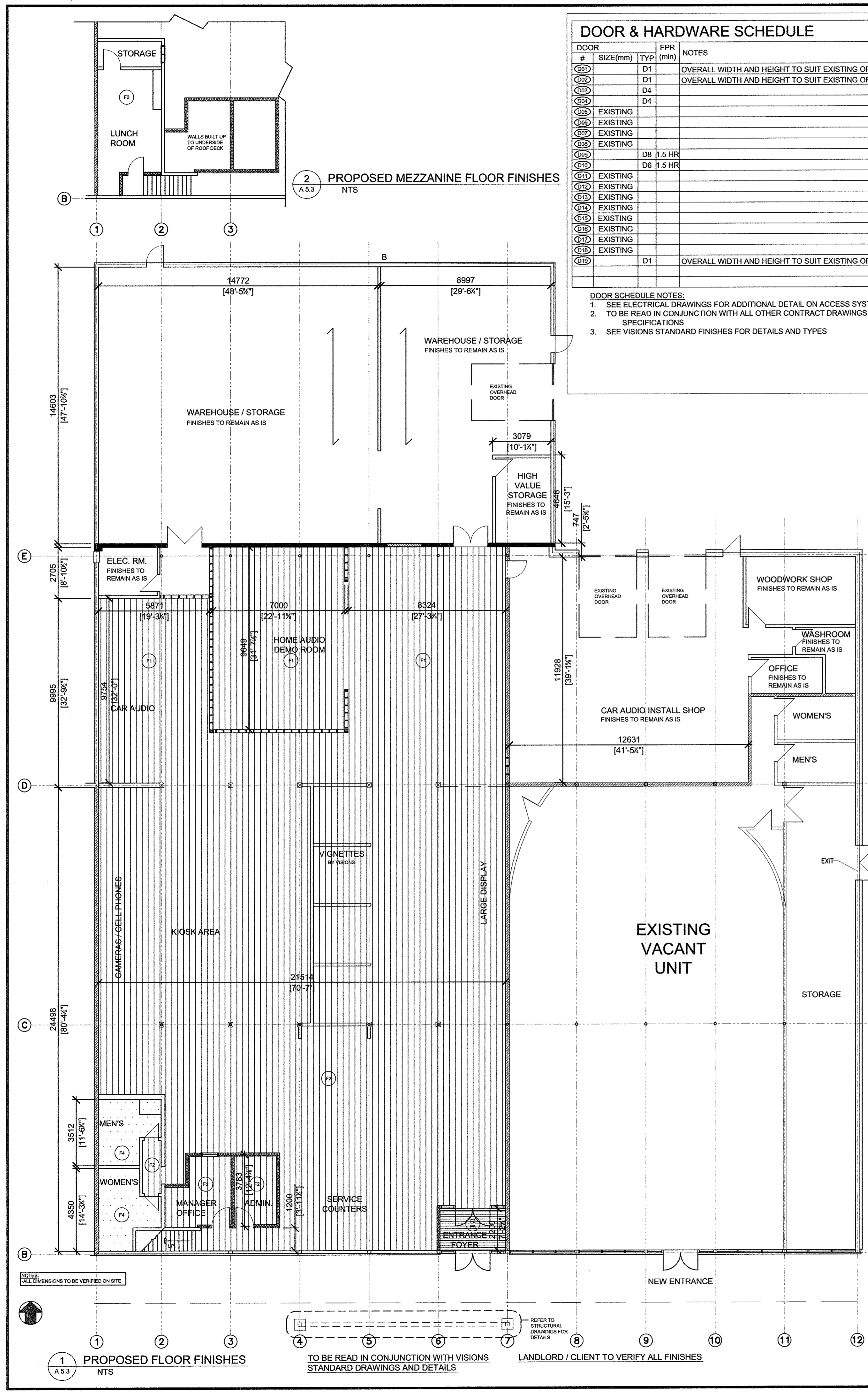
NOTES:  
 • ALL COLUMNS TO BE PT2  
 • ALL BULKHEADS TO BE PT4  
 • ALL EXPOSED DECK, DUCTWORK, METAL TO BE PT2

ALL PAINT TO BE APPLIED IN 2 COATS LATEX ON 1 COAT PRIMER. FINISH EGGSHELL

### DOOR & HARDWARE SCHEDULE

DOOR #	SIZE(mm)	TYP	FPR (min)	NOTES
0201		D1		OVERALL WIDTH AND HEIGHT TO SUIT EXISTING OPENING
0202		D1		OVERALL WIDTH AND HEIGHT TO SUIT EXISTING OPENING
0203		D4		
0204		D4		
0205		EXISTING		
0206		EXISTING		
0207		EXISTING		
0208		EXISTING		
0209		D8	1.5 HR	
0210		D8	1.5 HR	
0211		EXISTING		
0212		EXISTING		
0213		EXISTING		
0214		EXISTING		
0215		EXISTING		
0216		EXISTING		
0217		EXISTING		
0218		EXISTING		
0219		D1		OVERALL WIDTH AND HEIGHT TO SUIT EXISTING OPENING

**DOOR SCHEDULE NOTES:**  
 1. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL DETAIL ON ACCESS SYSTEMS  
 2. TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS  
 3. SEE VISIONS STANDARD FINISHES FOR DETAILS AND TYPES



REV.	DESCRIPTION	DATE
E	MINOR AMENDMENT	15-07-07
D	RE-ISSUED FOR PERMIT / PAINT FINISHES & WINDOW TYPE ADDED	15-06-29
C	ISSUED FOR PERMIT	15-06-25
B	DIMENSIONS ADDED	15-06-22
A	CLIENT REVIEW	15-06-16
REV.	DESCRIPTION	DATE

DRAWING TITLE  
**PROPOSED FINISHES PLANS**  
 FLOOR / REFLECTED CEILING  
 DOOR SCHEDULE

PROJECT  
**VISIONS ELECTRONICS**  
 VICTORIA AVENUE EAST  
 PROPERTY UPGRADES  
 2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
RMG	RMG	2015-06-16	E

PROJECT NO. **20150053** DRAWING NO. **A 5.3**

1  
 A 5.3  
 PROPOSED FLOOR FINISHES  
 NTS

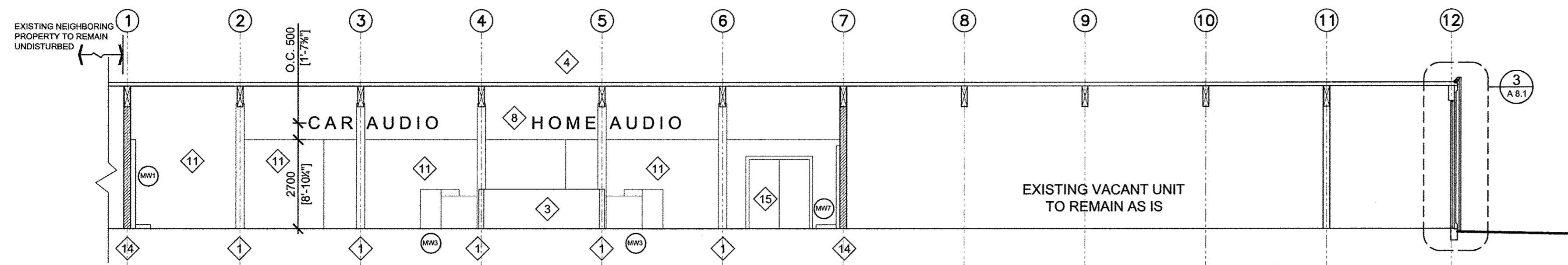
2  
 A 5.3  
 PROPOSED MEZZANINE FLOOR FINISHES  
 NTS

3  
 A 5.3  
 PROPOSED CEILING / PAINT FINISHES  
 NTS

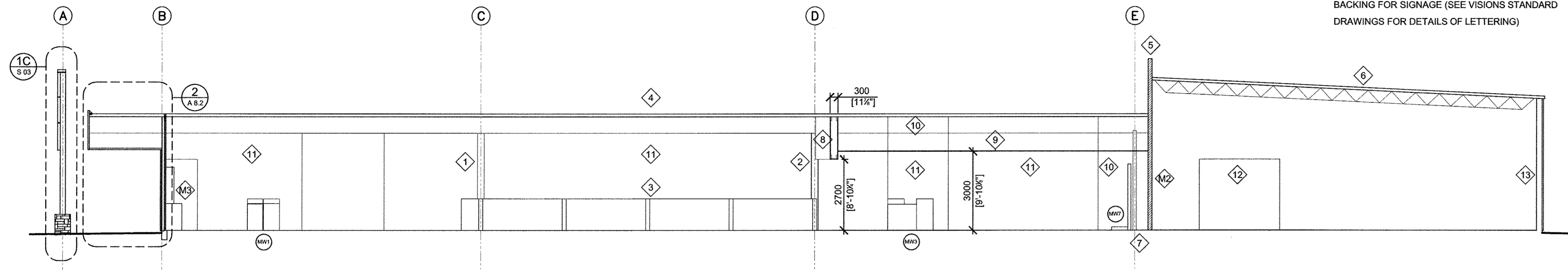
4  
 A 5.3  
 PROPOSED MEZZANINE CEILING FINISHES  
 NTS

TO BE READ IN CONJUNCTION WITH VISIONS STANDARD DRAWINGS AND DETAILS  
 LANDLORD / CLIENT TO VERIFY ALL FINISHES

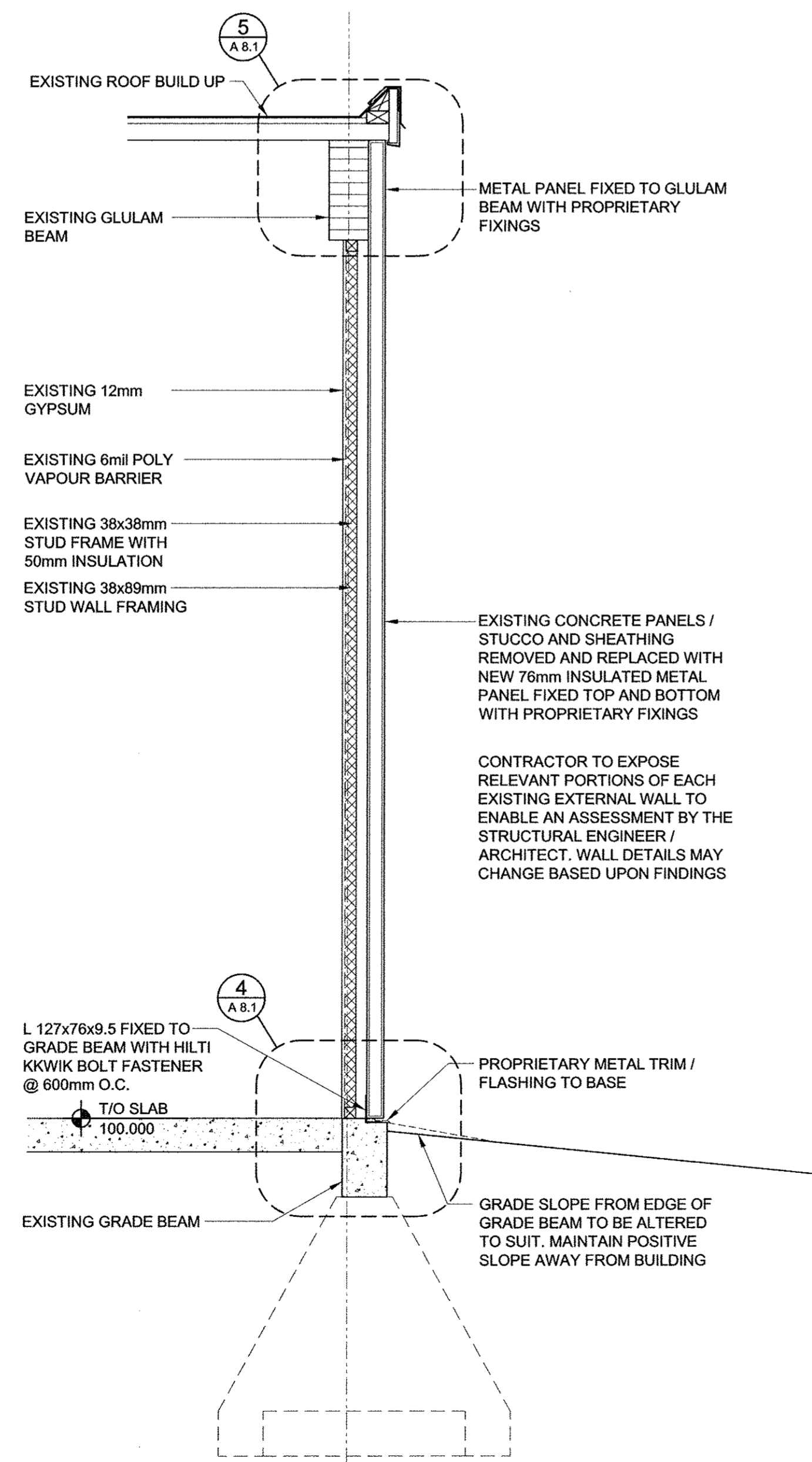




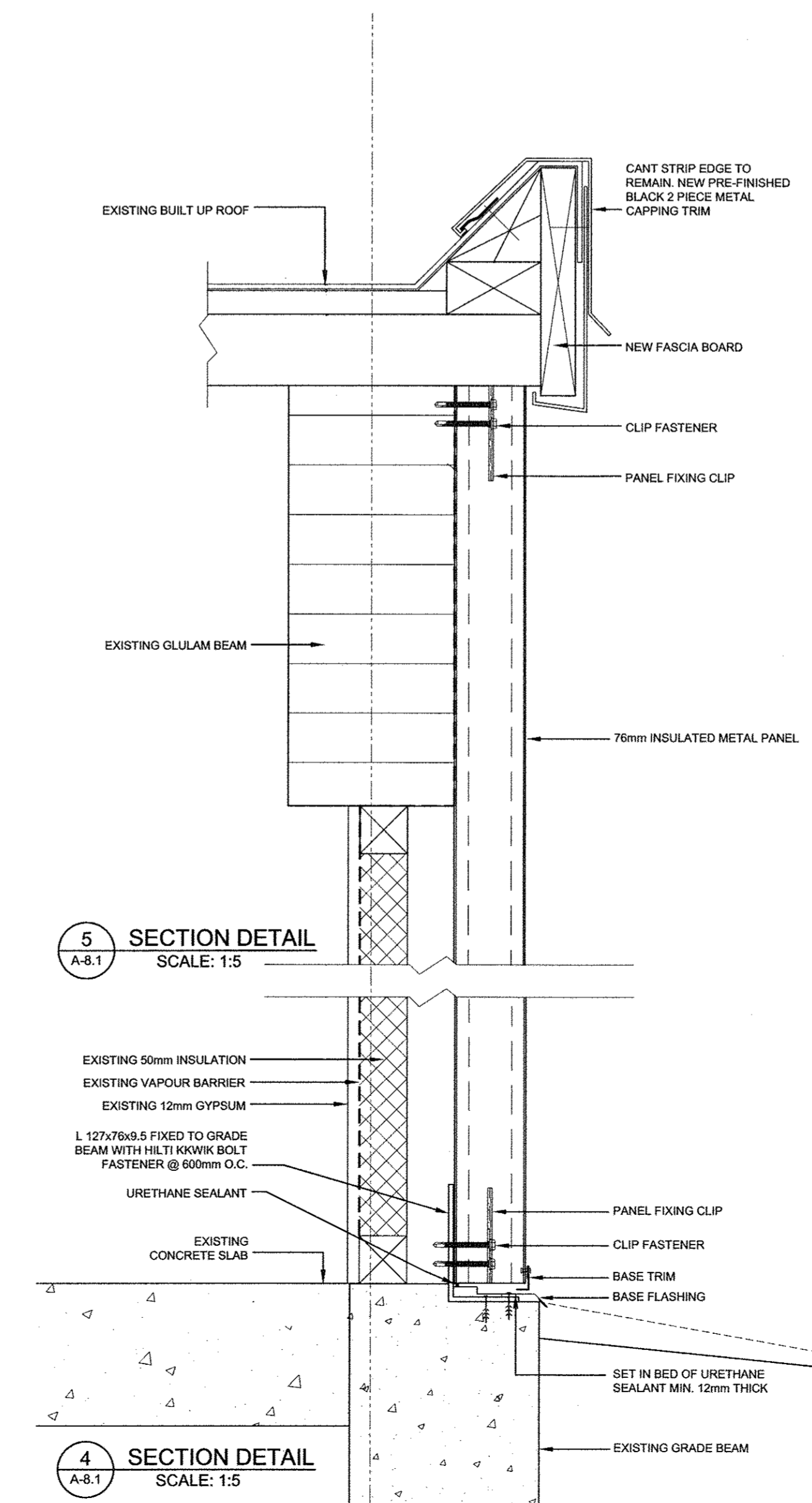
1 SECTION A  
A.8.1  
1:100



2 SECTION B  
A.8.1  
1:100



3 SECTION THROUGH EXTERIOR WALL  
A.8.1  
SCALE: 1:20



5 SECTION DETAIL  
A.8.1  
SCALE: 1:5

4 SECTION DETAIL  
A.8.1  
SCALE: 1:5

NOTES:

- 1 LINE OF EXISTING COLUMNS TO BE BUILT OUT WITH DRY WALL TO 254x254mm FOR POWER OUTLETS AND CABLING
- 2 LINE OF EXISTING COLUMNS TO BE STRIPPED OF EXISTING WOOD COVER PANELS AND BUILT OUT WITH DRY WALL TO 254x254mm FOR POWER OUTLETS AND CABLING
- 3 VIGNETTES
- 4 EXISTING ROOF STRUCTURE AND GLULAM BEAMS
- 5 EXISTING FIREWALL
- 6 EXISTING METAL WEB BEAMS AND ROOF STRUCTURE
- 7 EXISTING METAL COLUMNS SUPPORTING GLULAM BEAMS
- 8 LINE OF NEW BULKHEAD OVER FORMED FROM STUDWORK AND DRYWALL. 12.5mm PLYWOOD BACKING FOR SIGNAGE (SEE VISIONS STANDARD DRAWINGS FOR DETAILS OF LETTERING)

- 9 NEW T-BAR CEILING
- 10 NEW 152mm STUD WALL AND 1 LAYER 12.5mm DRYWALL EACH SIDE. CONTINUE WALLS UP TO UNDERSIDE OF ROOF
- 11 MILLWORK BEYOND NOT SHOWN FOR CLARITY (REFER TO PLANS)
- 12 EXISTING OPENING IN WAREHOUSE
- 13 EXISTING WALL - EXISTING METAL PANEL TO EXTERIOR REMOVED AND REPLACED WITH NEW INSULATED METAL (SEE ELEVATIONS / DETAILS).
- 14 EXISTING DEMISING WALL
- 15 FORM NEW OPENING IN FIREWALL AND DOOR TO MATCH EXISTING DOOR TO PROVIDE 1.5 HR FRR. DOOR REQUIRES 1 HR FRR AND MAKE GOOD FINISHES
- 16 NEW SERVICE COUNTER NOT SHOWN FOR CLARITY. REFER TO FLOOR PLANS

GENERAL NOTES

- ALL DIMENSIONS ARE INDICATIVE ONLY AND SHOULD BE CHECKED ON SITE
- FOUNDATIONS NOT SHOWN FOR CLARITY

MILLWORK NOTES

- SEE VISION STANDARD DETAIL DRAWINGS FOR DETAILS (MW REFERENCES). FINAL DETAILS TO BE AGREED WITH CLIENT
- M1 750MM CLEARANCE TO REAR AND SIDES OF MILLWORK IN DEMO ROOM
- M2 VOID TO REAR OF EVOWALL DUE TO EXISTING COLUMNS
- M3 LOW LEVEL LOCKABLE STORAGE WITH SLATWALL (MW9) OVER
- M4 NEW COUNTER IN CAR AUDIO INSTALL SHOP. DETAILS TBD

CONSULTANT

**WALKER PROJECTS**  
Consulting Engineers - Project Managers  
109 - 1621 Albert Street, Regina, Saskatchewan S4P 2S5  
Telephone (306) 522-9434 Fax (306) 522-9431  
www.walkerprojects.com

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SEALS

PROFESSIONAL ENGINEER  
D.M. ANDREW  
MEMBER 13217  
YR. MN. DAY  
SASKATCHEWAN

ASSOCIATION OF PROFESSIONAL ENGINEERS  
OF SASKATCHEWAN  
WALKER PROJECTS INC.  
CERTIFICATE OF AUTHORIZATION  
#C793  
PERMISSION TO CONSULT HELD BY:  
DARYL ANDREW #13217 STRUCTURAL

ASSOCIATION OF PROFESSIONAL ENGINEERS  
OF SASKATCHEWAN  
DARYL ANDREW  
MEMBER 13217  
YR. MN. DAY  
SASKATCHEWAN

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B	MINOR AMENDMENT	15-07-07
A	ISSUED FOR PERMIT	15-06-25
REV.	DESCRIPTION	DATE

DRAWING TITLE  
**PROPOSED SECTIONS AND DETAILS**

PROJECT  
**VISIONS ELECTRONICS  
VICTORIA AVENUE EAST  
PROPERTY UPGRADES**  
2530 VICTORIA AVENUE EAST, REGINA

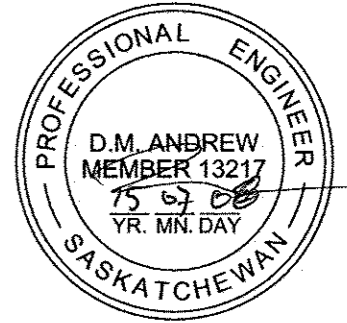
CLIENT  
**942252 ALBERTA LTD**

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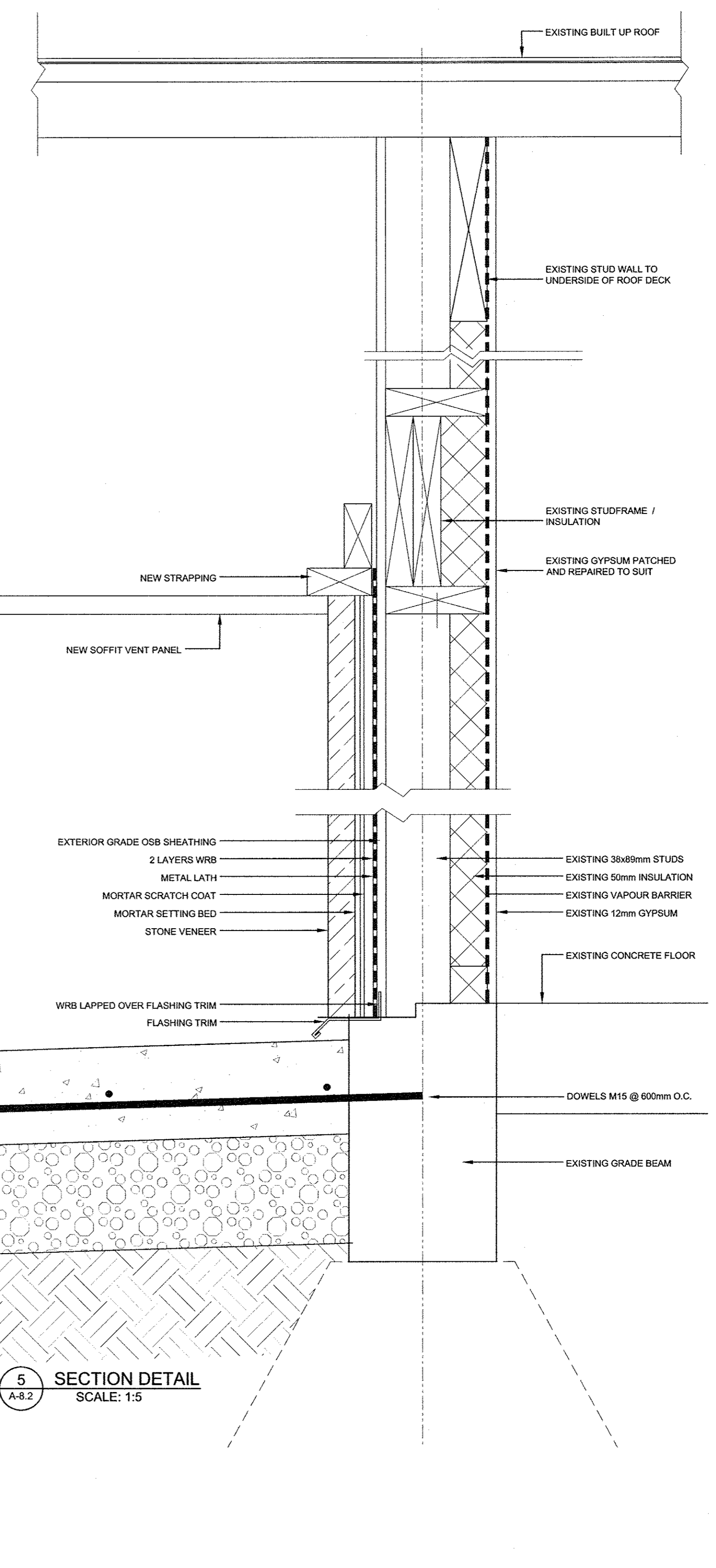
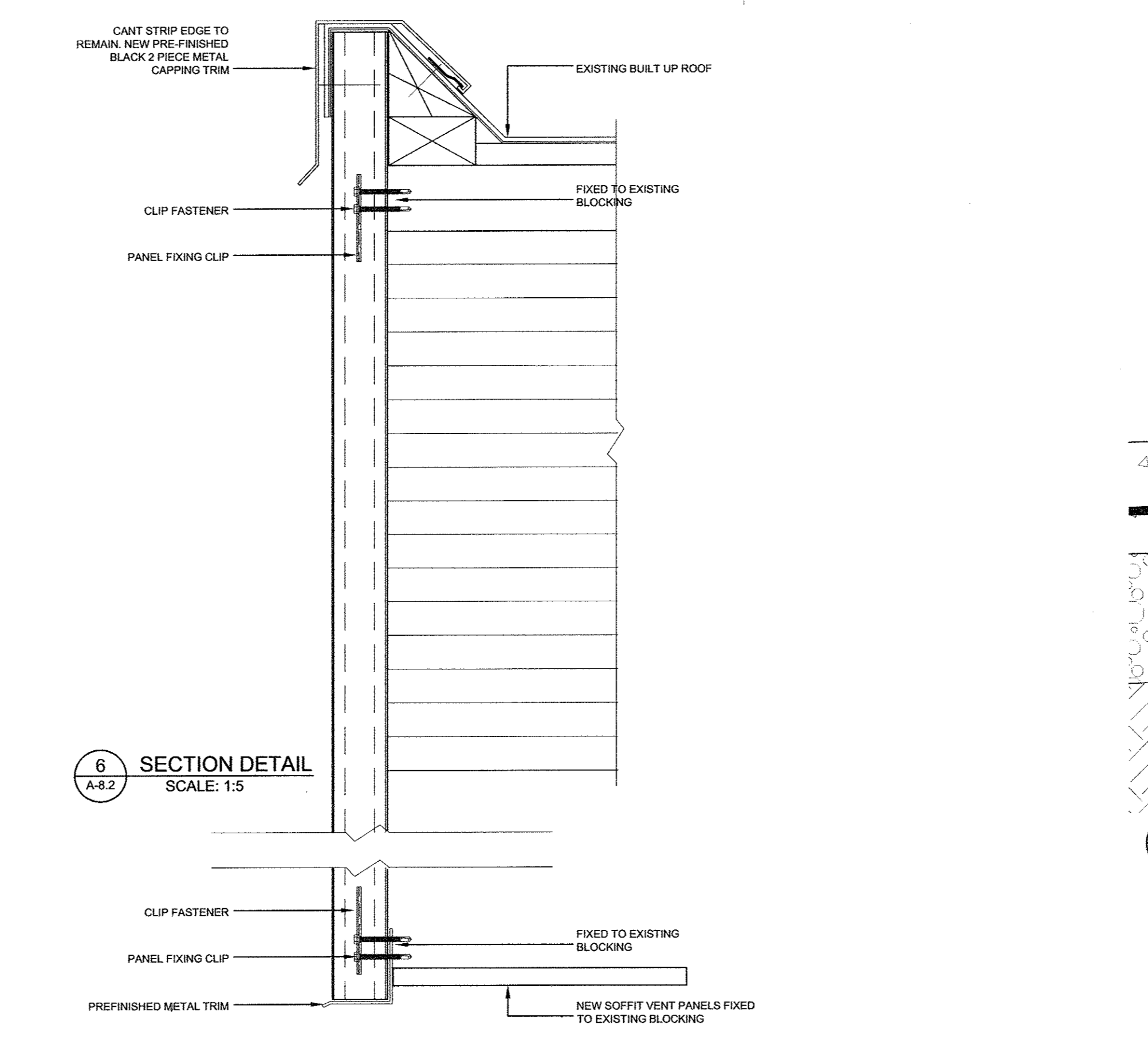
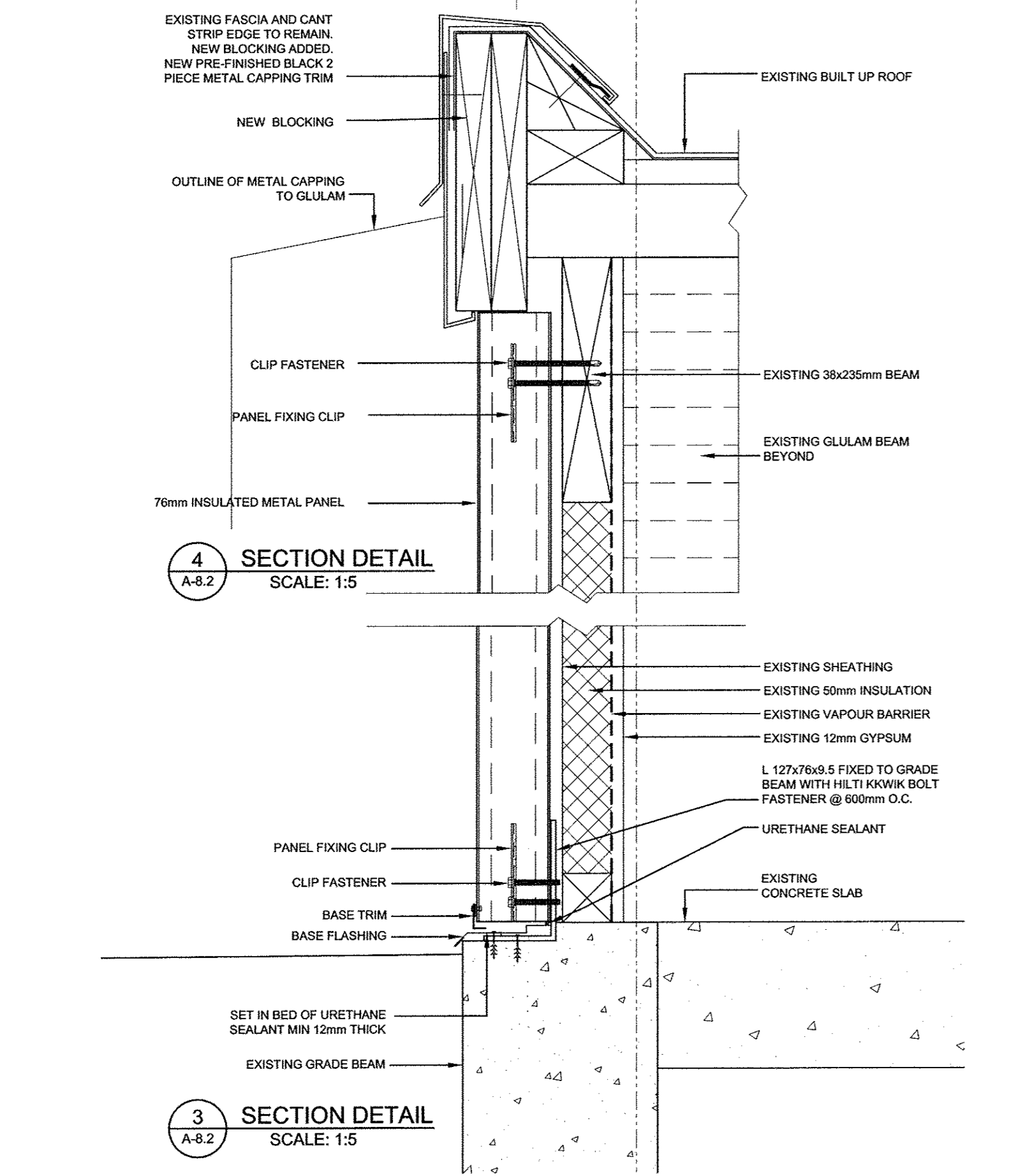
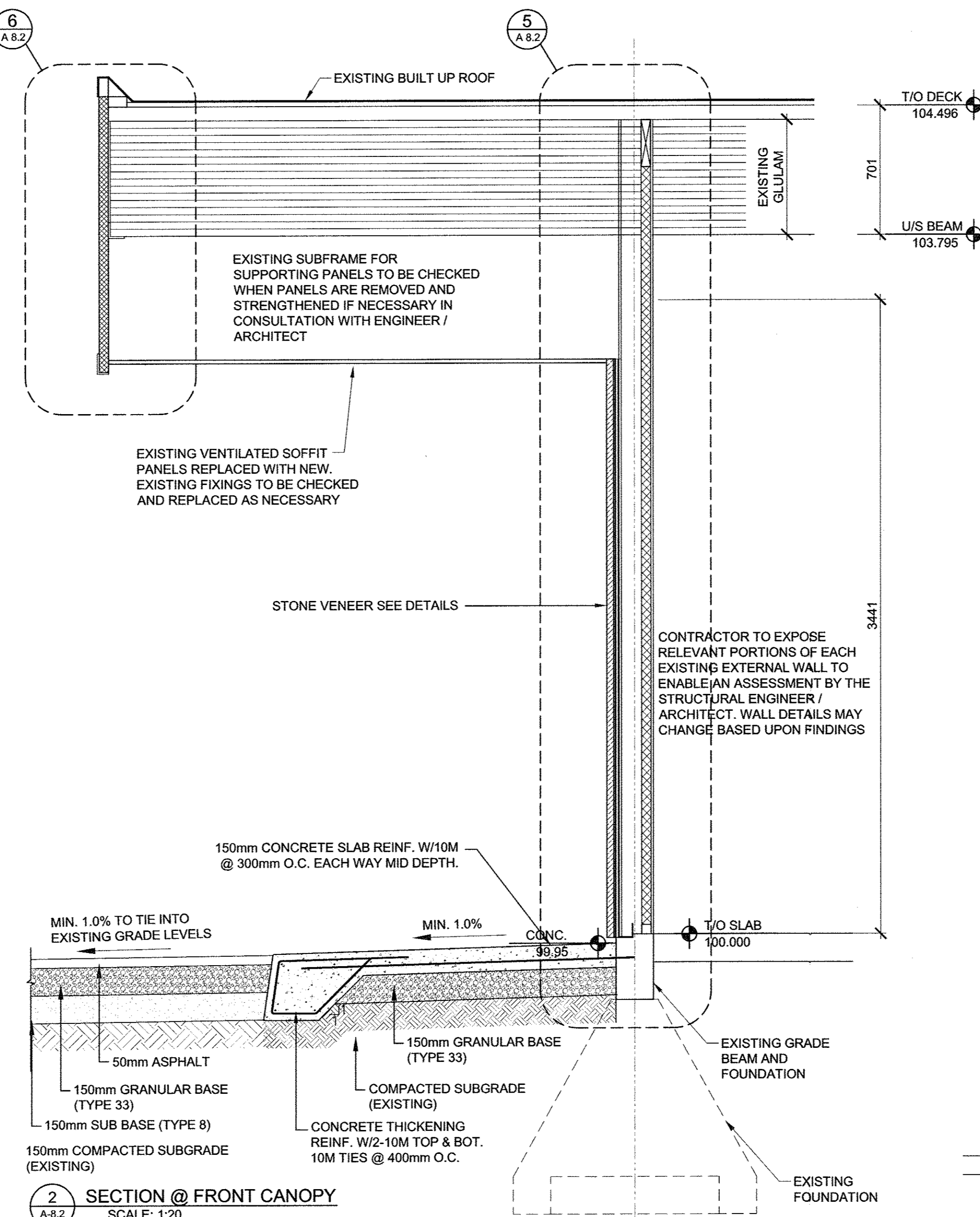
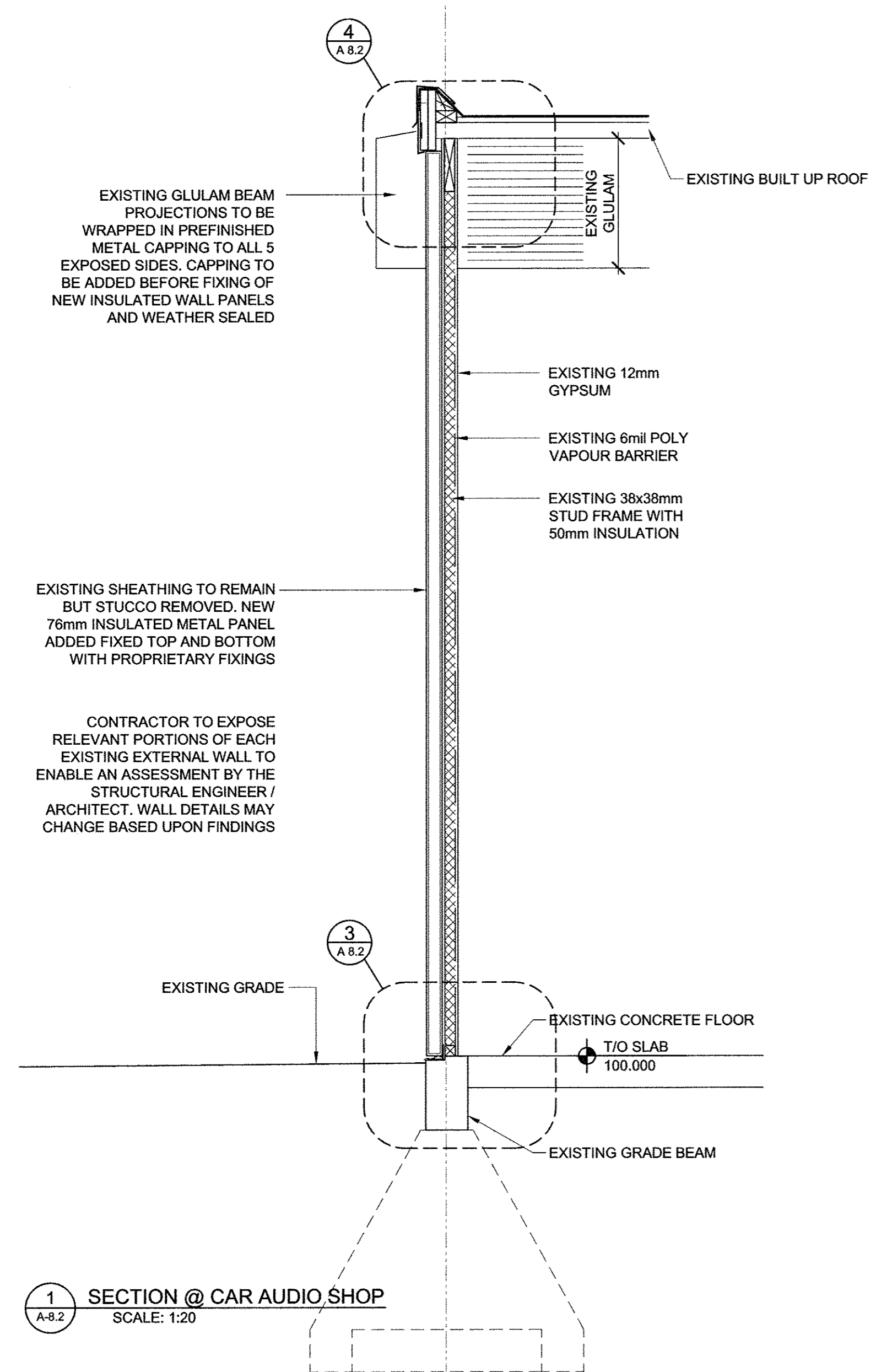
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REV.	DESCRIPTION	DATE
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CLIENT  
**942252 ALBERTA LTD**

DRAWN BY	DESIGNED BY	DATE	REVISION NO.
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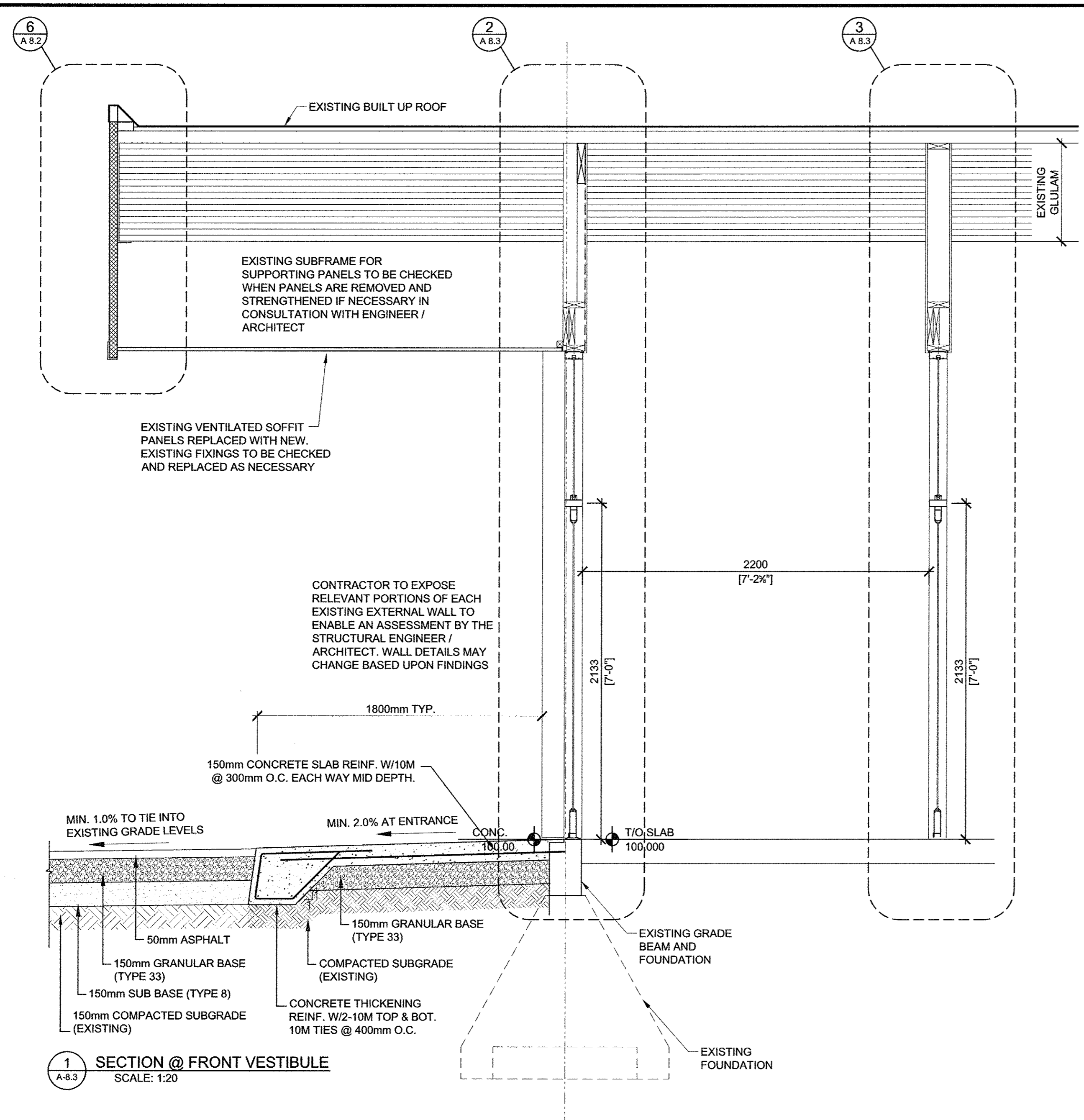
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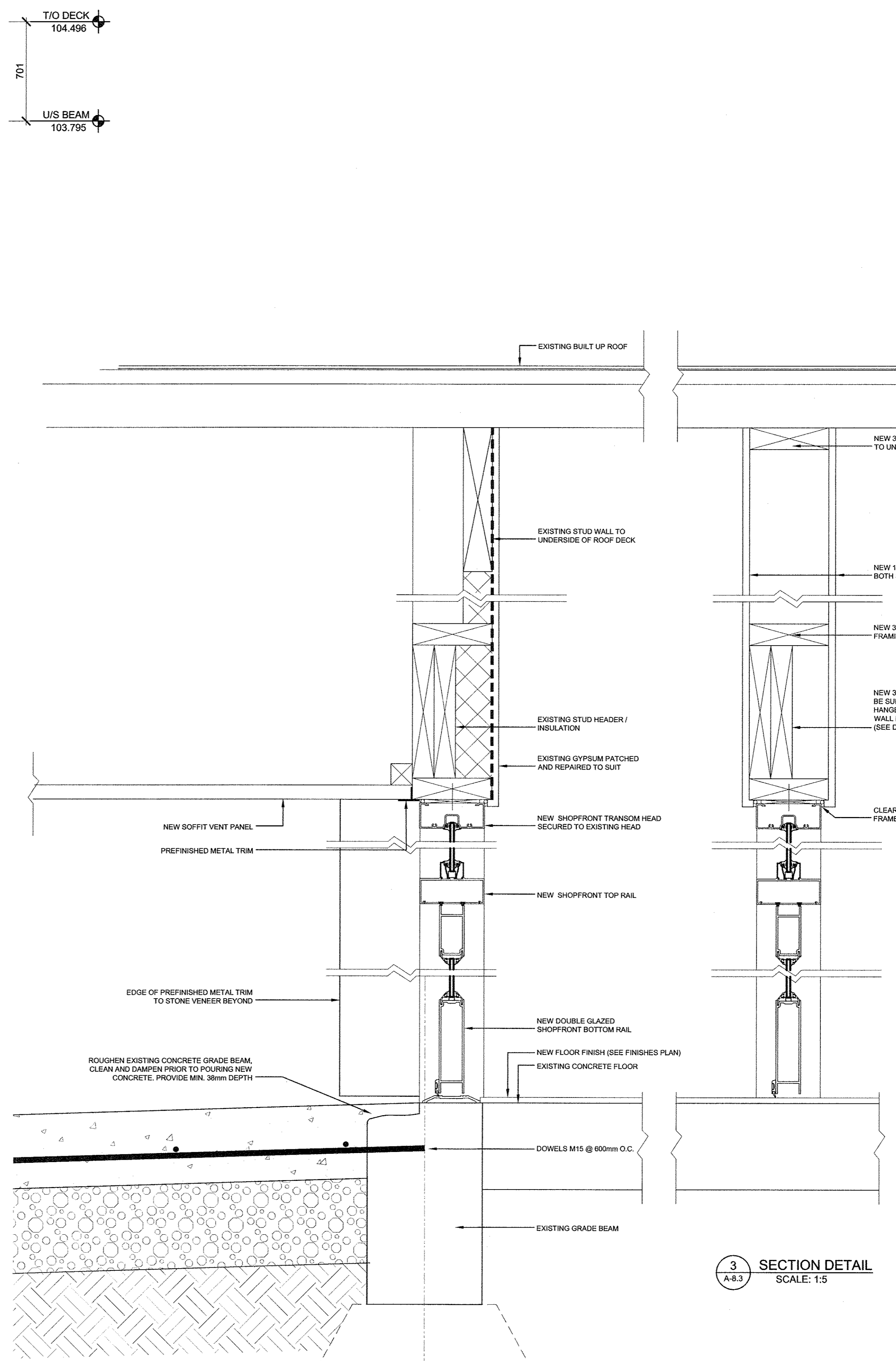
SEALS



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**1 SECTION @ FRONT VESTIBULE**  
 SCALE: 1:20



**2 SECTION DETAIL**  
 SCALE: 1:5

**3 SECTION DETAIL**  
 SCALE: 1:5


A	ISSUED FOR PERMIT	15-07-07
REV.	DESCRIPTION	DATE

DRAWING TITLE  
**PROPOSED SECTIONS AND DETAILS**

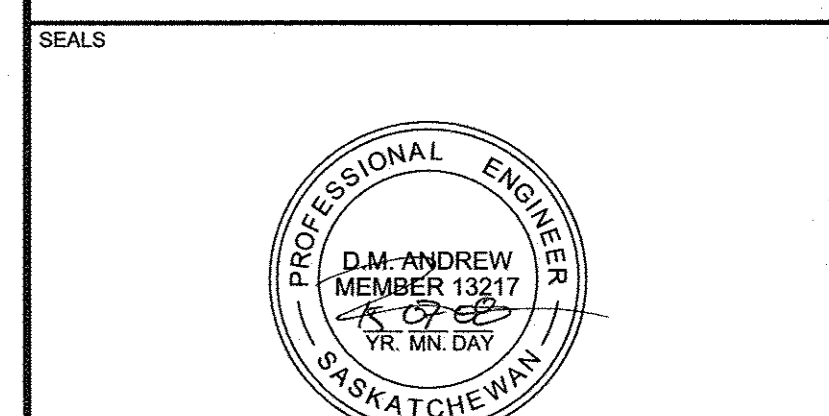
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**VISIONS ELECTRONICS  
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 2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

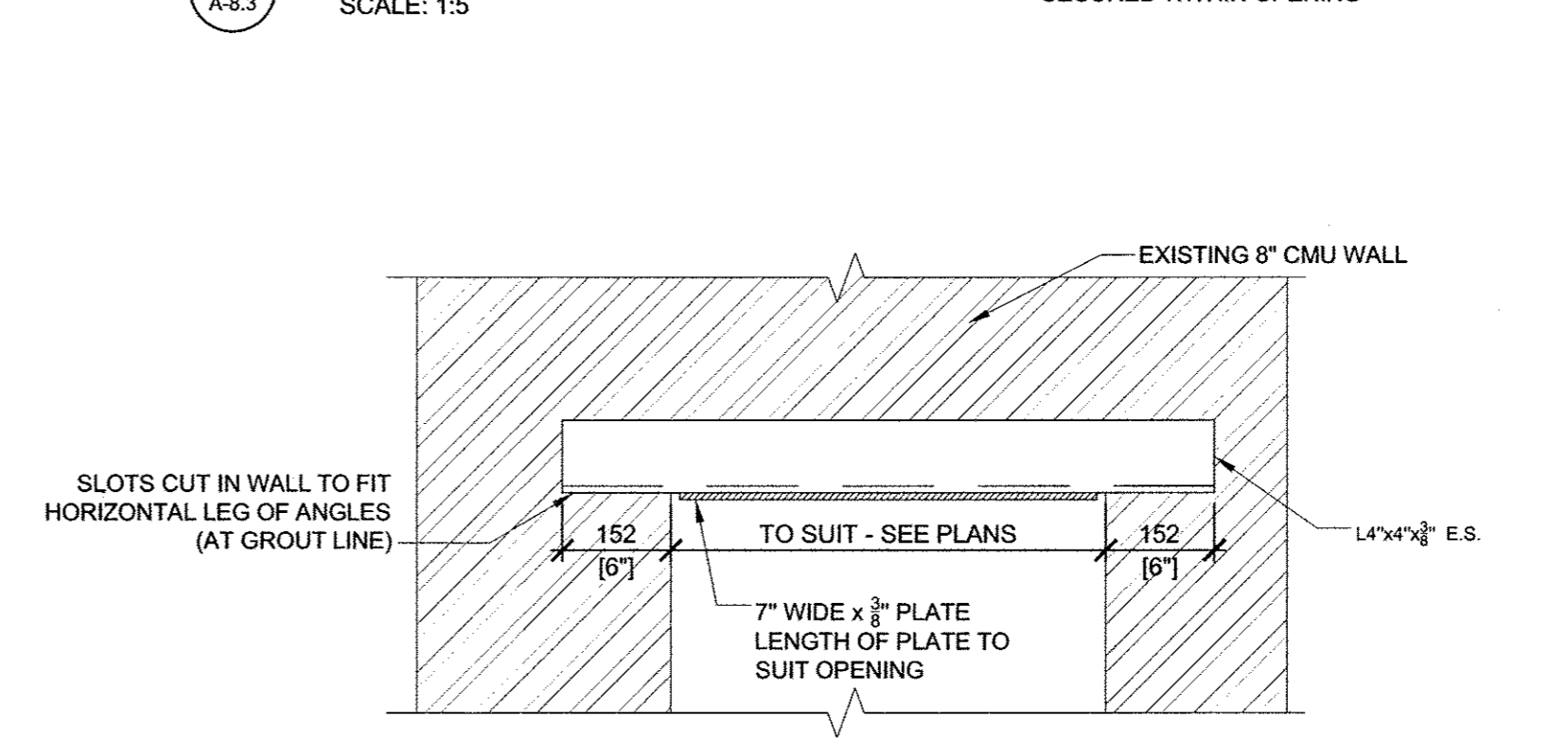
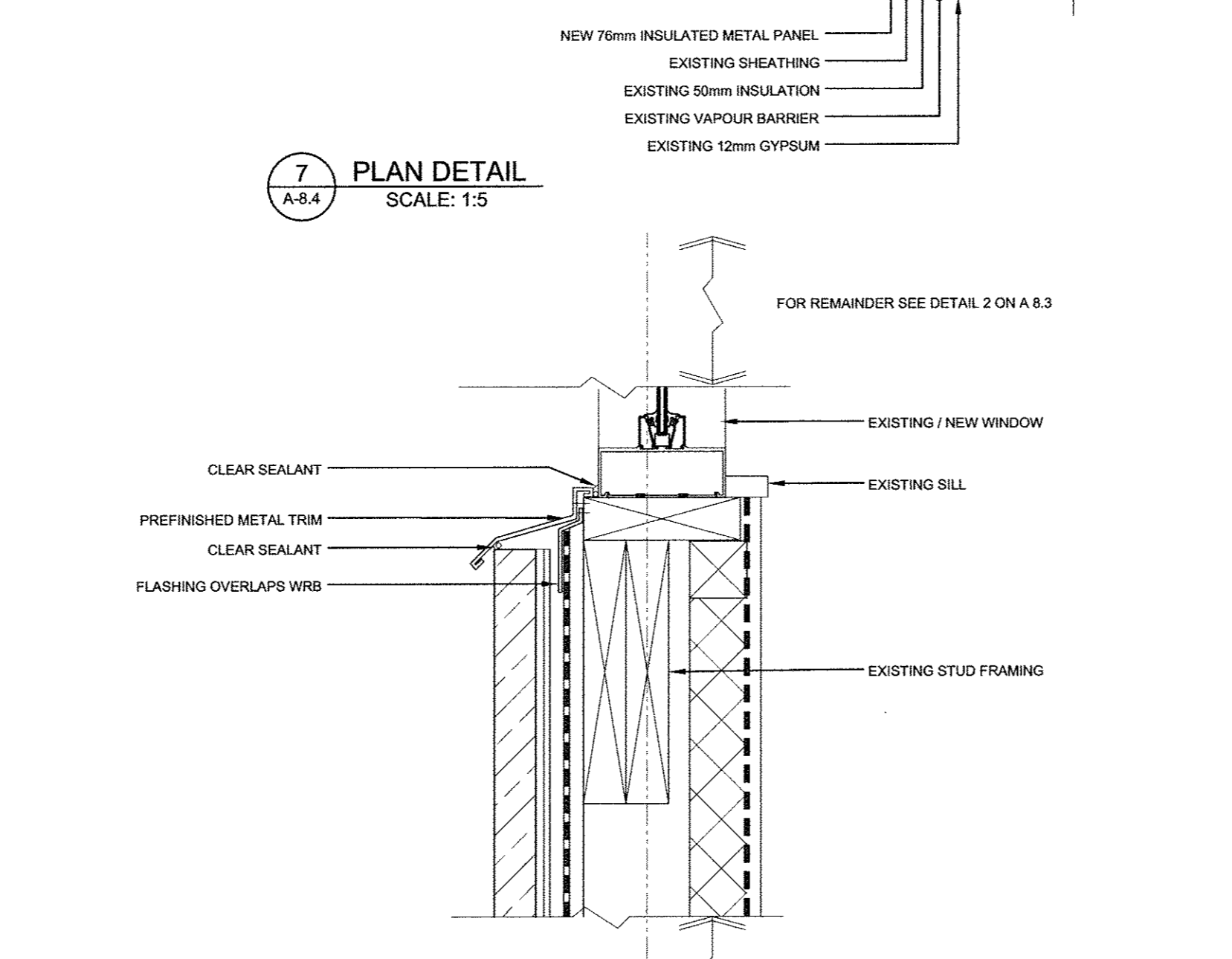
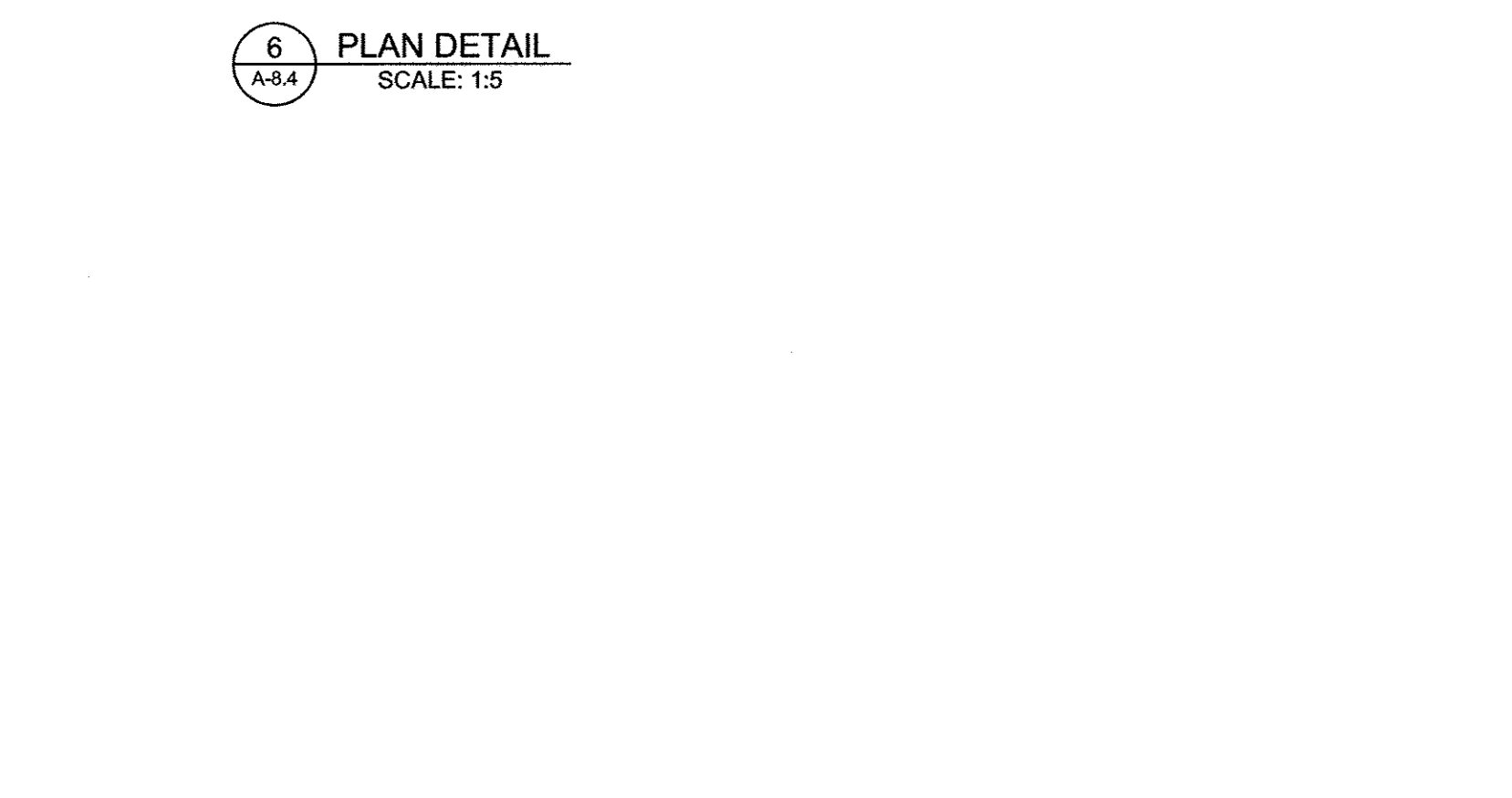
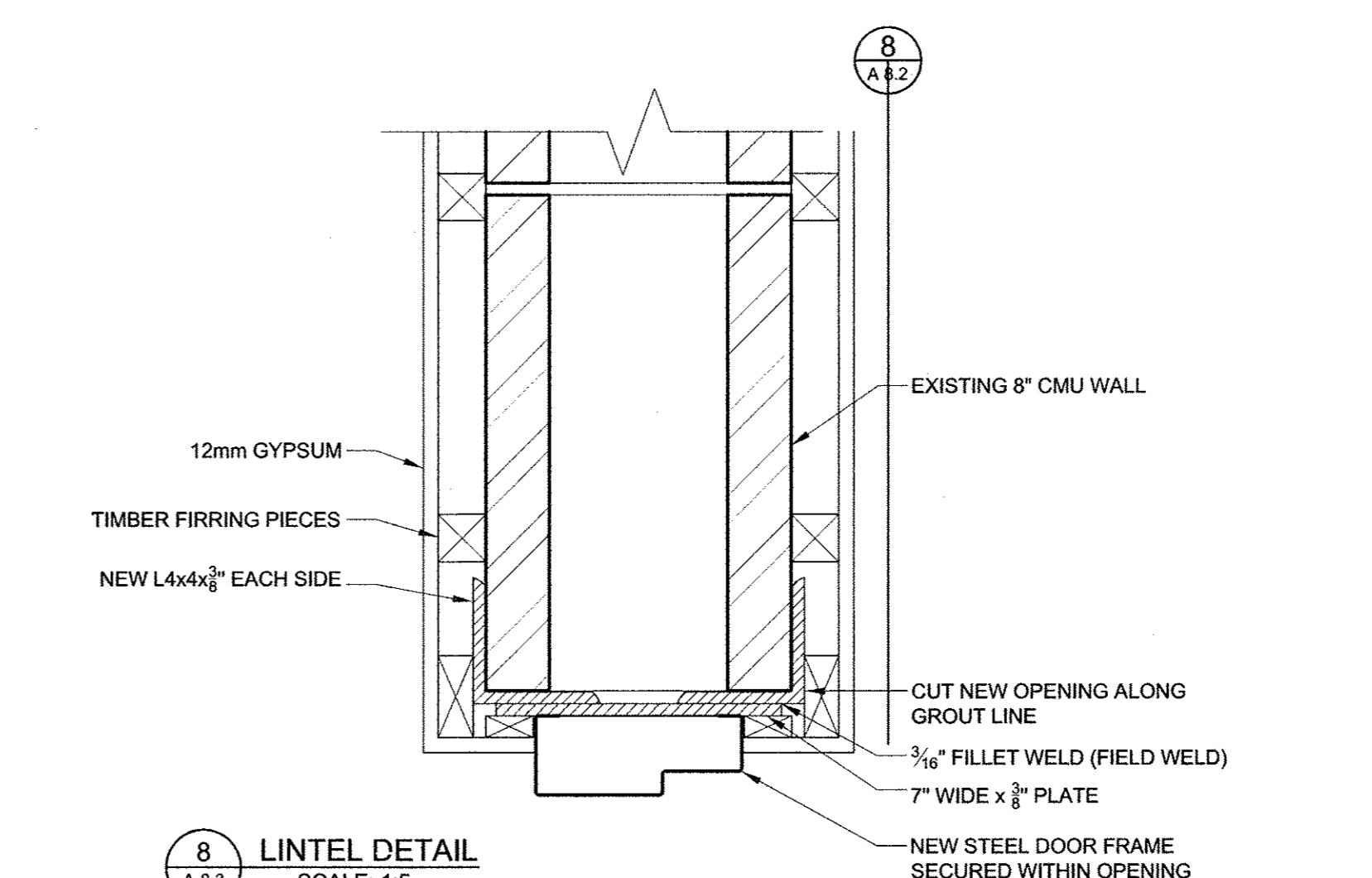
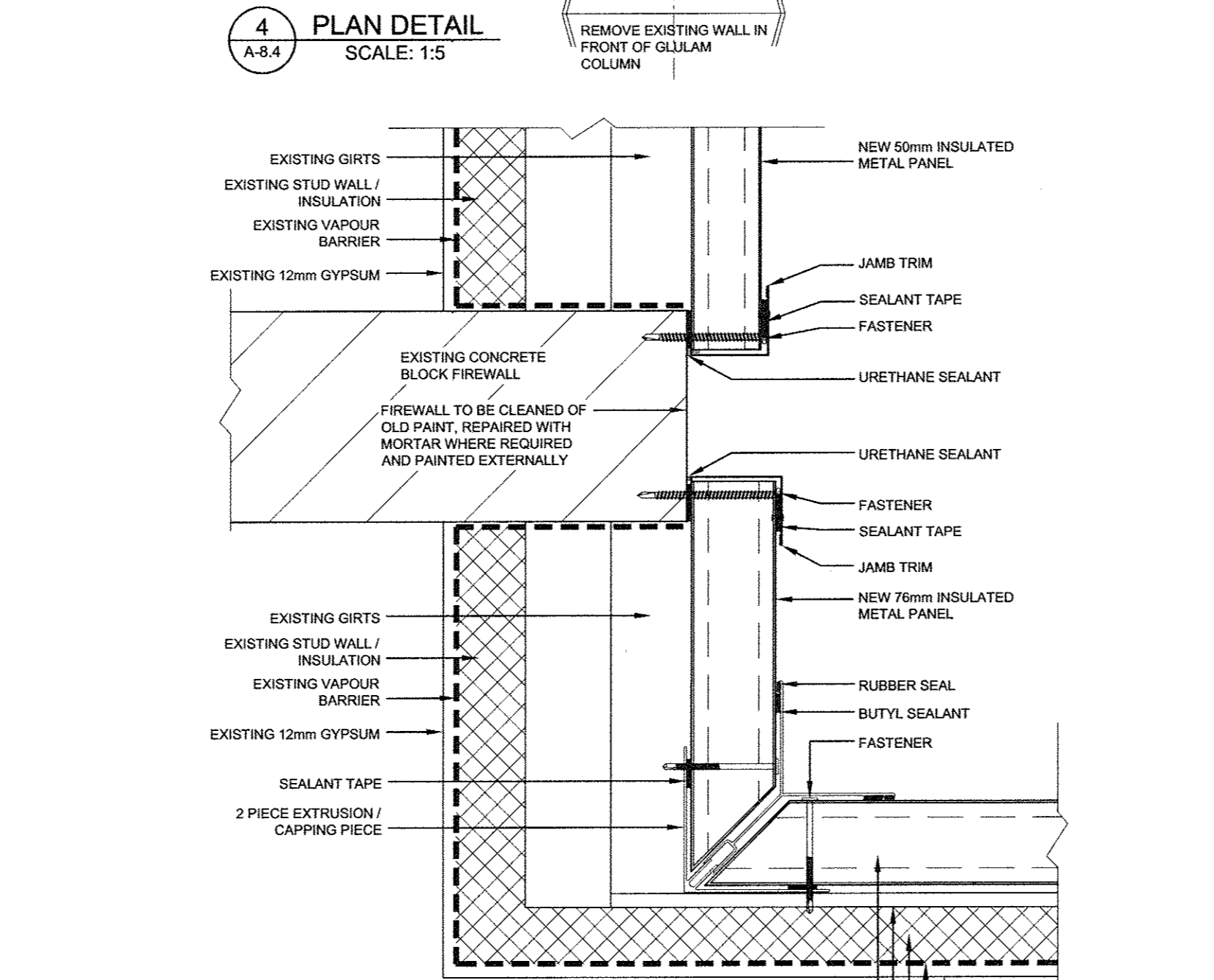
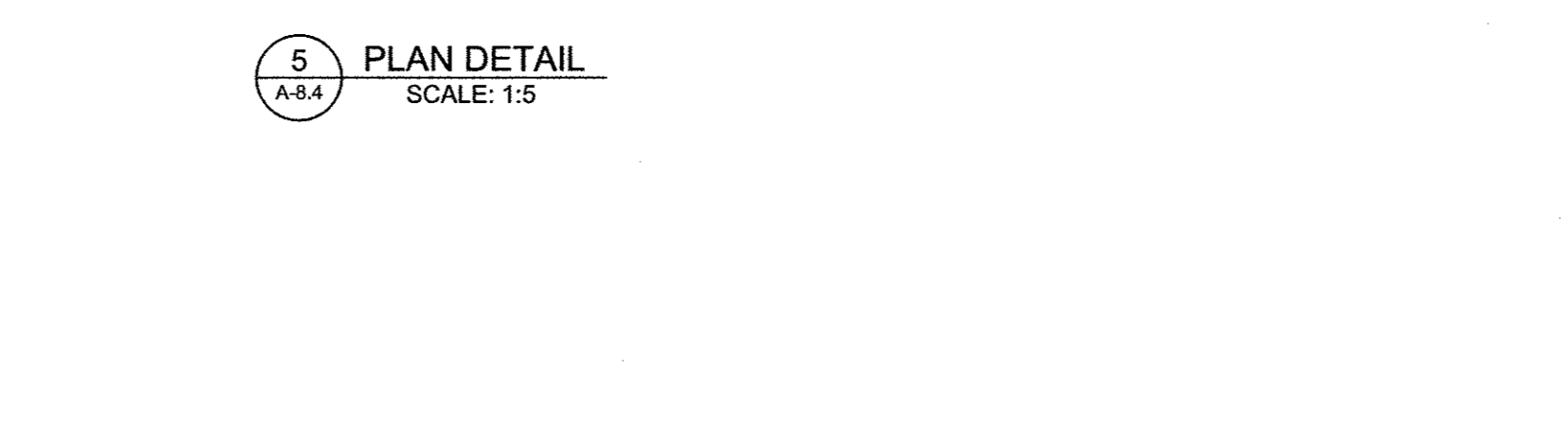
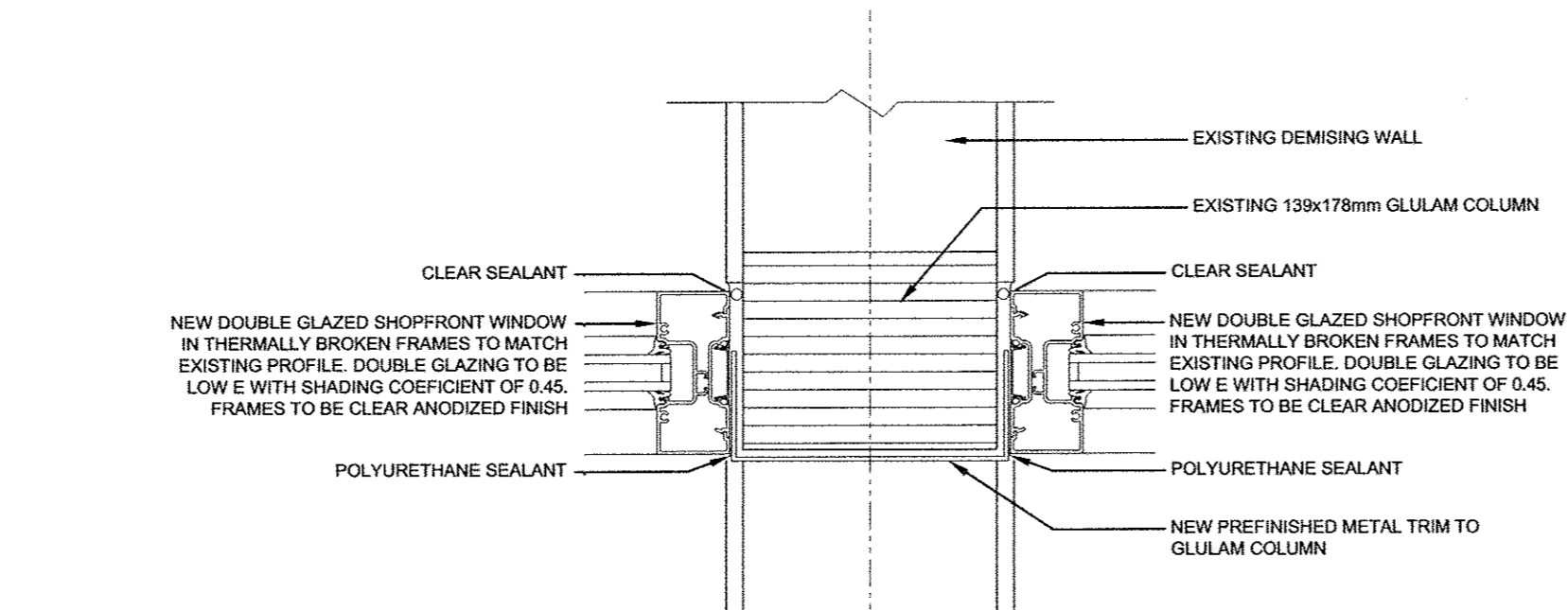
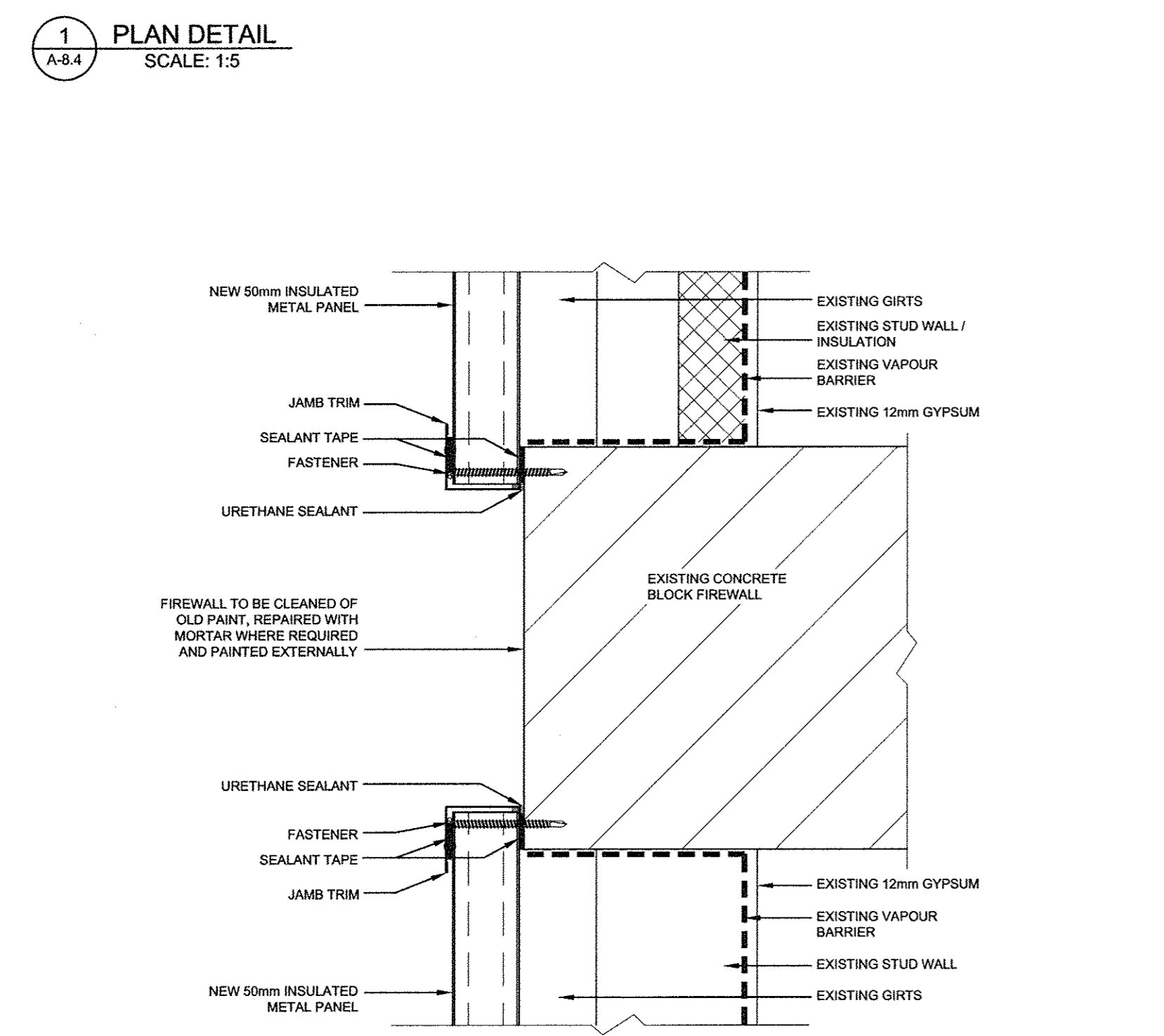
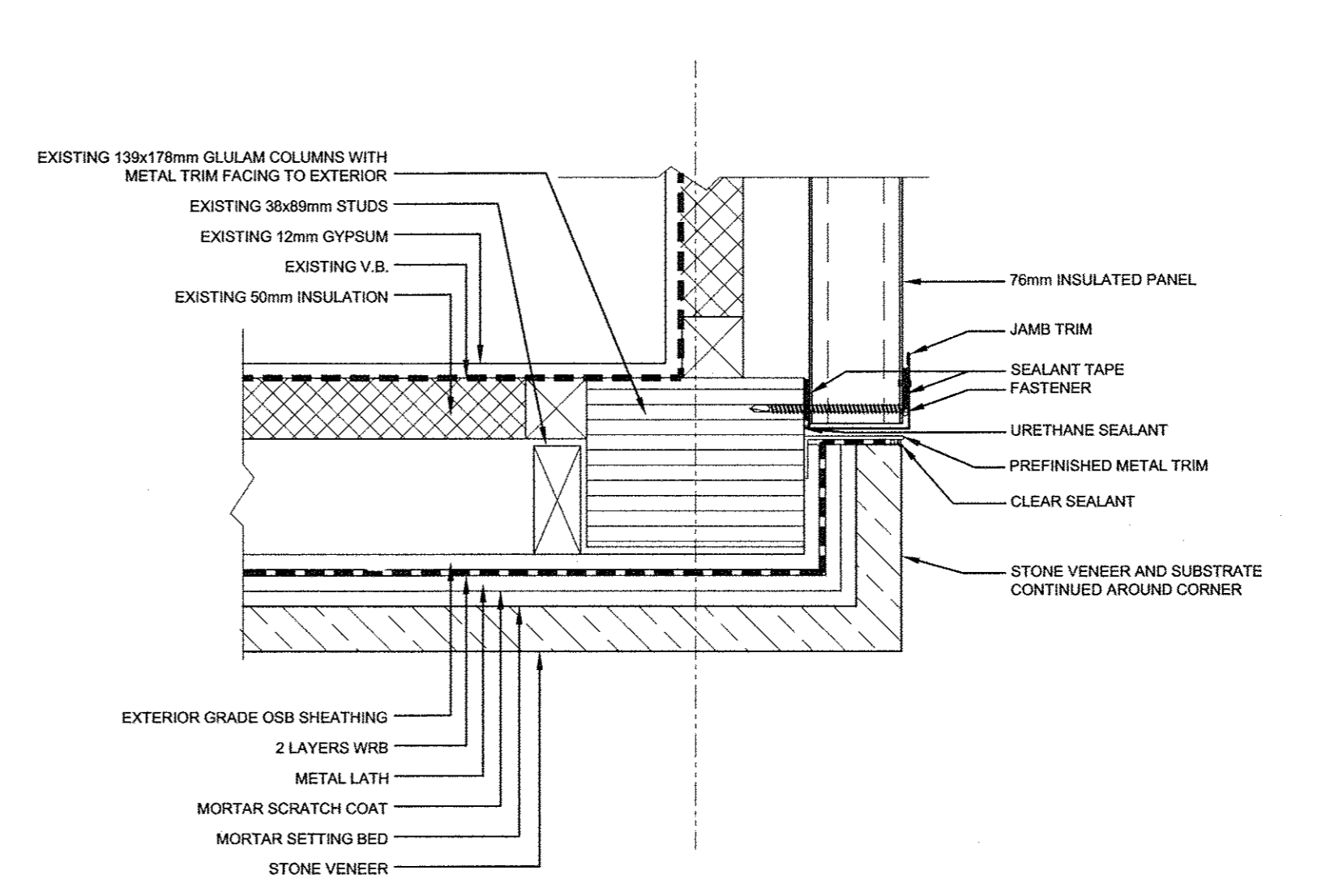
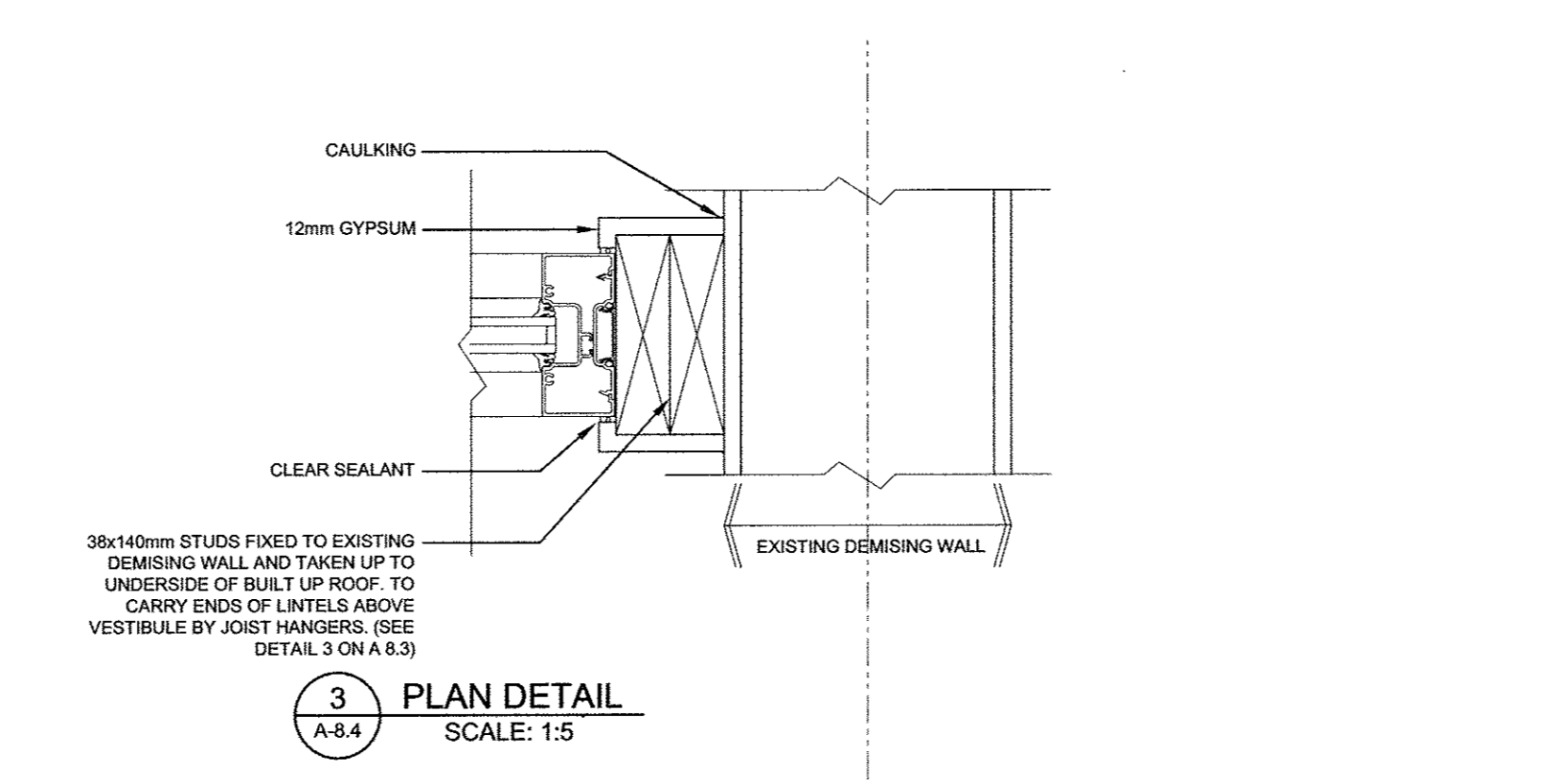
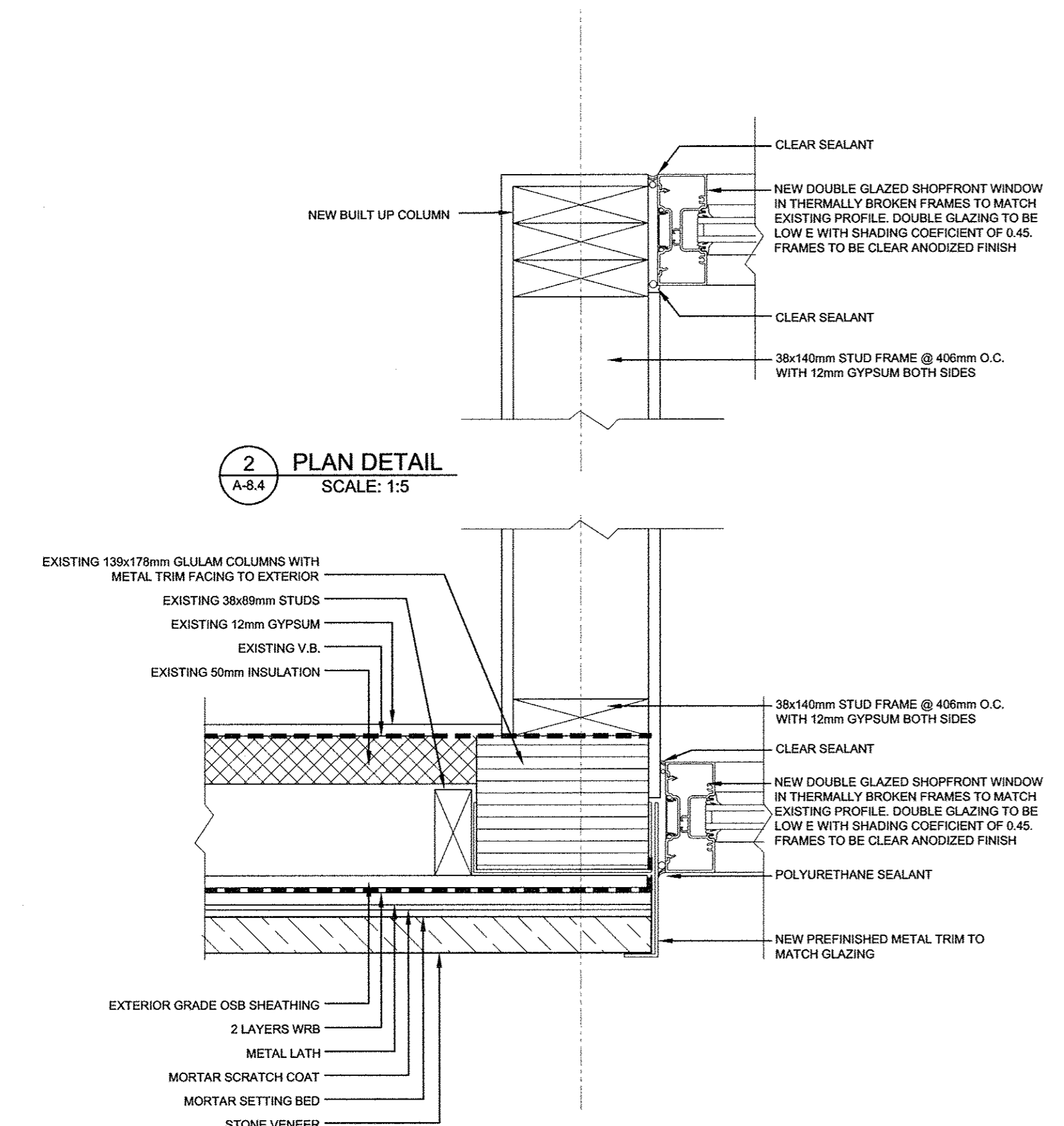
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REV.	DESCRIPTION	DATE
A	ISSUED FOR PERMIT	15-07-07

**PROPOSED DETAILS**

PROJECT  
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**PROPERTY UPGRADES**  
 2530 VICTORIA AVENUE EAST, REGINA

CLIENT  
**942252 ALBERTA LTD**

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PROJECT NO. **20150053** DRAWING NO. **A 8.4**